

APPLICATION AS NOTIFIED

**F & A MacDonald
(RM210796)**

Submissions Close 4th July 2022

FORM 12

File Number RM210796

QUEENSTOWN LAKES DISTRICT COUNCIL

PUBLIC NOTIFICATION

Notification of an application for a Resource Consent under Section 95A of the Resource Management Act 1991.

The Queenstown Lakes District Council has received an application for a resource consent from:

F & A Macdonald

Application under Section 88 of the Resource Management Act 1991 (RMA) to identify two new residential building platforms, for two sheds associated with a Rural Industrial activity and 16 single bedroom residential units for the purpose of workers accommodation.

The location in respect of which this application relates is situated at:

230 Mount Barker Road, Wanaka

The application includes an assessment of environmental effects. This file can also be viewed at our public computers at these Council offices:

- 74 Shotover Street, Queenstown;
- Gorge Road, Queenstown;
- and 47 Ardmore Street, Wanaka during normal office hours (8.30am to 5.00pm).

Alternatively, you can view them on our website when the submission period commences:

<https://www.qldc.govt.nz/services/resource-consents/notified-resource-consents#public-rc> or via our edocs website using RM210796 as the reference <https://edocs.qldc.govt.nz/Account/Login>

The Council planner processing this application on behalf of the Council is Tim Anderson, who may be contacted by phone at 03 450 0122 or email at tim.anderson@qldc.govt.nz

Any person may make a submission on the application, but a person who is a trade competitor of the applicant may do so only if that person is directly affected by an effect of the activity to which the application relates that –

- a) adversely affects the environment; and
- b) does not relate to trade competition or the effects of trade competition.

If you wish to make a submission on this application, you may do so by sending a written submission to the consent authority no later than:

Monday 4th July 2022

The submission must be dated, signed by you and must include the following information:

- a) Your name and postal address and phone number/fax number.
- b) Details of the application in respect of which you are making the submission including location.
- c) Whether you support or oppose the application.
- d) Your submission, with reasons.
- e) The decision you wish the consent authority to make.
- f) Whether you wish to be heard in support of your submission.

You may make a submission by sending a written or electronic submission to Council (details below). The submission should be in the format of Form 13. Copies of this form are available Council website:

https://www.qldc.govt.nz/services/resource-consents/application-forms-and-fees#other_forms

You must serve a copy of your submission to the applicant (Fergus Macdonald and Alison Macdonald greentogold@xtra.co.nz) as soon as reasonably practicable after serving your submission to Council:

Nicole Malpass
nicole@ipsolutions.nz
IP Solutions
15 Cliff Wilson Street, Wanaka

QUEENSTOWN LAKES DISTRICT COUNCIL



(signed by Wendy Baker, Independent Commissioner pursuant to a delegation given under Section 34A of the Resource Management Act 1991)

Date of Notification: Thursday 2nd June 2022

Address for Service for Consent Authority:

Queenstown Lakes District Council	Phone	03 441 0499
Private Bag 50072, Queenstown 9348	Email	rcsubmission@qldc.govt.nz
Gorge Road, Queenstown 9300	Website	www.qldc.govt.nz



APPLICATION FOR RESOURCE CONSENT OR
FAST TRACK RESOURCE CONSENT

FORM 9: GENERAL APPLICATION



Under Section 87AAC, 88 & 145 of the Resource Management Act 1991 (Form 9)

PLEASE COMPLETE ALL MANDATORY FIELDS* OF THIS FORM.

This form provides contact information and details of your application. If your form does not provide the required information it will be returned to you to complete. Until we receive a completed form and payment of the initial fee, your application may not be accepted for processing.



APPLICANT //

- Must be a person or legal entity (limited liability company or trust).
- Full names of all trustees required.
- The applicant name(s) will be the consent holder(s) responsible for the consent and any associated costs.

*Applicant's Full Name / Company / Trust: **Fergus Macdonald and Alison Macdonald**
(Name Decision is to be issued in)

All trustee names (if applicable):

*Contact name for company or trust:

*Postal Address: **492 Aubrey Road, Wanaka**

*Post code:
9305

*Contact details supplied must be for the applicant and not for an agent acting on their behalf and must include a valid postal address

*Email Address: **greentogold@xtra.co.nz**

*Phone Numbers: Day **0272219501**

Mobile:

*The Applicant is:



Owner



Prospective Purchaser (of the site to which the application relates)



Occupier



Lessee

Other - Please Specify:



Our preferred methods of corresponding with you are by **email** and **phone**.

The **decision** will be sent to the Correspondence Details by **email** unless requested otherwise.



CORRESPONDENCE DETAILS //

If you are acting on behalf of the applicant e.g. agent, consultant or architect please fill in your details in this section.

*Name & Company: **Nicole Malpass**

*Phone Numbers: Day **02108060084**

Mobile:

*Email Address: **nicole@ipsolutions.nz**

*Postal Address: **15 Cliff Wilson Street, Wanaka**

*Postcode:
9305



INVOICING DETAILS //

Invoices will be made out to the applicant but can be sent to another party if paying on the applicant's behalf.
For more information regarding payment please refer to the Fees Information section of this form.

*Please select a preference for who should receive any invoices and how they would like to receive them.

Applicant:



Agent:



Other - Please specify:

Email:



Post:



*Attention: **Fergus Macdonald**

*Postal Address: **492 Aubrey Road, Wanaka**

*Post code:
9305

*Please provide an email AND full postal address.

*Email: **greentogold@xtra.co.nz**



OWNER DETAILS // Please supply owner details for the subject site/property if not already indicated above

Owner Name:

Owner Address:

If the property has recently changed ownership please indicate on what date (approximately) AND the names of the previous owners:

Date:

Names:



DEVELOPMENT CONTRIBUTIONS INVOICING DETAILS //

If it is assessed that your consent requires development contributions any invoices and correspondence relating to these will be sent via email. Invoices will be sent to the email address provided above unless an alternative address is provided below. Invoices will be made out to the applicant/owner but can be sent to another party if paying on the applicant's behalf.

*Please select a preference for who should receive any invoices.

Details are the same as for invoicing



Applicant:

☐

Landowner:

☐

Other, please specify:

*Attention: Fergus Macdonald

*Email: greentogold@xtra.co.nz

[Click here for further information and our estimate request form](#)



DETAILS OF SITE // Legal description field must list legal descriptions for all sites pertaining to the application. Any fields stating 'refer AEE' will result in return of the form to be fully completed.

*Address / Location to which this application relates:

230 Mount Barker Road, Wanaka, 9382

*Legal Description: Can be found on the Computer Freehold Register or Rates Notice – e.g Lot x DPxxx (or valuation number)

Lot 6 DP 305038

District Plan Zone(s): Rural General / Rural



SITE VISIT REQUIREMENTS // Should a Council officer need to undertake a site visit please answer the questions below

Is there a gate or security system restricting access by council?

YES

☐

NO

☒

Is there a dog on the property?

YES

☐

NO

☒

Are there any other hazards or entry restrictions that council staff need to be aware of?

YES

☒

NO

☐

If 'yes' please provide information below

Please first report to the office (situated east of existing farm shed) when onsite for safety and security.



PRE-APPLICATION MEETING OR URBAN DESIGN PANEL

Have you had a pre-application meeting with QLDC or attended the urban design panel regarding this proposal?

☐

Yes

☒

No

☐

Copy of minutes attached

If 'yes', provide the reference number and/or name of staff member involved:



CONSENT(S) APPLIED FOR // * Identify all consents sought

☒

Land use consent

☐

Subdivision consent

☐

Change/cancellation of consent or consent notice conditions

☐

Certificate of compliance

☐

Extension of lapse period of consent (time extension) s125

☐

Existing use certificate



QUALIFIED FAST-TRACK APPLICATION UNDER SECTION 87AAC

☐

Controlled Activity

☐

Deemed Permitted Boundary Activity

If your consent qualifies as a fast-track application under section 87AAC, tick here to opt out of the fast track process

☐

BRIEF DESCRIPTION OF THE PROPOSAL //

* Please complete this section, any form stating 'refer AEE' will be returned to be completed with a description of the proposal

*Consent is sought to:

To establish two sheds and two building platforms that will enable the establishment of worker accommodation units associated with existing Rural Industrial Activity onsite.



APPLICATION NOTIFICATION

Are you requesting public notification for the application?

☐

Yes

☒

No

Please note there is an additional fee payable for notification. Please refer to Fees schedule



OTHER CONSENTS

Is consent required under a National Environmental Standard (NES)?

- NES for Assessing and Managing Contaminants in Soil to Protect Human Health 2012

An applicant is required to address the NES in regard to past use of the land which could contaminate soil to a level that poses a risk to human health. Information regarding the NES is available on the website

<https://environment.govt.nz/publications/national-environmental-standard-for-assessing-and-managing-contaminants-in-soil-to-protect-human-health-information-for-landowners-and-developers/>

You can address the NES in your application AEE OR by selecting ONE of the following:

☒

This application does not involve subdivision (excluding production land), change of use or removal of (part of) a fuel storage system. Any earthworks will meet section 8(3) of the NES (including volume not exceeding 25m³ per 500m²). Therefore the NES does not apply.

☒

I have undertaken a comprehensive review of District and Regional Council records and I have found no record suggesting an activity on the HAIL has taken place on the piece of land which is subject to this application.

NOTE: depending on the scale and nature of your proposal you may be required to provide details of the records reviewed and the details found.



OTHER CONSENTS // CONTINUED

☐

I have included a Preliminary Site Investigation undertaken by a suitably qualified person.

☐

An activity listed on the HAIL has more likely than not taken place on the piece of land which is subject to this application. I have addressed the NES requirements in the Assessment of Environmental Effects.

☐ Any other National Environmental Standard

☐

Yes

☐

N/A

Are any additional consent(s) required that have been applied for separately?

☐ Otago Regional Council

Consents required from the Regional Council (note if have/have not been applied for):

☒

Yes

☐

N/A

Potential water take consent to be applied for if consent is granted.



INFORMATION REQUIRED TO BE SUBMITTED //

Attach to this form any information required (see below & appendices 1-2).

To be accepted for processing, your application should include the following:

☒

Computer Freehold Register for the property (no more than 3 months old) and copies of any consent notices and covenants
(Can be obtained from Land Information NZ at <https://www.linz.govt.nz>).

☒

A plan or map showing the locality of the site, topographical features, buildings etc.

☒

A site plan at a convenient scale.

☒

Written approval of every person who may be adversely affected by the granting of consent (s95E).

☒

An Assessment of Effects (AEE).

An AEE is a written document outlining how the potential effects of the activity have been considered along with any other relevant matters, for example if a consent notice is proposed to be changed. Address the relevant provisions of the District Plan and affected parties including who has or has not provided written approval. See [Appendix 1](#) for more detail.



We prefer to receive applications electronically – please see Appendix 5 – [Naming of Documents Guide](#) for how documents should be named. Please ensure documents are scanned at a minimum resolution of 300 dpi. Each document should be no greater than 10mb



PRIVACY INFORMATION

The information you have provided on this form is required so that your application can be processed under the Resource Management Act 1991 and may also be used in statistics collected and provided to the Ministry for the Environment and Queenstown Lakes District Council. The information will be stored on a public register and may be made available to the public on request or on the company's or the Council's websites.



FEES INFORMATION

Section 36 of the Resource Management Act 1991 deals with administrative charges and allows a local authority to levy charges that relate to, but are not limited to, carrying out its functions in relation to receiving, processing and granting of resource consents (including certificates of compliance and existing use certificates).

Invoiced sums are payable by the 20th of the month after the work was undertaken. If unpaid, the processing of an application, provision of a service, or performance of a function will be suspended until the sum is paid. You may also be required to make an additional payment, or bring the account up to date, prior to milestones such as notification, setting a hearing date or releasing the decision. In particular, all charges related to processing of a resource consent application are payable prior to issuing of the decision. Payment is due on the 20th of the month or prior to the issue date – whichever is earlier.



FEES INFORMATION // CONTINUED

If your application is notified or requires a hearing you will be requested to pay a notification deposit and/or a hearing deposit. An applicant may not offset any invoiced processing charges against such payments.

Section 357B of the Resource Management Act provides a right of objection in respect of additional charges. An objection must be in writing and must be lodged within 15 working days of notification of the decision.

LIABILITY FOR PAYMENT – Please note that by signing and lodging this application form you are acknowledging that the details in the invoicing section are responsible for payment of invoices and in addition will be liable to pay all costs and expenses of debt recovery and/or legal costs incurred by QLDC related to the enforcement of any debt.

MONITORING FEES – Please also note that if this application is approved you will be required to meet the costs of monitoring any conditions applying to the consent, pursuant to Section 35 of the Resource Management Act 1991.

DEVELOPMENT CONTRIBUTIONS – Your development, if granted, may also incur development contributions under the Local Government Act 2002. You will be liable for payment of any such contributions.

A list of Consent Charges is available on the on the Resource Consent Application Forms section of the QLDC website. If you are unsure of the amount to pay, please call 03 441 0499 and ask to speak to our duty planner.

Please ensure to [reference any banking payments correctly](#). Incorrectly referenced payments may cause delays to the processing of your application whilst payment is identified.

If the initial fee charged is insufficient to cover the actual and reasonable costs of work undertaken on the application you will be required to pay any additional amounts and will be invoiced monthly as work on the application continues. Please note that if the Applicant has outstanding fees owing to Council in respect of other applications, Council may choose to apply the initial fee to any outstanding balances in which case the initial fee for processing this application may be deemed not to have been paid.



PAYMENT // An initial fee must be paid prior to or at the time of the application and proof of payment submitted.

Please reference your payments as follows:

Applications yet to be submitted: RM followed by first 5 letters of applicant name e.g RMJONES

Applications already submitted: Please use the RM# reference that has been assigned to your application, this will have been emailed to yourself or your agent.

Please note processing will not begin until payment is received (or identified if incorrectly referenced).

I confirm payment by:



Bank transfer to account 02 0948 0002000 00 (If paying from overseas swiftcode is – BKNZNZ22)



Manual Payment (can only be accepted once application has been lodged and acknowledgement email received with your unique RM reference number)

*Reference **RMG2G**

*Amount Paid: Landuse and Subdivision Resource Consent fees - please select from drop down list below

\$3000 - Non-complying Activities (overall consent status)

(For required initial fees refer to website for Resource Consent Charges or spoke to the Duty Planner by phoning 03 441 0499)

*Date of Payment **TBC**

Invoices are available on request

APPLICATION & DECLARATION

The Council relies on the information contained in this application being complete and accurate. The Applicant must take all reasonable steps to ensure that it is complete and accurate and accepts responsibility for information in this application being so.



If lodging this application as **the Applicant:**

I/we hereby represent and warrant that I am/we are aware of all of my/our obligations arising under this application including, in particular but without limitation, my/our obligation to pay all fees and administrative charges (including debt recovery and legal expenses) payable under this application as referred to within the Fees Information section.

OR:



If lodging this application as **agent of the Applicant:**

I/we hereby represent and warrant that I am/we are authorised to act as agent of the Applicant in respect of the completion and lodging of this application and that the Applicant is aware of all of his/her/its obligations arising under this application including, in particular but without limitation, his/her/its obligation to pay all fees and administrative charges (including debt recovery and legal expenses) payable under this application as referred to within the Fees Information section.



PLEASE TICK

I hereby apply for the resource consent(s) for the Proposal described above and I certify that, to the best of my knowledge and belief, the information given in this application is complete and accurate.

Signed (by or as authorised agent of the Applicant) **



Full name of person lodging this form **Nicole Malpass**

Firm/Company **IP Solutions Ltd**

Dated **27/8/2021**

**If this form is being completed on-line you will not be able, or required, to sign this form and the on-line lodgement will be treated as confirmation of your acknowledgement and acceptance of the above responsibilities and liabilities and that you have made the above representations, warranties and certification.



Section 2 of the District Plan provides additional information on the information that should be submitted with a land use or subdivision consent.

The RMA (Fourth Schedule to the Act) requires the following:

1 INFORMATION MUST BE SPECIFIED IN SUFFICIENT DETAIL

- Any information required by this schedule, including an assessment under clause 2(1)(f) or (g), must be specified in sufficient detail to satisfy the purpose for which it is required.

2 INFORMATION REQUIRED IN ALL APPLICATIONS

- (1) An application for a resource consent for an activity (the activity) must include the following:

- (a) a description of the activity;
- (b) a description of the site at which the activity is to occur;
- (c) the full name and address of each owner or occupier of the site;
- (d) a description of any other activities that are part of the proposal to which the application relates;
- (e) a description of any other resource consents required for the proposal to which the application relates;

Information provided within the Form above

- (f) an assessment of the activity against the matters set out in Part 2;
- (g) an assessment of the activity against any relevant provisions of a document referred to in section 104(1)(b).

- (2) The assessment under subclause (1)(g) must include an assessment of the activity against—

- (a) any relevant objectives, policies, or rules in a document; and
- (b) any relevant requirements, conditions, or permissions in any rules in a document; and
- (c) any other relevant requirements in a document (for example, in a national environmental standard or other regulations).

Include in an attached Assessment of Effects (see Clauses 6 & 7 below)

- (3) An application must also include an assessment of the activity's effects on the environment that—

- (a) includes the information required by clause 6; and
- (b) addresses the matters specified in clause 7; and
- (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

ADDITIONAL INFORMATION REQUIRED IN SOME APPLICATIONS

- An application must also include any of the following that apply:
 - (a) if any permitted activity is part of the proposal to which the application relates, a description of the permitted activity that demonstrates that it complies with the requirements, conditions, and permissions for the permitted activity (so that a resource consent is not required for that activity under section 87A(1));
 - (b) if the application is affected by section 124 or 165ZH(1)(c) (which relate to existing resource consents), an assessment of the value of the investment of the existing consent holder (for the purposes of section 104(2A));

ASSESSMENT OF ENVIRONMENTAL EFFECTS

Clause 6: Information required in assessment of environmental effects

- (1) An assessment of the activity's effects on the environment must include the following information:
 - (a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity;
 - (b) an assessment of the actual or potential effect on the environment of the activity;
 - (c) if the activity includes the use of hazardous substances and installations, an assessment of any risks to the environment that are likely to arise from such use;
 - (d) if the activity includes the discharge of any contaminant, a description of—
 - (i) the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and
 - (ii) any possible alternative methods of discharge, including discharge into any other receiving environment;
 - (e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect;
 - (f) identification of the persons affected by the activity, any consultation undertaken, and any response to the views of any person consulted;
 - (g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved;
 - (h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).
- (2) A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.
- (3) To avoid doubt, subclause (1)(f) obliges an applicant to report as to the persons identified as being affected by the proposal, but does not—
 - (a) oblige the applicant to consult any person; or
 - (b) create any ground for expecting that the applicant will consult any person.

CLAUSE 7: MATTERS THAT MUST BE ADDRESSED BY ASSESSMENT OF ENVIRONMENTAL EFFECTS

- (1) An assessment of the activity's effects on the environment must address the following matters:
 - (a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects;
 - (b) any physical effect on the locality, including any landscape and visual effects;
 - (c) any effect on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity;
 - (d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations;
 - (e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants;
 - (f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or the use of hazardous substances or hazardous installations.
- (2) The requirement to address a matter in the assessment of environmental effects is subject to the provisions of any policy statement or plan.



UNDER THE FOURTH SCHEDULE TO THE ACT:

- An application for a subdivision consent must also include information that adequately defines the following:
 - (a) the position of all new boundaries:
 - (b) the areas of all new allotments, unless the subdivision involves a cross lease, company lease, or unit plan:
 - (c) the locations and areas of new reserves to be created, including any esplanade reserves and esplanade strips:
 - (d) the locations and areas of any existing esplanade reserves, esplanade strips, and access strips:
 - (e) the locations and areas of any part of the bed of a river or lake to be vested in a territorial authority under section 237A:
 - (f) the locations and areas of any land within the coastal marine area (which is to become part of the common marine and coastal area under section 237A):
 - (g) the locations and areas of land to be set aside as new roads.

Will your resource consent result in a Development Contribution and what is it?

- A Development Contribution can be triggered by the granting of a resource consent and is a financial charge levied on new developments. It is assessed and collected under the Local Government Act 2002. It is intended to ensure that any party, who creates additional demand on Council infrastructure, contributes to the extra cost that they impose on the community. These contributions are related to the provision of the following council services:
 - Water supply
 - Wastewater supply
 - Stormwater supply
 - Reserves, Reserve Improvements and Community Facilities
 - Transportation (also known as Roding)

[Click here for more information on development contributions and their charges](#)

OR Submit an Estimate request *please note administration charges will apply



Please note that some land use consents can be dealt with as fast track land use consent. This term applies to resource consents where they require a controlled activity and no other activity. A 10 day processing time applies to a fast track consent.

If the consent authority determines that the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the Act.

While it is not essential that your documents are named the following, it would be helpful if you could title your documents for us. You may have documents that do not fit these names; therefore below is a guide of some of the documents we receive for resource consents. Please use a generic name indicating the type of document.

Application Form 9

Engineering Report

Assessment of Environmental Effects (AEE)

Geotechnical Report

Computer Register (CFR)

Wastewater Assessment

Covenants & Consent Notice

Traffic Report

Affected Party Approval/s

Waste Event Form

Landscape Report

Urban Design Report

Ecological Report

27th August 2021

Updated 23rd November 2021

Queenstown Lakes District Council

Wanaka Office

47 Ardmore Street

WANAKA 9305

Attention: Wanaka Planning Department

1.0 INTRODUCTION

Please find an application for Resource Consent for the establishment of two farm sheds and two building platforms that will serve the purpose of providing for worker accommodation at 230 Mount Barker Road, Wanaka.

The application includes a site description, description of the proposed activity and an assessment of how the proposal aligns with the relevant District Plan rules and assessment criteria. Landscape and Traffic assessments are also attached herein.

2.0 APPLICATION DETAILS

APPLICANT	FERGUS AND ALISON MACDONALD
SITE LOCATION	230 MOUNT BARKER ROAD
LEGAL DESCRIPTION	LOT 6, DP 305038, RECORD OF TITLE 20676
SITE AREA	20.669ha
ZONING (ODP)	RURAL GENERAL
ZONING (PDP)	RURAL

3.0 APPENDICES

APPENDIX A	FORM 9
APPENDIX B	RECORD OF TITLE

APPENDIX C	PROPOSED SCHEME PLAN
APPENDIX D	SHED PLANS
APPENDIX E	ACCOMMODATION UNIT EXAMPLES
APPENDIX F	LANDSCAPE ASSESSMENT
APPENDIX G	TRAFFIC ASSESSMENT
APPENDIX H	SITE AND SOILS ASSESSMENT (SUBMITTED AS PART OF RM181203)
APPENDIX I	WRITTEN APPROVALS
APPENDIX J	ORC BORE AND WATER TAKE APPROVALS
APPENDIX K	CHORUS AND AURORA CONFIRMATION

4.0 SITE DESCRIPTION AND DESCRIPTION OF PROPOSAL

This application seeks land-use consent to establish two, 525m² sheds and two 750m² rectangular shaped building platforms that will enable the establishment of up to 16 worker accommodation units associated with the existing Rural Industrial Activity onsite.

Site Description

The site is situated on Mount Barker Road, approximately 1,900m west of the Wanaka-Luggate Highway / Mount Barker Road intersection. The property is accessed via a 670m leg-in that extends from Mount Barker Road. This access is of a metal formation and serves use from one other rural land holding, being Lot 7, DP 305038.

The site's topography is generally flat, with the exception of some undulation in proximity to the southern boundary associated with a low escarpment/terrace riser.

The site covers 20.669ha in total and currently accommodates one farm building that contains an attached office, storage room, break area and bathroom facilities, along with outside yard areas. The remainder of the site is of a pastoral nature.

This site is used to operate a rural contracting business which services a large proportion of

the Upper Clutha area. The business involves harvesting, ploughing, cultivation, planting and farm drainage (please note this list is not exhaustive). The current farm shed and yard area is used for the storage and maintenance of the farm equipment required for these operations, with the office, storage and break out areas supporting the staffing and administrative logistics of the business.

The subject site and surrounding area is zoned Rural General under the Operative District Plan and Rural under the Proposed District Plan. Under the Proposed District Plan, the landscape of which the site is situated within is classified as a Rural Character Landscape (RCL). Whilst the ODP did not specifically categorise relevant landscapes, a number of surrounding landscape assessment reports have identified the area of which the site is part of as being Visual Amenity Landscape (VAL).

Despite the rural zoning of adjoining land, the sites directly to the north are dominated by residential activity, each housing a residential dwelling and associated accessory buildings and landscaping.

Properties to the south are generally around 20ha in size and are slightly elevated above the subject site, three of these properties now have residential units and associated accessory buildings established.

The subject site was created in 1999 under RM980306. This approved the subdivision of a 2,000ha rural property into nine 20ha allotments for olive oil production, six allotments for viticulture, one 20ha rural allotment and four smaller sites comprising an implement shed and future retail sales. The subject site was one of the nine lots created for the purpose of olive oil production. It was understood at the time of consent that these sites would encompass some form of residential component in conjunction with the agricultural production element of the land, however olive oil production has not been realised on any of the nine lots created for this purpose.

Currently, in respect of these lots, five residential units and associated accessory buildings (of which one includes a building platform) have been approved on a non-notified basis via individual resource consent applications and subsequent approvals. These approvals can be found as RM071034 – Staufenberg (established), RM080825 and RM160228 – Wood (established), RM171197 and RM200710 – Nyhon and Mavor (partially established), RM181474 – Wallis & Hazledine (established) and RM200358 – Cameron, Beange, Obsaldiston (under establishment, included building platform). These approvals and subsequent establishments have led to a rural environment that is predominated by rural living, and generally lacking any intensive agricultural productivity as envisaged within the underlying subdivision, with the exception being the subject site, which sustains a genuine rural business type.



Figure 1: Olive Oil Production Sites created by RM980306 (subject site of this consent noted).

The Proposal

The site operates a rural contracting business which services the greater Upper Clutha area. Resource Consent RM160782 was approved in May 2017 for the construction of a farm shed and associated storage/yard area. The business has since grown to the extent where there is no longer storage for the machinery it operates and as a consequence, additional sheds to store such machinery.

Each proposed shed is 525m² in area, will comprise seven open bays, and be constructed to a finished height of 6.6m above ground level. Each shed will be clad in coloursteel that will be coloured grey friars.

The opening sides of each shed will be oriented inwards toward the operation's yard area. Please see below for the scheme plan as submitted as **Appendix C** to this application (note that shed plans are attached as **Appendix D**).



Figure 2: Scheme Plan attached as Appendix C, showing position of two proposed farm buildings.

In addition to physical resources, the business demands industry specific labour. In this respect, the existing business employs staff year-round from New Zealand as well as overseas. Levels of employment increase seasonally, particularly during harvest season (being from September to April) due to the relative increase in scheduled work load.

Up until this time, workers have been based off site, accommodated in shared living arrangements. This has proven unsuccessful due to a variety of reasons as follows:

1) the lack of residential rental opportunities for circa 6 month periods, coupled with the ever-increasing rental pricing of homes in Wanaka presents economic hurdles, which if not overcome, decreases business viability, OR, if priced into services, diminishes financial viability for rural land to support traditional uses, which are performed by specialist rural contractors such as Green to Gold;

2) due to work-heavy staffing roster including both early mornings and late nights, in combination with perceived/stereotyped industry culture (as a result of staff including, but not being limited to young single males), there is often a perception that the tenant type will not be compatible with landlord expectations, and as a consequence, contractor staff are not preferred over other tenant types.

In finding a response to these hurdles, this application has identified an opportunity to sensitively accommodate a capped number of rural industry workers onsite, which will address business requirements, whilst also promoting greater efficiencies otherwise associated with transportation to and from the Green to Gold operational base.

The proposed solution forms the second part of this application being the establishment of two 750m² building platforms that will in total be capable of accommodating 16, single person worker units (split across both platforms), in which staff can reside on site, whilst being employed to perform the essential service that Green to Gold provides to landowners throughout the District's Rural zone. Not only will this provide a solution to economic challenges that the business, and/or staff face, but of equal importance, it will increase logistical performance by consolidating staffing accommodation and business operations to one location, within a District Plan zone that primarily seeks to accommodate agricultural activities and related effects.

Due to evolving options in respect of small accommodation unit design, the final dimensioned/fixed plans of accommodation units are not submitted as part of this

application, however an example of the type of accommodation unit that volunteered design controls will provide for is attached at **Appendix E** of this application. This design is approximately 20m² in area, built to a maximum height that is less than 3m. Precise conditions have been offered (detailed in section 5.0 below) in order to ensure the design outcomes are appropriate and consistent with the intent of this application.

In terms of configuration, development is proposed to be kept within the vicinity of existing built form on site so as to achieve somewhat of a building and associated activity cluster that is well separated/appropriately distanced from surrounding land use activities.

It is proposed that the two sheds are situated to insulate the current yard area which exists on the site.

The building platforms are situated to the south west of the current shed. This is close enough to make use of the existing services whilst providing a pleasant outlook and outdoor space for staff. Parking is provided at a rate of one car park per accommodation unit, however it is unlikely that all employees will have their own vehicle.

Overall, it is important that Council recognise the genuine rural nature of the activity and the essential service of which the Green to Gold operation provides to owners of land within the Rural zone. This Resource Consent application seeks to sustain viability, whilst providing for growth, greater logistical efficiency and overall, a continuation of the essential service provided by Green to Gold to the Upper Clutha region. This essential service will further aid the viability of agricultural land use within the District's Rural zone, whilst, through design outcomes will ensure a site specific design response maintains landscape, character and amenity values.

Other District Plan Considerations

This activity is classed as a Rural Industrial Activity being that of land and buildings for the purpose of storing *“goods, materials and machinery associated with commercial contracting undertaken within the Rural Zone”* (PDP Definitions).

It has been recognised through the District Plan Review process that the Operative District Plan made little to no provision for rural industrial activities which complement and support farming and rural productive activities. The District Plan Review process has sought to rectify this shortfall. Due to the scale and nature of these activities, they are often unsuited to existing industrial areas throughout the district which are adjacent to urban areas. As such the activity which forms this consent has become established in a rural setting which has been identified within the District Plan Review as a suitable setting/zone to locate such activities.

However, despite a Rural Industrial Sub-Zone forming part of the District Plan review process (note here the relevant [Section 32 Evaluation Report](#)) only one 2.663ha area in the entire district was identified appropriate for this sub-zone. Whilst it is understood that no other landowners submitted to gain such zoning, it is also noted that Council did not appropriately identify any other areas that would be suited (or discounted from suitability) to such a sub-zone. This situation has led to an entire suite of rules relevant to just one 2.663ha site. See Figure 4 below for the sub-zone location as highlighted by Council in the Section 32 Evaluation Report:

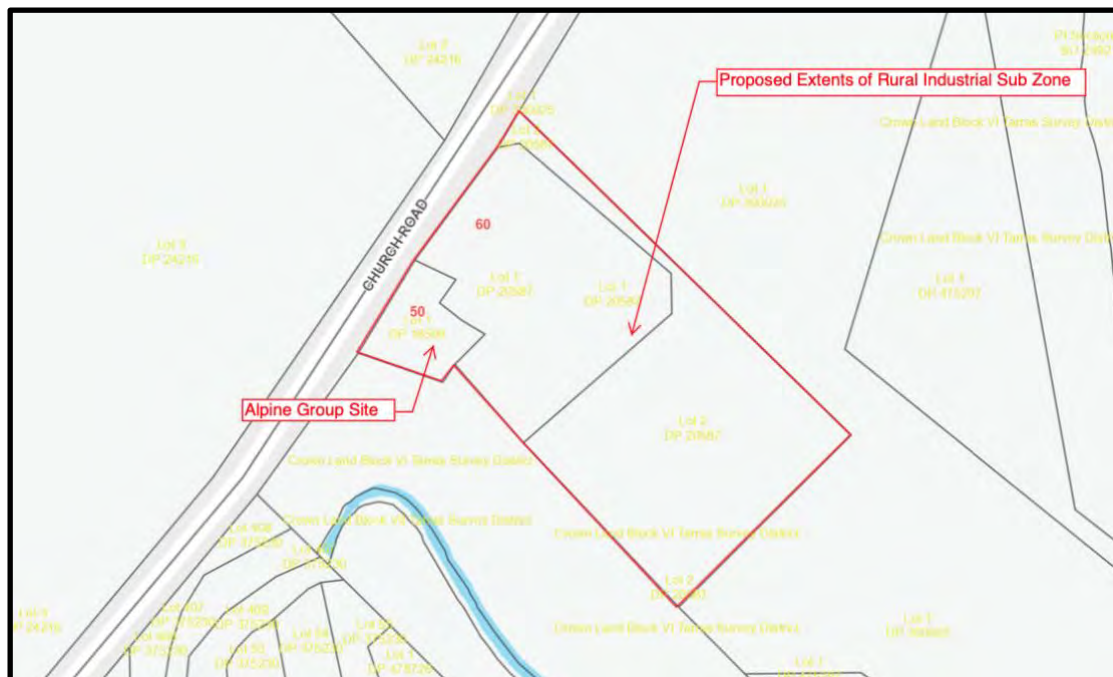


Figure 3: Extent of Rural Industrial Sub-Zone as per the Section 32 Evaluation Report which addressed the Rural Industrial Sub-Zone. Address: 50/60 Church Road, Luggate 9383. Land Area: 2.6631ha.

As a result of the subject site's existing rural industrial activity not being contained within this sub-zone as illustrated above, such an activity type is now classed as non-complying pursuant to rule 21.4.33 of the PDP with associated buildings being subject to greater restrictions related to bulk, location and use.

Overall, considering this situation as outlined above, the PDP recognises the legitimacy of rural industrial activities within the District. The PDP has provided for these to be established within the zone, but only at one location which has been zoned for such purpose.

This application, by nature of activity status, demonstrates that the re-zoning process, whilst appropriately identifying the provision of rural industrial activities, and a suite of rules to suit the development of such land use, did not provide adequate area to accommodate such sub-zoning. As a consequence of this, a legitimate rural activity such as that outlined by this

application will trigger a non-complying consent.

4.2 SERVICING

Water

There is an existing bore situated on the property, see Figure 5 below.



Figure 4: Scheme Plan (Attached as **Appendix C**), bore circled in orange.

This bore was constructed under Consent Number 2001.212 (attached as **Appendix J**). Subsequent to this, a community water take was granted under 2001.885 to extract 54,000 litres per day from the bore (attached as **Appendix J**). This water take was split between 9 properties with the subject site being one of them. This equated to 6,000ltrs of domestic water per day for the subject site.

However, it has been found that ORC deem this water take to have lapsed on 15th January 2004. This was not extended, nor has it been re-consented. Assuming that the water take has lapsed, the water right will revert back to the permitted domestic take of 25,000ltrs per day.

QLDC's standard 2,100ltrs per day is based on 700ltrs per person per day and this is generally taken to be roughly 350 litres for domestic use and 350 litres, to enable applications such as this, irrigation. Therefore, in order to accommodate 16 persons on site, this would equate to 5,600ltrs per day (based on 350ltrs per day per person). Within the structural landscaping plan there are 1,060 proposed plantings and approximately 35 infant trees currently onsite which likely require irrigation. It is estimated (with roughly each plant requiring 1.5ltrs per day on average in summer), 1,095ltrs per day will be required for structural landscaping. The existing wash down and office/smoko area currently utilises around 3,000ltrs per day. Lastly, and in order to retain productive integrity of the site, the property requires a further 15,000ltrs per day for 7 months of the year to enable crop production. Overall, this equates to a maximum water demand of circa 25,000ltrs per day during the summer months. This falls within the range of the permitted take (being 25,000ltrs).

Despite the above, it is noted that due to the bore being constructed for 'community' purposes, there is some uncertainty related to how a permitted right (25,000 litres) should be apportioned/allocated. If the current permitted allocation is split between the nine properties (2,777ltrs per day per property), this is not likely to be sufficient for the purposes of this development. However, given ORC's approach to allocating water rights (taking a position of not allocating consented water rights prior to proven demand/approved land use consent), a condition is volunteered that prior to the establishment of the accommodation units, appropriate approvals related to water volume (such as ORC consent for an appropriate volume allocated to the subject site) be supplied to QLDC illustrating sufficient capacity of supply.

Static firefighting provisions will be provided on site to comply with the applicable standards. The applicant is agreeable to a condition in this regard.

Electricity and Telecom

An existing electricity connection extends to existing building infrastructure on site. This same supply will be extending to the new sheds and accommodation units as deemed necessary for business operational requirements (confirmation attached as **Appendix K**).

In terms of telecommunications, whilst an extension of the underground telecommunication network to the platforms is possible (**Appendix K**), the current infrastructure onsite utilises wireless technology which is fit for purpose. If council believe a condition appropriate in regard to the provision of telecommunication services, flexibility is requested such that the most appropriate and efficient telecommunication/broadband connection be established at the time of exercising the consent.

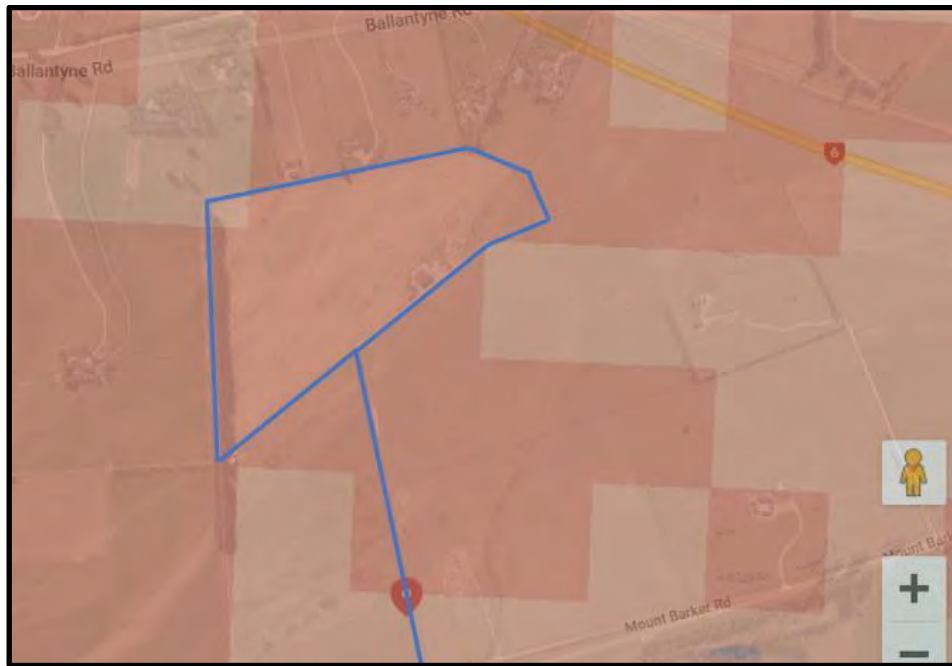


Figure 5: Application site and relevant broadband options overlaid. Light pink indicates that the site is within Vodafone 4G coverage and darker pink indicates the site is within 4G 'Plug and Play' coverage (which notes 'excellent 4G coverage'). Subject site outlined in blue. (Source:

<https://www.vodafone.co.nz/broadband/rural/>).

Wastewater

An onsite wastewater disposal system has been installed at the time of previous building works (which included a bathroom and staffing break facility). At this time, additional capacity was installed as per the site and soils/engineering assessment attached as **Appendix H** to this application. It is noted that there will likely need to be appropriate upgrades to this system in order to serve the accommodation units, and so in this regard, a condition has been offered.

Stormwater

Appendix H also confirms appropriate soils for stormwater soakage to ground.

4.3 PROPOSED DEVELOPMENT CONTROLS

The following controls are offered as conditions of consent. The applicant is also open to the inclusion of other more standard conditions of consent that are relative to the nature and scale of the proposal and is willing to work with council to determine the final and appropriate condition wording:

- Prior to the establishment of the accommodation units, the existing effluent disposal system shall be upgraded to an appropriate standard in order to serve the accommodation units. This upgrade shall be designed by an appropriately qualified professional and have regard to the Meyer Cruden Engineering Ltd Report Dated 9 June 2018.
- The consent holder shall seal the edge of the right of way which adjoins Mount Barker Road.

- Prior to the establishment of accommodation units, confirmation of appropriate adequate water volumes (as per the outline of demand as detailed herein) shall be provided to Council.
- The Structural Landscaping Plan shall be implemented within the first planting season following the exercising of this consent.
- At the time that the building platform is registered on the Record of Title for the site, the consent holder shall register the following conditions as a covenant pursuant to Section 108(2)(d) of the Resource Management Act 1991:
 - All future accommodation buildings shall be contained within the Building Platforms as shown as Covenant Area X as shown on Land Transfer Plan XXXXX.
 - There shall be a maximum of 16 individual accommodation units established across both building platforms.
 - The individual accommodation units shall only be used for worker's accommodation in conjunction with the Rural Industrial Activity that operates from the subject site, and for a maximum of 16 pax. There shall be no more than one pax accommodated in each individual unit.
 - If the Green to Gold operation as described and consented is to cease in operation at 230 Mount Barker Road, the individual accommodation units shall be removed and the associated building platforms shall be relinquished from the record of title, unless a variation to consent is sought and approved by Resource Consent.
 - Future accommodation buildings within the proposed platforms shall meet the following standards:
 - (a) Any future accommodation buildings must be coloured recessively, with a light reflectance value of less than 30%.
 - (b) Any lighting fixed to the exterior of the accommodation buildings must be directed downward, away from adjoining sites and there must be no upward light spill.

- (c) Any future accommodation buildings shall be no greater than 3m in height.
- (d) Building coverage within each building platform shall not exceed 40%.

4.4 NATIONAL ENVIRONMENTAL STANDARDS FOR ASSESSING CONTAMINANTS IN SOIL

With respect to a preliminary site investigation (PSI) of soil contaminants, consistent with the published guidelines for assessing and managing contaminants in soil to protect human health, a site walk over has been undertaken, followed by an investigation of known land use associated with the site.

Both the Queenstown Lakes District Council's GIS hazard register and Otago Regional Council records have been searched and there is no known history of use of chemicals and/or any other hazardous contaminants (herbicides/pesticides/waste discharges and/or other). Accordingly, no adverse effects are anticipated in this regard, and no consents under the NES are applied for.

5.0 SITE HISTORY

The following resource consents are relevant to this application:

- RM980306 Approved the subdivision of a 2,000ha rural property into nine 20ha allotments for olive oil production, six allotments for viticulture, one 20ha rural allotment and four smaller sites comprising an implement shed and future retail sales. This subdivision created the subject site as it exists currently.
- RM160782 Approved the Construction of a farm building and the operation of a commercial activity which is the current rural contracting business operating from the site.
- RM181203 Approved an 80m² extension to the existing farm building to provide washroom/toilet/shower, office, parts and staff breaking rooms at Mt Barker Road.

6.0 RELEVANT PROVISIONS OF THE OPERATIVE DISTRICT PLAN

6.1 ACTIVITY STATUS (Operative District Plan)

The subject site is zoned Rural General under the Operative District Plan. The proposed activity triggers the following consents:

- A **controlled** activity resource consent pursuant to **Rule 5.3.3.2i(b)** for the construction of buildings that are contained within an approved platform;

This rule trigger is due to standards dictated in Table 2 and 4 in Chapter 21 (Rural) in the PDP still being under appeal. It is noted that other the ODP rules are deemed inoperative as per Section 86F of the RMA and therefore are no longer relevant.

6.2 ACTIVITY STATUS (Proposed District Plan)

Under the Proposed District Plan, the site is zoned Rural and the proposed sheds, building platforms require the following consents:

- A **discretionary** activity consent pursuant to **Rule 21.4.10** regarding identification of a building platform not less than 70m² and not greater than 1000m²;
- A **restricted discretionary** activity consent pursuant to standards **21.8.1.1** and **21.8.1.2** for the construction of two 525m² farm buildings which are on a land holding of less than 100ha and exceed the density of one farm building per 50ha. Council's discretion is restricted to:
 - a. the extent to which the scale and location of the Farm Building is appropriate in terms of:
 - i. rural amenity values;

- ii. landscape character;
 - iii. privacy, outlook and rural amenity from adjoining properties;
 - iv. visibility, including lighting.
- A **discretionary** activity pursuant to **Rule 21.4.9** for the use of land or buildings for residential activity except as provided for in any other rule. In this instance, there are 16 accommodation units proposed within two building platforms to be used for residential purposes associated with the onsite rural industrial activity along with associated parking located south of the platforms.
- A **non-complying** activity pursuant to **Rule 21.4.33** for Rural Industrial Activities outside the Rural Industrial Sub-Zone. In this respect, the activity now falls under the definition of Rural Industrial Activity as opposed to Commercial in the ODP.

The below rules are considered inoperative under the PDP due to standards dictated in Table 2 and 4 still being under appeal:

- A **discretionary** activity pursuant to **Rule 21.4.11** for the construction of any building including the physical activity associated with buildings including roading, access, lighting, landscaping and earthworks, not provided for by any other rule. In this case, it is proposed to establish 16 accommodation units split across the two proposed building platforms. Each of these units will comprise of a small kitchenette facility therefore according to the definitions, technically 8 residential units and 8 residential flats are proposed.

Overall, the proposal qualifies as a **non-complying** activity.

7.0 ASSESSMENT OF ADVERSE EFFECTS

7.1 PERMITTED BASELINE

Pursuant to Section 104(2) of the Act, when considering the actual and potential effects of an application for resource consent, a consent authority may disregard an adverse effect of an activity on the environment if the plan permits an activity with that effect (the permitted baseline).

In this instance, the permitted baseline is relevant and includes:

- Commercial activities associated with the existing building and yard area as approved;
- Farming activities;
- Horticultural and viticultural activities;
- Landscape planting;
- Agricultural machinery utilising the existing right of way;
- Fencing;
- Earthworks up to 1000m³ per year;
- Earthworks greater than 1,000m³ if related to cultivation.

7.2 EXISTING ENVIRONMENT

The existing environment is also of relevance to the consideration of the proposal and comprises of consented development. The existing environment includes, an existing farm shed (which includes an office, storage area, bathroom facility and staffing break area) and the yard area all utilised in conjunction with the operation of the existing rural contracting business.

7.3 RECEIVING ENVIRONMENT

In addition to the permitted baseline and existing environment, it is important to consider the receiving environment which includes existing and consented development adjacent to and in the vicinity of the application site.

The receiving environment in this respect includes farming paddocks as well as residential units, accessory buildings, and landscaping on the properties immediately to the north of the subject site. These sections are zoned Rural under the District Plan however are somewhat characterised by rural living as discussed in section 4.0 above.

The surrounding properties to the south and east are all approximately 20ha in size, 5 of which have residential units and associated accessory buildings either consented or established. The property to the west also contains a residential unit and associated accessory buildings along with grazed paddocks.

It is within the context of the permitted baseline, existing and receiving environments described above that the actual and potential effects of the proposed development will be considered below.

7.4 ASSESSMENT OF ADVERSE EFFECTS ON THE ENVIRONMENT

The Rural Zone chapter guides the relevant assessment matters and these include:

- Existing Vegetation
- Effects on landscape quality and character
- Effects on Visual Amenity
- Design and Density of Development
- Cumulative effects of subdivision and development on the landscape
- Other factors and positive effects

In terms of landscape matters and effects, a Landscape assessment is attached as **Appendix F** to this application. The conclusions reached within that assessment have been used to inform this AEE.

Existing vegetation

There is no existing vegetation which could obstruct views from the roads that is beneficial in terms of mitigation.

Effects on Landscape quality and character

An assessment of landscape and visual effects has been undertaken by Vivian+Espie (V+E) and this is attached at **Appendix F** to this application. Their conclusions inform discussions related to landscape matters traversed by this AEE.

The V+E report notes that the landscape is categorised as being a Rural Character Landscape under the PDP and whilst the ODP does not specifically categorise the landscape, several landscape assessment reports relating to surrounding properties have classified the landscape as being a Visual Amenity Landscape.

The V+E report discusses the triangular area of land that comprises the nine 20 hectare lots as presenting an open, rural, agricultural type of landscape character despite established dwellings being evident. The following points are specifically noted:

- The buildings associated with the proposed agricultural contracting business are consistent with the intended land use of the Rural Zone and the building platforms are in keeping with the residential character of the surrounding landscape, albeit that the workers accommodation will have a more utilitarian character than the dwellings on surrounding properties.
- Whilst the development will result in a slight decrease in openness of the site, the clustering of the buildings ensures much of the site will be retained as open productive

agricultural land. The residential element is anticipated by the underlying consent that created the nine 20ha lots between Mount Barker Road and SH6.

- Agricultural contracting businesses are integral to the success of productive rural properties in the wider region, and buildings associated with the agricultural contracting business are in line with the intended character of the Rural Zone despite the surrounding area having been developed for primarily residential purposes.
- The utilitarian nature of the workers accommodation is not entirely unexpected in the rural zone, several instances of functional rather than aesthetic accommodation can be seen throughout the district including shearers quarters or singles man quarters.

The V+E report concludes that the effect on the rural character is considered to be low at most, with the purpose of the application being to enable ongoing agricultural harvesting and associated activities. Consequently, the potential adverse effects on landscape character can be considered minor.

Effects on Visual Amenity

An assessment of landscape and visual effects has been undertaken by Vivian+Espie (V+E) and is attached as **Appendix F** to this application. The conclusions of this assessment are adopted for the purposes of this AEE.

The report notes the following with regards to visual amenity;

- The site is setback more than 500m from Mount Barker Road and at a lower elevation.
- There will be no effect on views or visual amenity from Mount Barker Road.
- In relation to users of SH6; views are relatively distant, and the proposed built form will be less prominent than existing built form on the properties between the SH6 and the subject site.
- Ballantyne Road will also allow some visibility.

- In the short term, before proposed trees reach a level of maturity, the proposed sheds will be readily visible but from at least 500 metres distance.
- The proposed development will add more human modification to the rural scene and will result in a very low degree of effect. In the longer term, proposed vegetation will reduce this further.

Overall, the potential adverse effects on visual amenity can be considered minor.

Design and Density of Development

The two open sheds are situated so as not to be located over any existing easements. They are both oriented internal to the site, somewhat insulating the existing yard area. They are of traditional rural form, with their openings being directed toward the yard area. This creates a cluster of built form on the site, which achieves a retention of the majority of the open space surrounding the direct location of these activities. They are placed at significant distance from any internal boundary. The closest adjoining property is that to the south, whereby the visibility of built form, will from all angles benefit from the escarpment/change in topography that occurs along this boundary.

The placement and orientation of platforms will see them closely located to existing services on the site, whilst retaining an opportunity for a pleasant living environment/outlook to be gained. The applicant wishes to keep the exact form and location of the accommodation units flexible (within each platform), however, the landscape plan offers a projection of what the area could look like, with all units oriented to achieve a pleasant outlook, inclusive of pathways leading to each unit and amenity planting to retain privacy:



Figure 6: Landscape Plan as submitted with this application and attached as **Appendix F**.

In terms of the exact form of the accommodation units, these are requested to remain flexible but shall strictly abide to the controls outlined by this application. These controls seek to ensure outcomes are consistent with the intent of this application and to avoid and/or mitigate visual adverse effects. These are detailed within Section 5.0 and have addressed the nature, scale and form of these units.

It is significant to note that whilst this application proposes two 750m² platforms, the conditions restrict the building coverage within each of these platforms to 40%.

As visible in the scheme plan, the development has sought to restrict the sprawl of built form whilst maintaining a pleasant living environment for those who will be accommodated on site. This proposed arrangement has led to a large retention of open space and the preservation of production soils.

Including the building platforms, this cluster of built form would make up approximately 6-7% of the subject site, and whilst this is a larger apportionment of activity space than many surrounding sites, it has been configured in a sensitive manner whilst catering for the expansion of a genuine rural activity.

Overall, for the aforementioned reasons, any potential adverse effects related to the design and density of development are considered to be of a minor degree.

Cumulative Effects of Development on the Landscape

The main outcome of this application will be the development of built form and related operations including a domestic element associated with accommodating humans on site.

The V+E report assesses cumulative effects on the landscape within paragraph 37. It is acknowledged that the current proposal will move the relevant vicinity further away from a natural character and more towards a human-modified, human-occupied character, but one that is rural in nature. Consideration is also given to the mitigating factors including; the receiving environment and the proposed landscape treatment involving the retention of productive land and considerable tree planting. Overall, it is concluded that the addition of the proposed activities to the vicinity will amount to a cumulative effect on landscape character of a '*relatively slight degree*'.

Overall, it is considered that potential adverse effects with regards to cumulative effects are minor in degree.

Traffic and Access Considerations

The existing right of way access to the subject site is proposed to be retained and utilised. Whilst the number of heavy vehicle movements is not anticipated to increase with the

company already having the majority of large machinery required, there will be a marginal increase in domestic vehicles anticipated due to accommodating workers on site.

Mr Carr, a traffic engineer, has reported on the suitability of the access as well as the anticipated impact of its use on surrounding infrastructure. It is noted that sealing the edge of the right of way where it meets Mount Barker Road is recommended to prevent debris being tracked onto the road and a condition is offered in this regard.

His comments are adopted for the purposes of this report and are attached as **Appendix G** to this application.

Overall, adverse effects related to traffic generation and the use of existing access will be less than minor in degree.

Positive Effects

The district plan assessment matters include a directive to consider and value positive effects of proposed developments. In this respect, it is considered that the development would support, and further promote outcomes that are consistent with the purpose of the zone, and importantly as anticipated by an implementation of the relevant objectives and policies of the rural zone.

The proposal will enable a rural based agricultural business to operate efficiently within the zone it supports, and is already established within. The business service provided by Green to Gold will remain as viable to serve large tracts of rural land within the Upper Clutha Basin. In turn, this will enable traditional and evolving agricultural activities to remain as the most dominant land uses, whilst at the same time, ensuring such land use outcomes remain as the most dominant influence on rural character (including pastoral landscape character) throughout the District.

7.6 ASSESSMENT OF EFFECTS ON PERSONS

The following owners/occupiers have provided their written approval:

Property Address	Owners
124 Mount Barker Road	John Wood Kathleen Wood MCC Nominees 2015 Ltd
262 Mount Barker Road	Glenn Cameron Carol Beange Grace Beange Christine Osbaldiston GCA Legal Trustee
202 Mount Barker Road	Ben Lucas Lucy Lucas
602 Ballantyne Road	David Allen
622 Ballantyne Road	Laura Jane Taylor Matthew David Taylor
626 Ballantyne Road	Mark Allen Price Catherine Mary Price
726 Wanaka-Luggate Highway	Jan Grant Ewan Grant Geoffrey Grant

Please refer to the figure below which highlights the properties of which owners have provided their written approval in relation to the subject site (and attached in **Appendix I**).



Figure 7: Aerial image of subject site outlined in blue with neighbouring sites who have provided APA marked with Green Stars.

The following assessment is therefore relevant to those neighbouring properties that have not provided written approval to the application.

The V+E report addresses views and visual amenity effects from neighbouring properties, and this can be found at paragraphs 23-35 of their report. This assessment will be drawn upon for the below discussion.

It is important to note throughout the assessment that rural activity and some residential activity is not entirely unexpected given the context of the site discussed above.

658, 662 and 672 Ballantyne Road

These properties are all rural living lots, being approximately 4ha in area, void of productive agriculture and situated to the north of the subject site. Both 658 and 662 have residential dwellings and associated accessory buildings situated towards the south of the property. 672 Ballantyne Road encompasses, LimeTree Lodge, a short-term accommodation facility which has Resource Consent to host 20 weddings per year and breach noise limits during those events (RM150301).

Generally, built form within these properties are oriented toward the north, away from the subject site. As somewhat of a mitigating factor, this orientation is then combined with significant distance between these occupations and the proposal's location (a minimum of circa 200m).

For example, the residential unit within 662 Ballantyne Road has large, full-length windows on the northern elevation including sets of doors extending from primary living areas that accessing the home's northern outdoor area, presumably taking advantage of the northern vista.

The southern elevation is characterised by less and smaller windows servicing rooms such as bathrooms and garaging. In terms of the example being referred to, to the west/southwest is a gravelled access/vehicle manoeuvrability area as well as a 100m² implement shed with roller doors oriented north. Whilst it is understood that owners/occupiers can frequent any part of their land, it is important to take account of the 'notional' boundary from which they regularly experience amenity, these being the curtilage areas of their built form, as opposed to the southern corners of the site which are less likely to be frequented. When these areas are frequented, it should not be unexpected to view the workings of an agricultural activity being situated within a rural zone.

As a result of this orientation, the proposed built form will not be within any prominent viewshafts for these properties. Additional planting is proposed along the northern boundary

of the subject site which will soften views from these properties towards the site. The proposed sheds will be rural in nature (timber pole and steel open bay sheds) oriented away from these properties and will be clad in recessive materials being that of greyfriars coloured coloursteel. The accommodation units themselves will also be suitably recessive (controlled via consent conditions), allowing them to some extent be absorbed into the backdrop of the escarpment as well as being contained within the platforms that are in close proximity to both existing and proposed sheds that will from many angles screen them from view.

The above properties do not share an access and therefore there are no access or traffic effects that are relevant for the purpose of Council's assessment.

Overall, in regards to potential adverse effects on the current levels of visual amenity experienced by the owners/occupiers of 658, 662 and 672 Ballantyne Road, effects on such amenity to be generated by the proposed activity will be less than minor in degree, reducing further as planting matures.

226 Mount Barker Road

This property is situated to the south of the subject site and is a 20ha rural living lot. The dwelling is located on a flat terrace towards the south of the site. There is an escarpment on the north/northeast boundary of 226 Mount Barker Road and southern boundary of the subject site. Consequently, the dwelling sits approximately 5m above the subject site and is circa 320m south from the boundary of the subject site.

As a result, it is considered that from the notional boundary of where this rural living activity is placed upon the rural title (including approved curtilage area), only the upper reaches of the proposed sheds will be visible, while buildings related to staff accommodation (to be established within the platforms) will be entirely screened from view by vegetation and topography.

The V+E report notes that whilst the proposed development will likely be fully visible from the northern parts of the property, near the edge of the terrace, this part of the property has been retained as open pastoral land and is not likely to be frequented by occupiers, other than at times of undertaking land management activities. When this area is being occupied, it should be anticipated that that rural activities established on adjacent and further afield rural properties will may be visible, nor should an overnight accommodation element be unexpected, given the underlying subdivision approval discussed this as an anticipated element to be applied for in future, and which has been realised on many of the surrounding properties.

Overall, in regards to adverse effects on the visual amenity currently available to or anticipated by the owners/occupiers of 226 Mount Barker Road effects on such amenity, as generated by the proposed activity will be less than minor in degree.

In respect of traffic effects, this property gains access from the right of way of which the subject site owns and currently utilises. In regards to the potential impact of traffic and associated usage of the right of way, a traffic assessment has been undertaken and this is attached as **Appendix G** to this application. Within this assessment is it confirmed that the proposal will unlikely increase traffic utilising the right of way. Moreover, it confirms the appropriateness of the current formation of the right of way (save that of the sealing of the crossing to Mount Barker Road). It is therefore considered that adverse effects related to matters of safety will be less than minor in degree as relating to the owners/occupiers of 226 Mount Barker Road.

Additional nuisance effects

Whilst social behaviour should not be stereotyped according to occupation, it could be perceived that that particular arrangements of the worker accommodation units may

contribute to certain social behaviours that may generate particular noise outcomes.

In respect of noise that may stem from the worker accommodation arrangement, it is relevant that working schedules for agricultural workers during harvest time involve extremely long shifts, more than that of an ordinary (9-5) working day. Whilst it is acknowledged there are a greater number of people being accommodated, with working schedules in mind, there is no reason to anticipate that the behaviour and/or related noise from occupants would differ from any other legally established activity (including buildings that facilitate overnight accommodation) on surrounding properties.

While it is important to recognise the distances between the accommodation units and surrounding notional boundaries being a distances of at least 200m, much the same as visitor accommodation, and/or other activity types, the proposal requires to comply with the relevant noise standards of the district plan - this proposal does not seek consent for any trigger in this respect.

Dust effects from the private right of way are unlikely to increase greatly from that of the status quo given that vehicle movements are not anticipated to largely increase.

Overall, it is considered that adverse effects which may arise from the proposal on persons will be less than minor in degree.

8.0 OBJECTIVES AND POLICIES OF THE OPERATIVE & PROPOSED DISTRICT PLAN

Operative District Plan (ODP)

The relevant objectives and policies are situated in Part 4 (District Wide Issues) and Part 5 (Rural Areas).

District Wide Issues

Within Part 4 the relevant objectives and policies are contained within Part 4.2 Landscape and Amenity Values. The first objective in 4.2.5 which is relevant to this application seeks that development is undertaken in the District in a manner which avoids, remedies or mitigates adverse effects on landscape and visual amenity values. The relevant policies focus on; Future Development (1), Visual Amenity Landscapes (4), Avoiding Cumulative Degradation (8), Structures (9), Transport Infrastructure (12) and Land Use (17).

The proposal will add built form to the subject site by way of two sheds established for the purposes of storage and maintenance of machinery as well as two building platforms to house 16 worker accommodation units. As discussed above, the built form will not be highly visible from outside the property boundaries. Where it may be visible, it will be obscured through, topography, structural landscaping, volunteered conditions of consent as well as the careful use of colours and materials. The clustered built form is located within the vicinity of an escarpment located on the southern boundary. Therefore, the built form will be imperceivable from Mount Barker Road. The proposed built form is anticipated to be visible from the public roads; SH6 and Ballantyne Road. The clustered built form will be at substantial distance from the State Highway, being approximately 600m. This visibility is anticipated to be obscured through both a low earth mound as well as planting. Similarly, the proposal will be visible from Ballantyne Road to the north however, the proposal will viewed in the background of existing residential activity. Furthermore, structural planting has been offered to help screen the development to some extent whilst the colours of the sheds and the limited colour options available to future accommodation units (stipulated by the District Plan), will enable all built form to be absorbed into the backdrop of the escarpment.

The aim of the proposal is to allow for a genuine rural activity to progress such that it provides a better service to the Upper Clutha agricultural community. The sheds which form part of this proposal are rural in appearance. Whilst the accommodation units will contribute a level

of domestication to the land (outside of long duration work hours), this domestication is not one which should be considered as being out of character within the surrounding rural area. Many of the properties surrounding the subject site have a residential building platform upon them and/or a residential unit and associated accessory buildings. What sets aside this application, is that this residential component will only be utilised by rural industry workers rather than in many cases, persons who live but do not work within the rural environment.

The proposal will result in an increase in activity on the subject site however, there is not anticipated to be a significant increase in vehicle movements. Vehicle movements will utilise existing infrastructure and reporting contained at **Appendix G** supports utilisation of the existing access and formation (with the exception of sealing the crossing where the access meets Mount Barker Road).

The site is well located to absorb the effects of the proposed activity, by being capable of locating the built form at significant distance from potentially affected neighbouring properties and roads. The proposal takes advantage of the low escarpment on the southern boundary which provides a visual obstacle from the south as well as a softening feature from the north. The surrounding sites are similarly large and sparsely developed with large setbacks from the accessways and roads. The accessway to the nearest road is a long metalled access and provides a safe point of entry to the surrounding roading network.

It is therefore considered that the proposal is consistent with policies that seek to remedy adverse effects on the landscape, visual amenity and direct development into those areas with potential to absorb change. The proposal is consequently considered to be consistent with policies; 1(a)-(c), 4, 8, 9, 12 and 17.

Rural Areas

In terms of Rural Areas (Part 5), the objectives 1 (Character and Landscape Value) and 3 (Rural Amenity) are relevant.

The first objective focuses on Character and Landscape Value and the associated policies are; 1.1, 1.2, 1.3, 1.4, 1.5, 1.6 and 1.7. The application has fully considered the district wide landscape objectives and policies as demonstrated above. Due to the purpose of this application being the enhancement of an agricultural contracting business of which serves much of the Upper Clutha area, the activity is considered to be based around, as well as enhancing the productive capacity of the rural resource. The buildings are allied to productive rural activity and workers accommodation which support this. The location of the development serves to preserve any potential productive capacity of the subject site through the clustering of the built form and retention open land. The site has been assessed throughout this application as having the ability to absorb the proposed changes and will not result in structures being located on the skyline, ridges, hills or prominent slopes. Therefore, the proposal is in line with the objectives and associated policies.

Objective 3 focuses on Rural Amenity and the relevant associated policies are; 3.1, 3.2 and 3.3. Here it is recognised that permitted activities, such as farming, may result in effects such as noise, dust and traffic generation. This therefore anticipates similar machinery to what is currently on site being utilised, all of which generate noise and traffic. It is noted that due to the activity as proposed in this application, the volume of traffic generated may be greater than that of one small productive unit, however, it will not be significantly greater than what forms the current existing environment. The approval of this proposal would allow for an agricultural activity which supports the productivity of surrounding farms, to be located within the Rural Zone. The proposal has a design and offered conditions that ensure that adverse effects on rural amenity will be no more than minor. For the aforementioned reasons, the proposal is deemed consistent with objective 3 and related policies 3.1, 3.2 and 3.3 in Part 5; Rural Areas.

Overall, it is considered that the proposal will result in outcomes that are consistent with outcomes anticipated by an implementation of the relevant objectives and policies of the

Operative District Plan.

Proposed District Plan (PDP)

The relevant objectives and policies are contained in Chapter 3 (Strategic Direction), Chapter 6 (Landscapes and Rural Character) and Chapter 21 (Rural).

Strategic Direction

Objective 3.2.1 – *The development of a prosperous, resilient and equitable economy in the District.*

Relevant policies:

3.2.1.7 – Agricultural land uses consistent with the maintenance of the character of rural landscapes and significant nature conservation values are enabled.

3.2.1.8 - Diversification of land use in rural areas beyond traditional activities, including farming, provided that the character of rural landscapes, significant nature conservation values and Ngāi Tahu values, interests and customary resources, are maintained.

Strategic policy 3.2.20 - Enable continuation of existing farming activities and evolving forms of agricultural land use in rural areas except where those activities conflict with significant nature conservation values or degrade the existing character of rural landscapes.

Strategic policy 3.2.25 - Provide for non-residential development with a functional need to locate in the rural environment, including regionally significant infrastructure where applicable, through a planning framework that recognises its locational constraints, while ensuring maintenance and enhancement of the rural environment.

Strategic policy 3.3.32 - Only allow further land use change in areas of the Rural Character Landscapes able to absorb that change and limit the extent of any change so that landscape character and visual amenity values are not materially degraded.

The application will present outcomes that will be consistent with the above objectives and policies. The aim of the proposal is to allow for a genuine Rural activity to grow and provide a better service to the Upper Clutha agricultural community. This will allow for vast areas of the Upper Clutha's rural resource to be retained as production land, negating an alternative outcome related to land owners seeking viability of the land via other means (for example residential subdivision). It is considered that the activity, as highlighted by Council during the Rural Industrial Zone s32 report, that there is a need for an activity such as agricultural contracting, to be located within the rural environment.

The approval of this application, will enable continuation of existing farming activities as well as evolving forms of agricultural land use in rural areas whilst not significantly impacting the existing character of the landscape. The sheds which form part of this proposal are rural in appearance being that of open bay design. Whilst the accommodation units will contribute a level of domestication to the land, this domestication is not one which is completely out of character within the surrounding area. Many of the properties surrounding the subject site have a residential building platform upon them and/or a residential unit and associated accessory buildings. As previously discussed, what sets aside this application, is that this residential component is only to be utilised by rural sector workers.

Overall, the proposal is considered to present consistency with the relevant objectives and policies contained within the Strategic Direction chapter of the PDP.

Landscapes and Rural Character

Objective: Managing activities in Rural Character Landscapes

Policies:

6.3.19 Recognise that subdivision and development is unsuitable in many locations in Rural Character Landscapes and successful application will need to be, on balance, consistent with the objectives and policies of the Plan.

The application, as demonstrated throughout this section of the AEE, is, on balance, consistent with the relevant objectives and policies of both the PDP and ODP.

6.3.21 Require that proposals for subdivision or development for rural living in the Rural Zone take into account existing and consented subdivision or development in assessing the potential for adverse cumulative effects.

The rural living element within this proposal is to be utilised in conjunction with a productive rural activity, which also contributes to the productivity of many rural areas around the District. The above assessment, as well as the landscape assessment, have taken into account both existing and consented development when considering cumulative adverse effects. The conclusions are that cumulative effects upon the landscape are likely to be minor in degree.

6.3.22 Have particular regard to the potential adverse effects on landscape character and visual amenity values where further subdivision and development would constitute sprawl along roads.

The application as proposed, will not constitute a 'sprawl along roads' being that the development is contained within one site with no road boundaries. Where it can be viewed from SH6, only the additional sheds will be visible which are rural in nature and scale. Where the proposal can be viewed from Ballantyne Road, it will be consistently viewed in the background of rural living development therefore not contributing to development sprawl along roads.

6.3.23 Ensure incremental changes from subdivision and development do not degrade landscape quality of character, or important views as a result of activities associated with mitigation of the visual effects of proposed development such as screen planting, mounding and earthworks.

The development is to enable the continuation of a genuinely rural activity which contributes to the production of rural land across the district. Landscape quality, in conjunction with the development as proposed, has been assessed in **Appendix F**, and it is not anticipated to affect the environment to a more than minor degree. The proposal is not anticipated to adversely impact important views noting that the development will not impact any prominent viewshafts for neighbouring properties.

6.3.26 Avoid adverse effects on visual amenity from subdivision, use and development that:
a. is highly visible from public places and other places which are frequented by members of the public generally (except any trail as defined in this Plan); or
b. forms the foreground for an ONL or ONF.

As discussed within **Appendix F**, the proposal will not be highly visible from public places. The proposal is unlikely to be viewed in the foreground of any ONL or ONF. There may be the potential to see the additional sheds in the foreground of Mount Barker from SH6, however, this will be at a distance of circa 600m whilst Mount Barker itself is at a distance of approximately 3km. The sheds will be recessive and rural in appearance, therefore of a form that should be anticipated to be viewed within parts of the rural land resource. Planting and mounding are proposed to obscure views and reduce visual effects as much as possible. Overall, visual effects from this vantage are low, reducing as planting matures.

6.3.28 In the Upper Clutha Basin, have regard to the adverse effects from subdivision and development on the open landscape character where it is open at present.

As with any application within the Rural Zone, the application proposes built form and therefore will inevitably decrease the current openness of this site. The retention of openness has been a key consideration of the proposal informing the clustered form of the proposal and subsequent retention of open space. As a result, the reduction in openness is considered to be ‘*ever so slight[ly]*’ (**Appendix F**, brackets added).

Overall, As demonstrated above, the application is considered to be aligned and consistent with the above objectives and policies of Chapter 6 of the PDP.

Rural

21.2.1 Objective – A range of land uses, including farming and established activities, are enabled while protecting, maintain and enhancing landscape, ecosystem services, nature conservation and rural amenity values.

Policies:

21.2.1.1 Enable farming activities while protecting, maintaining and enhancing the values of indigenous biodiversity, ecosystem services, recreational values, the landscape and surface of lakes and rivers and their margins.

Granting of this proposal will enable farming activities across the district to continue whilst avoiding and/or mitigating adverse effects on the landscape at the direct location of the subject site. The proposal is not anticipated to have any adverse effects on indigenous biodiversity, ecosystem services and/or recreational values.

21.2.1.3 Require buildings to be set back a minimum distance from internal boundaries and road boundaries in order to mitigate potential adverse effects on landscape character, visual amenity, outlook from neighbouring properties and to avoid adverse effects on established and anticipated activities.

All proposed buildings are setback as required by the district plan.

21.2.1.4 Minimise the dust, visual, noise and odour effects of activities by requiring them to locate a greater distance from formed roads, neighbouring properties, waterbodies and zones that are likely to contain residential and commercial activity.

The activities associated with this application are those anticipated with a productive farm (albeit on a smaller parcel of land) such as; the provision of storage and maintenance areas for farming equipment and the onsite living accommodation for rural industry workers. Visual effects have been assessed in the report above and these have been deemed to be less than minor in terms of persons and minor in terms of the environment. The proposal is sensitively set back as far as possible from neighbouring properties and formed roads from which offer a degree of visual perception of the development whilst taking advantage of the topography to the south of the site. There are no anticipated odour adverse effects. Dust effects from the private right of way are unlikely to increase greatly from that of the status quo given that vehicle movements are not anticipated to significantly increase. As assessed above, any potential additional noise effects that would arise from the workers accommodation is likely to be less than minor in degree.

21.2.1.5 Have regard to the location and direction of lights so they do not cause glare to other properties, roads, public places or views of the night sky.

Any external lighting will comply with PDP rule 21.5.7.

21.2.1.11 Provide for the establishment of commercial, retail and industrial activities only where these would protect, maintain or enhance rural character, amenity values and landscape values.

The rural industrial activity exists on the site. The granting of this proposal will provide for the expansion and continuation of this activity and how the activity relates to greater tracts of rural land throughout the Upper Clutha area. As demonstrated in the above assessment, and through **Appendix F**, the proposal will maintain the rural character, amenity and landscape values of the area. Furthermore, the granting of this consent will protect the productivity of surrounding rural areas subsequently avoiding the potential for land owners to consider alternative land return methods.

21.2.2 Objective – The life supporting capacity of soils is sustained.

Policies:

21.2.2.2 Maintain the productive potential and soil resource of Rural Zoned land and encourage land management practices and activities that benefit soil and vegetation cover.

The proposal clusters built form so as to preserve the remaining open space for productive purposes. The activity as a whole increases vegetation cover whilst not compromising the balance land's soil resource, which will continue to provide for various agricultural land management practices.

21.2.4 Objective – Situations where sensitive activities conflict with existing and anticipated activities are managed to minimise conflict between incompatible land uses.

Policies:

21.2.4.1 New activities must recognise that permitted and established activities in the Rural Zone may result in effects such as odour, noise, dust and traffic generation that are reasonably expected to occur and will be noticeable to residents and visitors in rural areas.

It is important to note that farming is a permitted activity and this activity comes with certain effects that are anticipated within the rural zone. Such effects can be associated with

vehicle/machinery movements, associated noise and odour emissions. The agricultural contracting business already exists on the land as consented by RM160782 and RM181203. The vehicle movements along the right of way are not anticipated to increase greatly from that of the status quo as a result of this application. Additional noise, beyond the status quo, may arise from that of the accommodation of workers onsite however, as assessed above, this is not likely to be greater than 'less than minor' in degree, as it is required to comply within the applicable District Plan standards.

21.2.4.2 Control the location and type of non-farming activities in the Rural Zone, so as to minimise conflict between permitted and established activities and those that may not be compatible with such activities.

The proposal is associated with agricultural activities both within and beyond the subject site.

21.2.9 Objective – Provision for diversification of farming and other rural activities that protect landscape and natural resource values and maintains the character of rural landscapes.

Policies:

21.2.9.1 Encourage revenue producing activities that can support the long-term sustainability of the rural areas of the district and that maintain or enhance landscape values and rural amenity.

The granting of this consent will directly contribute towards the long-term sustainability of the rural areas of the district. It will allow the continuation of the business to provide the local surrounding rural area with vital agricultural services. The activity has been assessed within **Appendix F** to not have significant adverse effects on landscape values and rural amenity.

21.2.9.2 Ensure that revenue producing activities utilise natural and physical resources (including existing buildings) in a way that maintains and enhances landscape quality, character, rural amenity, and natural resources.

The current activity requires new open bay sheds to store and maintain agricultural machinery and equipment reducing the amount of equipment being stored outside currently. The storage of this equipment within sheds rural in form and nature will in itself, enhance landscape quality, character, rural amenity. The built form of both the workers accommodation and the sheds utilise and the natural topography of the site to ensure that the development is as visually sensitive as possible.

21.2.13 Objective - Rural industrial activities and infrastructure within the Rural Industrial Sub-Zones will support farming and rural productive activities, while protecting, maintaining and enhancing rural character, amenity and landscape values.

Policies:

21.2.13.1 Provide for rural industrial activities and buildings within established nodes of industrial development while protecting, maintaining and enhancing landscape and amenity values.

21.2.13.2 Provide for limited retail and administrative activities within the Rural Industrial Sub-Zone on the basis it is directly associated with and ancillary to the Rural Industrial Activity on the site.

Whilst the subject site is not located within a rural industrial activity subzone, the above policies are still somewhat relevant when considering this application being that the activity is already established on the site. This proposal provides for the continuation of the agricultural activity which supports surrounding farming and rural productive activities. Whilst there is a residential element proposed, this is only to be used in conjunction with the agricultural activity on the site. For confirmation of intent, there is a proposed consent

condition such that if the operation ceases or moves off-site, the workers accommodation units shall be removed and the building platforms shall be relinquished from the record of title. As discussed throughout this application and that reporting attached at **Appendix F** of this application, it is not anticipated that the proposal will give rise to adverse effects on landscape and amenity values which are more than minor in degree.

Consequently, the application is consistent with the above objectives and policies.

Conclusion

Overall, the proposal is consistent and not contrary to the above relevant objectives and policies of both the Operative District Plan and Proposed District Plan.

9.0 SECTION 104D: NON-COMPLYING ACTIVITIES

In respect to non-complying activities, the authority may grant a resource consent for a non-complying activity only if it satisfied that either the adverse effects of the activity on the environment will be minor or if the application is for an activity that will not be contrary to the objectives and policies of the relevant plans.

It is important to note that the activity is non-complying due to falling under the definition of a Rural Industrial Activity under the PDP. This activity is already established and this proposal seeks to enable the growth of this activity, including the provision of rural worker accommodation such that the business can continue to operate in an efficient and viable manner.

It has been demonstrated in section 7.0 above the adverse effects of the proposal will be minor or less than minor in degree. Further, as per section 8.0 above, in terms of the relevant objectives and policies, the activity is deemed to be consistent, and not contrary to these.

Consequently, the application is able to be approved by Council pursuant to direction under Section 104D.

10.0 PART II OF RMA 1991

The purpose of the Resource Management Act 1991 is to promote the sustainable management of natural and physical resources. The Act defines sustainable management as:

“... managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while—

- (a) sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
- (b) safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
- (c) avoiding, remedying, or mitigating any adverse effects of activities on the environment.”*

This application seeks to develop the natural and physical resources of the site to create greater storage for agricultural machinery and equipment as well as two building platforms for the purposes of providing onsite workers accommodation for agricultural workers. This built form is clustered to preserve productivity and avoid adverse effects on the environment. Residential use to assist farming activities is a sustainable use of the available resources of the site. As discussed previously, the application is considered to appropriately avoid, remedy or mitigate any adverse effects of the development.

Section 6 of the Act requires for the following matters of national importance to be recognised and provided for:

- (a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:*
- (b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:*
- (c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:*
- (d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:*
- (e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:*
- (f) the protection of historic heritage from inappropriate subdivision, use, and development:*
- (g) the protection of protected customary rights.*

The proposal does not require the removal of indigenous vegetation, does not affect public access, nor does the application affect known sites of cultural or heritage significance. The subject site is not within areas identified as being Outstanding Natural Landscapes or Outstanding Natural Features. The proposal is therefore not considered to have any impact related to any matter set out by Section 6 of the Act.

Section 7 of the Act requires:

In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall have particular regard to—

- (a) kaitiakitanga:*
 - (aa) the ethic of stewardship:*
 - (b) the efficient use and development of natural and physical resources: (ba) the efficiency of the end use of energy:*
 - (c) the maintenance and enhancement of amenity values:*
 - (d) intrinsic values of ecosystems:*
 - (e) [Repealed]*

- (f) maintenance and enhancement of the quality of the environment:*
- (g) any finite characteristics of natural and physical resources:*
- (h) the protection of the habitat of trout and salmon:*
- (i) the effects of climate change:*
- (j) the benefits to be derived from the use and development of renewable energy.*

The application is considered to represent the efficient use of land within the rural zone by establishing sheds for agricultural machinery and equipment to be stored, as well as allowing for worker accommodation. The proposal has been carefully considered to preserve the productive potential of the land whilst avoiding adverse effects on the landscape. Consequently, it is not considered to have any detrimental impact on any of those matters set out under Section 7 of the Act.

Overall, the proposed development is considered to be a sustainable use of the land resource offered by the site. The proposal will appropriately avoid, remedy or mitigate any adverse effects that could otherwise stem from an activity of this nature. Overall, the proposal is considered to represent sustainable management of natural and physical resources.

11.0 CONCLUSION

This application seeks Resource Consent for two additional farm sheds and two building platforms for the purposes of accommodating 16 onsite worker accommodation units at 230 Mount Barker Road, Wanaka.

This application is for the purposes of enhancing the efficiency and viability of an agricultural business that is already located on site, within the Rural Zone. The business type is integral to the Upper Clutha agricultural community and perhaps more specifically, a retention of rural production practice upon vast areas of rural land throughout the Upper Clutha region. The purpose of this application is to provide for the appropriate storage of agricultural equipment

and machinery as well as provisioning onsite accommodation for seasonal farm workers who, in past years, have resided in the surrounding townships. The accommodation units are considered to be an essential part of the daily harvest operation and will subsequently provide for an increase in worker efficiency while providing those workers with a financially viable accommodation option.

When aligned against the relevant assessment criteria of the District Plan, it is considered that the farm sheds and building platforms as proposed will promote outcomes encouraged by the objectives and policies of the Rural General and Rural zones of both District Plans.

As demonstrated throughout this report, the proposal will not give rise to any environmental adverse effects that will be more than minor in degree, nor effects on persons that will be greater than less than minor. It is therefore respectfully requested that Council approve this proposal subject to appropriate conditions of consent on a non-notified basis.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Nicole Malpass'.

Nicole Malpass
IP Solutions Ltd

Reviewed by

A handwritten signature in black ink, appearing to read 'Dan Curley'.

Dan Curley
Managing Director,
IP Solutions Ltd



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy



R.W. Muir
Registrar-General
of Land

Identifier 20676
Land Registration District Otago
Date Issued 02 September 2002

Prior References
1960

Estate Fee Simple
Area 20.6690 hectares more or less
Legal Description Lot 6 Deposited Plan 305038
Registered Owners
Fergus Mervyn Macdonald and Alison Clair Macdonald

Interests

Saving and excepting all minerals within the meaning of The Land Act, 1924 under the surface of the land (as to Section 1554R Block II Lower Wanaka Survey District)

Subject to Sections 230(c) and 315 of the Land Act 1924 (as to the part formerly contained in CT OT273/194)

Subject to a right of way over part marked A, B, C, D, right to convey water and maintain races marked A, take water and maintain pump marked W, convey electricity marked X, W and convey water marked X, E, D, C on DP 305038 created by Easement Instrument 5331382.4 - 2.9.2002 at 12:13 pm

Appurtenant hereto are rights to convey water and maintain races created by Easement Instrument 5331382.4 - 2.9.2002 at 12:13 pm

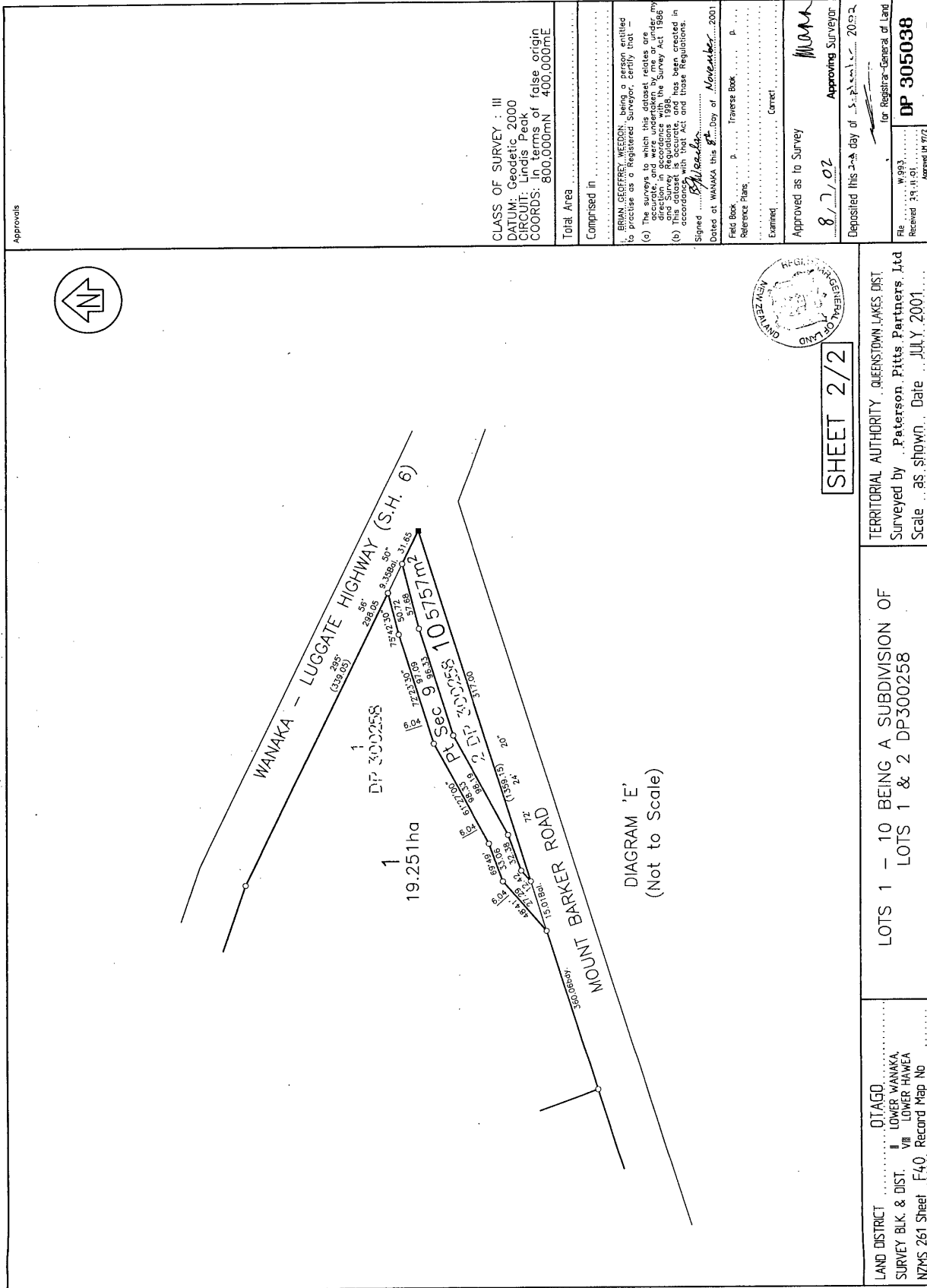
The easements created by Easement Instrument 5331382.4 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right in gross for telecommunication purposes over part marked A, B, C, D on DP 305038 in favour of Telecom New Zealand Limited created by Transfer 5331382.5 - 2.9.2002 at 12:13 pm

The easement created by Transfer 5331382.5 is subject to Section 243 (a) Resource Management Act 1991

Subject to rights in gross to convey electricity and establish and maintain electricity transformers over part marked E, D, C, W, X on DP 305038 in favour of Dunedin Electricity Limited created by Transfer 5331382.6 - 2.9.2002 at 12:13 pm

Some of the easements created by Transfer 5331382.6 are subject to Section 243 (a) Resource Management Act 1991



SHEET 2/2

TERRITORIAL AUTHORITY, QUEENSTOWN LAKES DIST.
 Surveyed by *Paterson, Pitts Partners Ltd*
 Scale as shown Date JULY 2001

LOTS 1 - 10 BEING A SUBDIVISION OF
 LOTS 1 & 2 DP300258

LAND DISTRICT OIA50
 SURVEY BLK. & DIST.
 NZMS 261 Sheet F40 Record Map No



Notes:

- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ XML.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

Lot 6
DP 305038
20.6690Ha
20676



Notes:

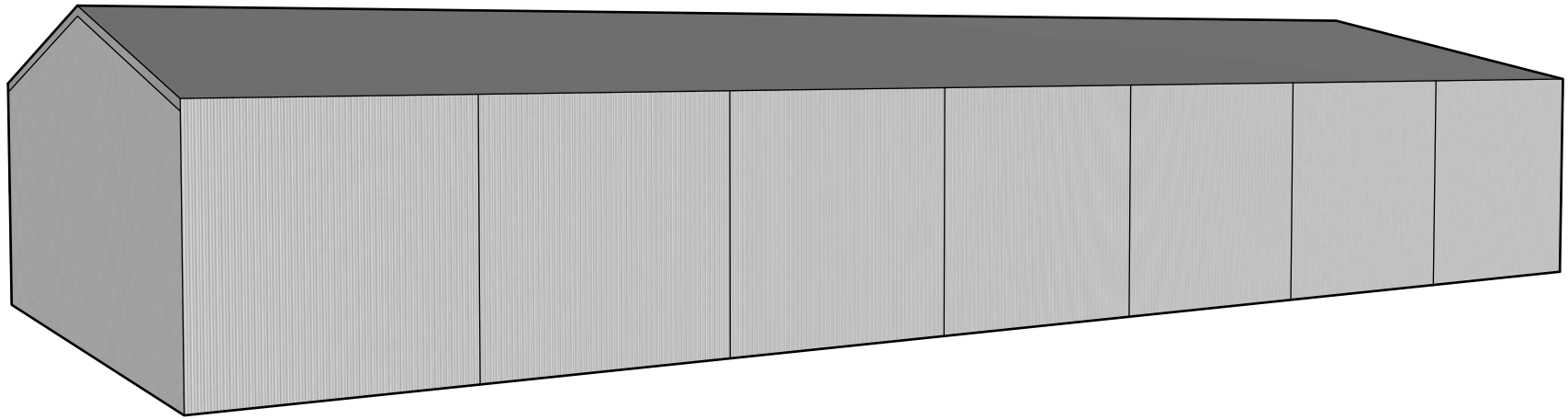
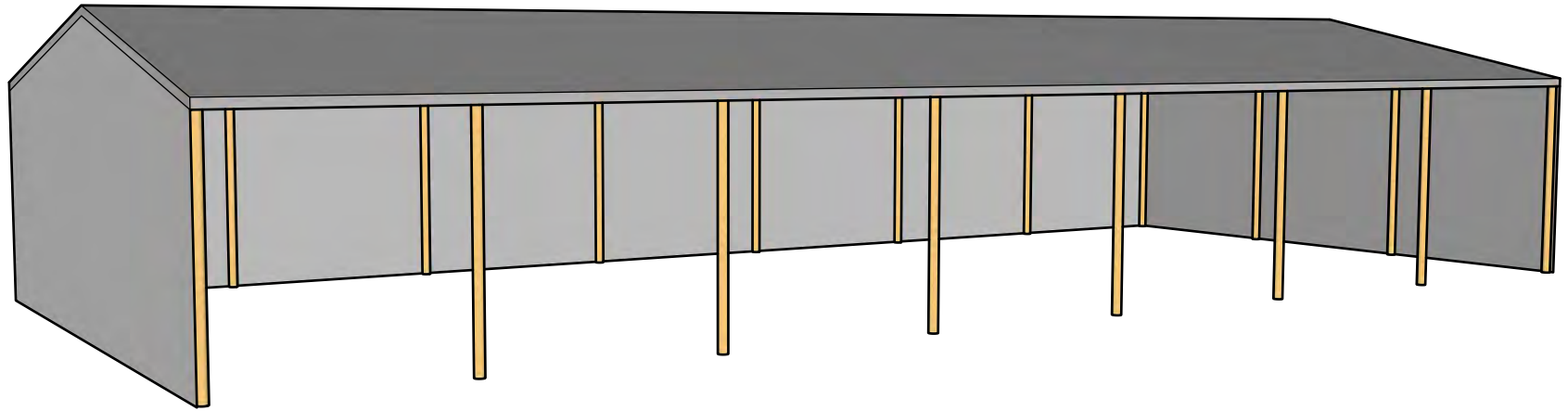
- Boundary information has been sourced from DP 305038.
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Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

Proposed Building Platform
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client:	Macdonald
Scale:	1 : 1000 @ A3
Surveyed:	ST 08/09/20
Drawn:	AF 29/10/20

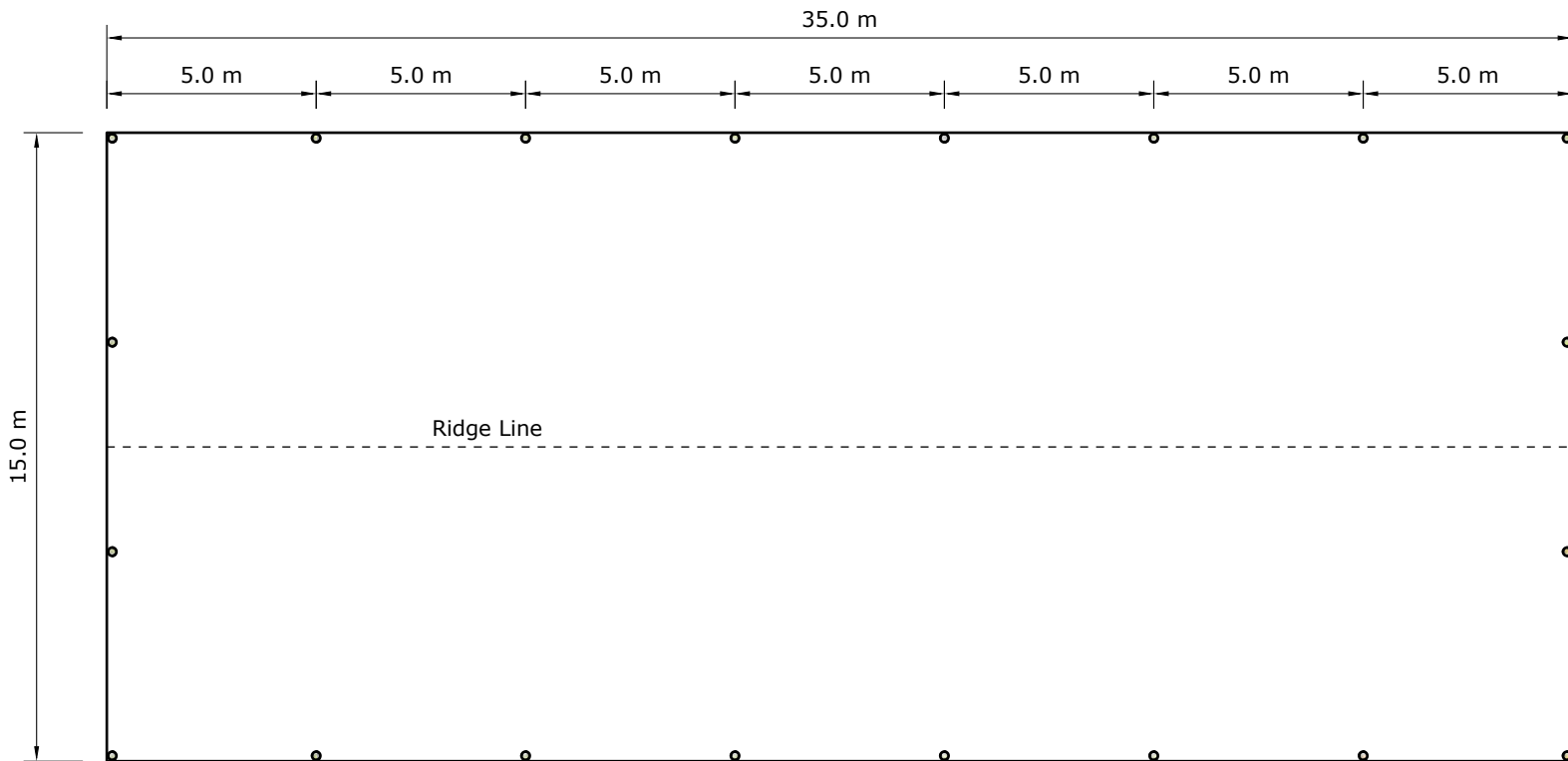
<p>COPYRIGHT</p> <p>This drawing and parts thereof are copyright to Measured Land Surveys Limited and shall not be reused, copied or reproduced without the written permission of Measured Land Surveys Limited.</p> <p>CSNZ THE CONSULTING SURVEYORS OF NEW ZEALAND A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS</p>		<p>Sheet: 2 of 2</p>	
Datum:	Lindis Peak 2000	Job #:	20069_S3
		Rev:	D



Fergus Macdonald - Elevations



October 27, 2020



Plan View



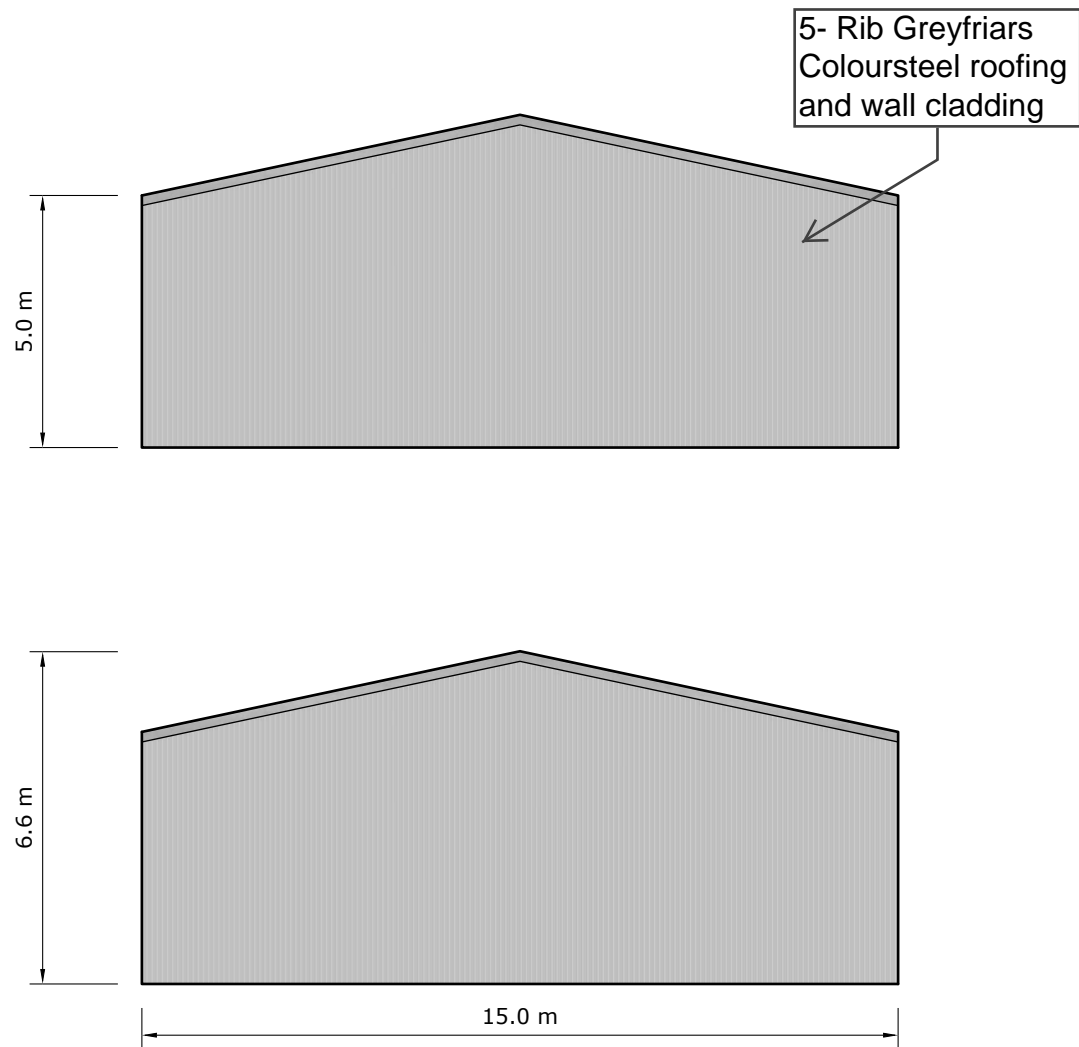
Fergus Macdonald - Elevations

REVISIONS

	DD/MM/YY	REMARKS
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3	--/--/--	...
4	--/--/--	...
5	--/--/--	...

A 01

A



End Elevations



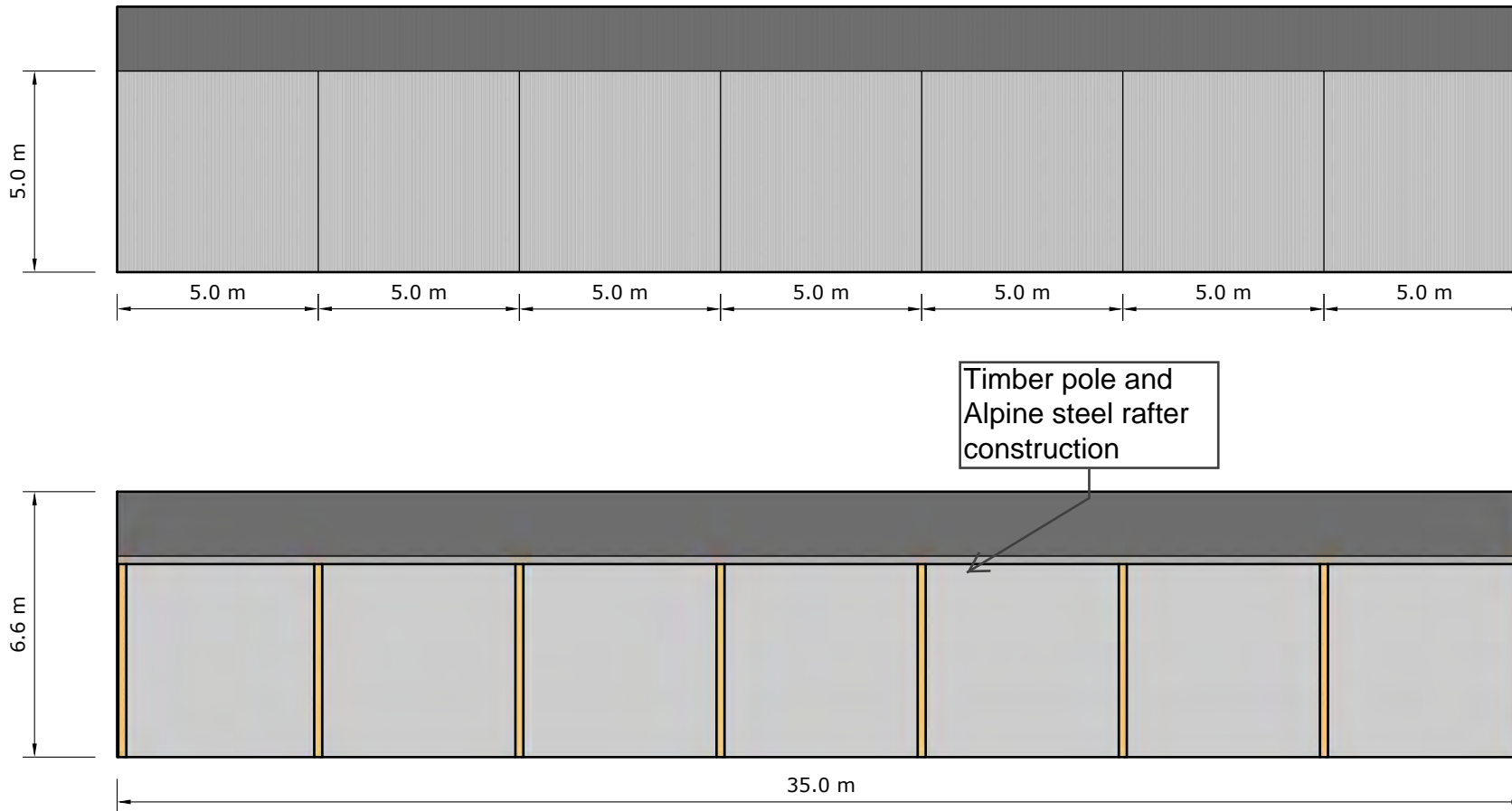
Fergus Macdonald - Elevations

REVISIONS

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4	--/--/--	...
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02

A



Side Elevations



Fergus Macdonald - Elevations

REVISIONS

	DD/MM/YY	REMARKS
1	--/--/--	...
2	--/--/--	...
3	--/--/--	...
4	--/--/--	...
5	--/--/--	...

A 03

A

Green to Gold Proposed Accommodation

To Green To Gold Office <greentogoldoffice@xtra.co.nz>



- Image 10-08-21 at 8.46 AM.jpg (92 KB)

EXTERIOR

INTERIOR

LEFT

FRONT

RIGHT

TOP



- Image 10-08-21 at 8.13 AM.jpg (153 KB)

CCL Ref: 14700-120821-malpass

12 August 2021

Nicole Malpass
IP Solutions Limited



A. PO Box 29623, Christchurch, 8540
P. 03 377 7010
E. office@carriageway.co.nz

By e-mail only: nicole@ipsolutions.nz

Dear Nicole

Proposed Site Access, 'Green to Gold'

Further to our various emails, we have reviewed the matter of access to the 'Green to Gold' site at 230 Mount Barker Road. Our comments are below.

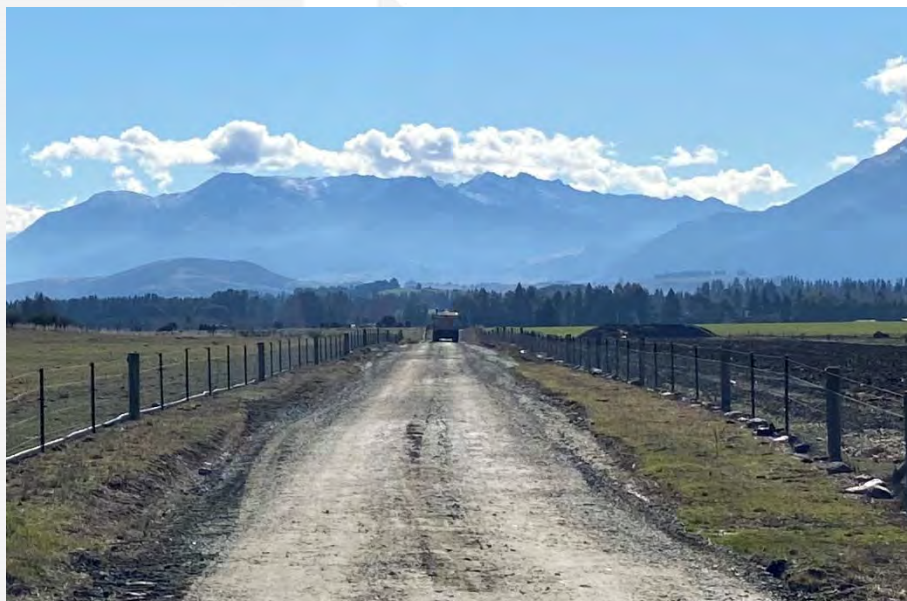
Background

From the information provided, we understand that 'Green to Gold' is an agricultural activity which serves the Upper Clutha area during harvest time with machinery and machine operators. They now wish to expand their operations and as well as extending the storage yard and additional storage sheds (for the machinery), they also wish to have 16 portable accommodation units to accommodate their seasonal workers.

The site is served by a right-of-way, and we understand that an assessment is required of the suitability of the right-of-way for accommodating increased vehicle flows.

Characteristics of the Right-of-Way and Traffic Generation

The site is located to the southeast of Wanaka township and is 9km from the Three Parks development. No plans have been provided for the proposal, but from aerial photographs, the access leg serving 230 Mount Barker Road has a legal width of 10m and a formed width of around 4m, meaning that it provides one traffic lane only.



Photograph 1: Right-of-Way Looking North

traffic engineering | transport planning

The right-of-way itself is flat and straight and runs for a distance of around 700m from Mount Barker Road. It is unsealed which results in a slow speed (around 25-30km/h). At the southern end (where it joins Mount Barker Road), there are large curve radii, in the order of 6-9m, formed through the movement of larger vehicles entering and exiting the right-of-way.



Photograph 2: Right-of-Way Intersecting with Mount Barker Road

From the information provided by the applicant, we understand that workers will be present between September and April, with 20 people employed on a seasonal basis plus a further 5 permanent members of staff. This results in a maximum occupancy in the site of 25 people, of whom 20 will leave the site to work during the day and 5 will remain on-site during the day.

Traffic volumes are expected to be 12 heavy vehicle movements (6 entering and 6 exiting) per day with 12 light vehicle movements (6 entering and 6 exiting) per day.

Assessment

We expect that the site will operate in a similar manner to other storage yards for agricultural equipment, with workers using the equipment for travel to and from the site. In other words, the workers do not undertake separate travel in order to go to the off-site locations where they are working, but instead travel there in the equipment they will be using, and after completing their task, return the equipment (and themselves) back to the site.

During non-working days, we expect that workers will travel from the site for the purposes of shopping and recreation. However we understand that workers start their day at 7:30am and finish at 10:00pm, meaning that non-work travel on those days is unlikely. Consequently, the most significant use of the accessway will be at times when heavy vehicles are leaving the site in the morning (since it is most likely that they will leave within a shorter period than when they return).

Further, the location of the site, being some distance from Wanaka, means that trip-chaining is likely. That is, workers leaving the site are likely to visit several destinations during the one trip away from the site, rather than returning to the site inbetween. This therefore also diminishes the number of vehicles using the right-of-way.



We have assessed the Council's Code of Practice to identify the most appropriate type of formation for the right-of-way:

- Road Type E1: 'Live and play', up to 48 vehicle movements per day
 - 6m legal width
 - 2.5m movement lane
 - Passing bay every 100m
- Road Type E6: 'Make and move', up to 1,000 vehicle movements per day
 - 20m legal width
 - 5.5-5.7m movement lane

It can be seen that Road Type E6 can carry far more traffic than is expected in this case, but there is no lesser standard for 'make and move'. However 'live and play' areas include mixed use developments where there is residential activity, and the traffic volume that can be carried by such a road is twice that which is expected in this case. We therefore consider that Road Type E1 is the appropriate level of provision.

This then would require a passing place every 100m. However the unsealed formation of the road, coupled with the flat and straight alignment, and the 10m width of the right-of-way means that in our view drivers are unlikely to wait within a formal passing bay and instead will simply pass any opposing vehicle as and when they encounter it.

We have further assessed the potential for two vehicles to meet. At a speed of 30km/h, a vehicle would travel the full 700m length of the right-of-way in 84 seconds (around a minute and a half). Therefore even with 6 vehicles in the peak hour, all travelling separately from one another, there would be no vehicle on the right-of-way for 86% of the time. Put another way, there would be a vehicle on the right-of-way for 504 seconds of the 3,600-second peak hour, so the likelihood that a vehicle arriving at any time in that peak hour would find another vehicle travelling towards them is 1 in 7.1.

With this in mind, we do not consider that the formation of formal passing places on the right-of-way would be of any practical assistance in this case. Rather, even if they were to be provided, in this particular instance firstly it is unlikely that one vehicle will meet another, and secondly, even if vehicles were to meet we do not consider that the passing places would be utilised as drivers would simply pull onto the unformed verge in order to pass.

We further confirm that in our view, there is no benefit to sealing the entirety of the right-of-way due to the low traffic flows. However we consider that the vehicle crossing from the edge of the formed carriageway of Mount Barker Road to the lot boundary should be sealed to prevent debris being deposited onto the frontage road.

Summary

Overall we consider that the right-of-way can remain unsealed and that no formal passing places are required, firstly because of the low potential for vehicles to meet and secondary because the roadway alignment and legal width means that they are unlikely to be used (rather, drivers will simply pull to the site when passing another vehicle). However the vehicle crossing between the edge of the formed carriageway of Mount Barker Road and the lot boundary should be sealed to prevent debris being deposited onto the frontage road.



We trust that this is of assistance, but please do not hesitate to contact me if you require anything further.

Kind regards

Carriageway Consulting Limited

Andy Carr

Traffic Engineer | Director

Mobile 027 561 1967

Email andy.carr@carriageway.co.nz

ENGINEERING REPORT ONSITE WASTEWATER DESIGN

LOT 6, DP 305038, MT BARKER ROAD

Report prepared for: Fergus MacDonald, c/o Duncan White PPG

Report prepared by: Mark Cruden BE (Hons), MIPENZ, CPEng

Reviewed by: Carl Meyer BE (Hons), MIPENZ, CPEng

Distribution: Duncan.White@ppgroup.co.nz, Meyer (file)

Report Date: July 2018

Disclaimer

This report has been prepared solely for the party to whom it is addressed, with respect to the specific instructions given to us. No responsibility is accepted for the use of any information or advice contained in it in any other context or for any other purpose without our prior written agreement. This report may not be read or copied accept in its entirety.

MEYER CRUDEN ENGINEERING LTD

156 Swann Road, RD2 Cromwell 9384
p: (03) 445 0670 e: accounts@mcengineering.co.nz

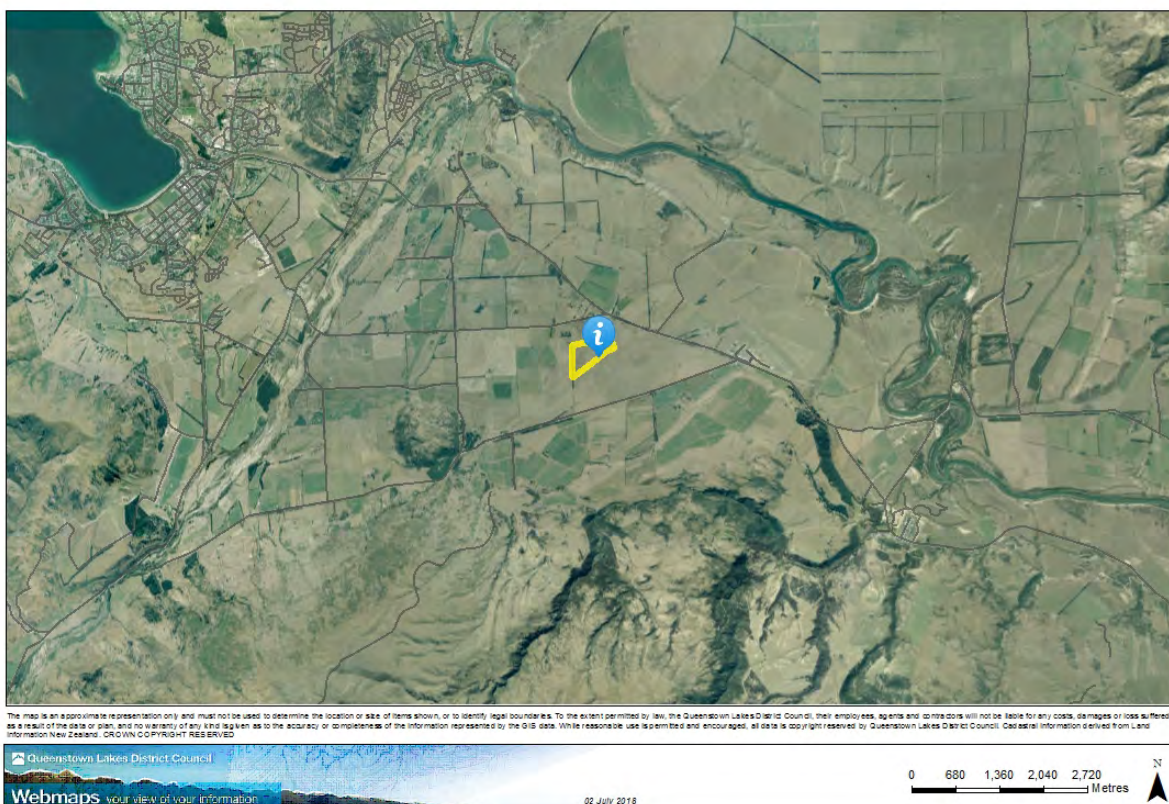
1. INTRODUCTION

This report provides an onsite wastewater disposal solution for a proposed shed and office including toilet and wash basin facilities at Lot 6 DP 305038, Mount Barker Road. Plans for the proposed shed are included in Appendix A.

The client has indicated that they wish to further develop the site and as such have requested that we design the wastewater system with additional capacity for future development.

2. SITE DESCRIPTION AND BACKGROUND INFORMATION

The site lies 8km south east of Wanaka and is accessed off Mount Barker Road. The site lies in rolling pasture land. The site is gently undulating with a northerly aspect.



Location plan

The site is classified as OIS4 (Late Pleistocene) glacier deposits on the New Zealand Geological Map and is described as unweathered to slightly weathered, loose, poorly sorted, bouldery gravel, sand, and silt (till); often with contorted bedding.

3. SITE AND SOIL ASSESSMENT

Teegan Vink of Meyer Cruden Engineering assessed the site for wastewater disposal in July 2018. Details of the site inspection are included in Appendix B. The site inspection was to select a suitable location for the wastewater disposal system and to determine the underlying soil type and properties.

The location of the proposed wastewater system is to the north west of the new shed on flat ground. Two test pits were excavated and inspected in the wastewater disposal bed location. These test pits indicated silty Gravels/ gravelly Silts extending to the base of the test pits at a depth of 2m.

A search of ORC's on line bore maps did not reveal any bores within 100m of the site. We located a bore 160m north west of the wastewater disposal location during our site visit.

4. ON SITE WASTEWATER DISPOSAL DESIGN

Based on the site investigation completed by Meyer Cruden Engineering Ltd., and for the purposes of on-site wastewater disposal the underlying soils have been classified as Category 2 sandy Loams as per NZS1547:2012. A summary of the findings from the on-site investigation are shown in table 1 below.

Site Characteristics	
Reserve Areas	There are sufficient suitable reserve areas.
Wells/Bore	There is no known well or bore within 100m of the disposal site
Surface Water	No surface water present
Instability	There is no instability evident in the area proposed for the Disposal Bed.
Evidence of Water	The site was evaluated during winter and there was no evidence of water retention or ponding in the Disposal Bed areas.
Soil	Soil characteristics of the site were topsoil overlying Category 2 soils as per NZS1547:2012.
Site Exposure	The site is located in a rural area open to the weather from all directions.

Table 1: Site Characteristics

The shed and office can be considered a rural factory as per Table H4 of NZS1547:2012. We conservatively estimate that the initial peak wastewater flows generated from the shed will be 600l/day based on 12 workers at 50l/worker/day. The client has requested that we build in additional capacity to the system for future development.

As such we have designed for up to 40 workers at 50L/worker equating to a wastewater flow of 2000L per day. This is equivalent to a 6 bedroom/10 person household.

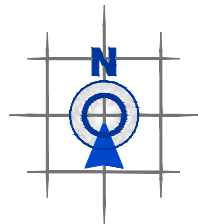
The proposed system includes a 4500L dual chamber septic tank with standard outlet filter discharging to ground by a gravity feed to a 4m wide by 20m long disposal bed.

The full design calculations are included in Appendix C. Layout plans and typical details for the system are included in Appendix D. Operation and maintenance guidelines for the wastewater treatment and disposal system are included in Appendix E.

Daily Usage for Proposed System	
Total Volume (litres) generated from initially	600L/day based on 12 workers at 50L/person (refer table H4 NZS 1547:2012)
Total volume designed for	2000L/day
Disposal Bed Design	
Soils	Category 2
Design load rate Ref table M1 NZS 1547:2012	25mm
Required Area for Disposal Bed	80m ²
Disposal Bed Sizing	
Disposal bed	20x4m

Table 2: Wastewater Design Summary

APPENDIX A – SHED PLANS (BY OTHERS)



LEGEND

Existing Property Boundary

Existing Easements

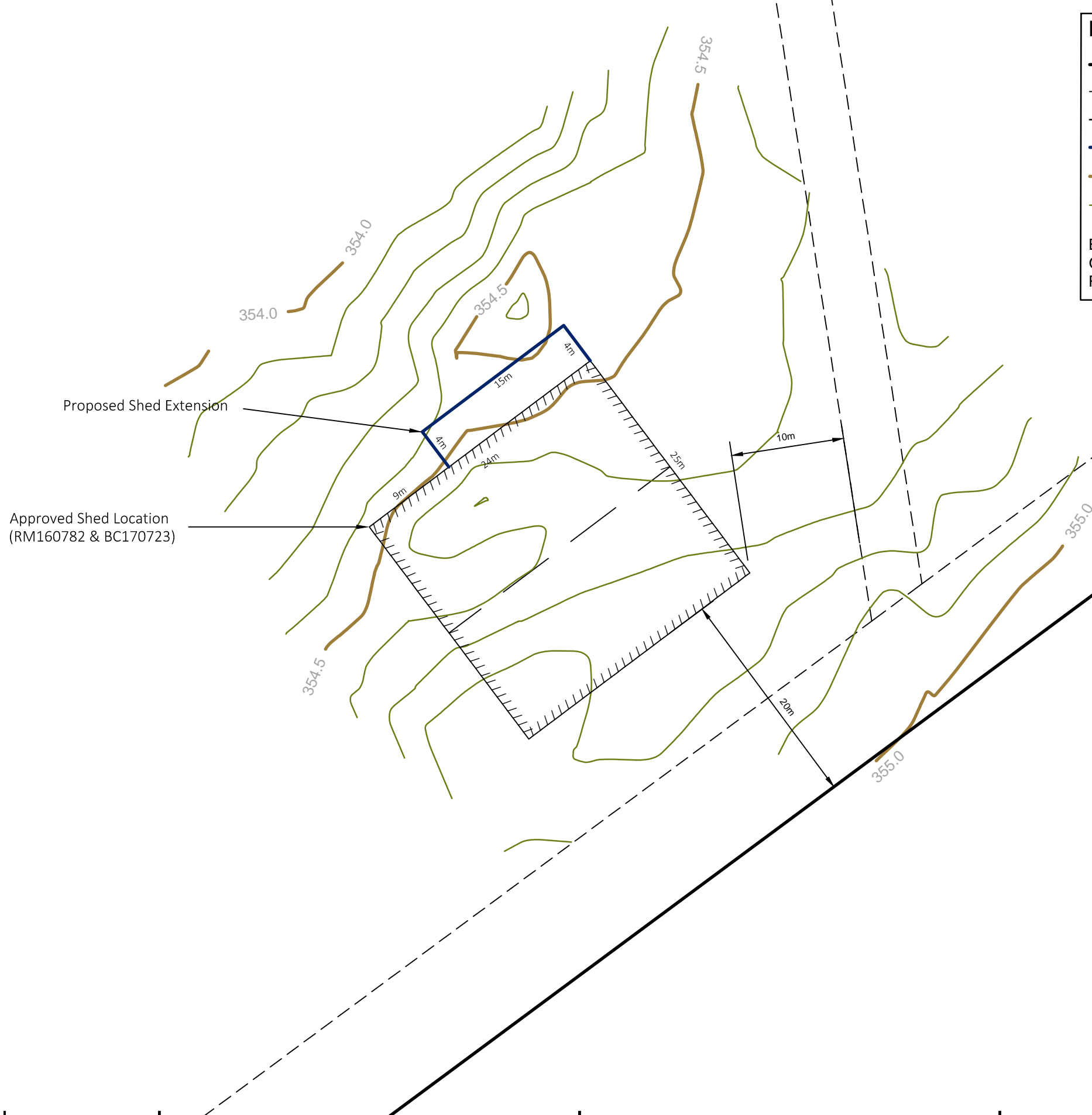
Approved Shed Position

Proposed Building Extension

Major Contours (0.5m)

Minor Contours (0.1m)

Elevation in terms of: Dunedin Vertical Datum 1958
Origin of Levels: A3PF
RL = 314.08m



<div><div>PATERSONPITTSGROUP</div><div>Your Land Professionals</div><div>www.ppgroup.co.nz</div><div>0800 PPGROUP</div></div> <div>2018121</div>	<div>WANAKA BRANCH</div> <div>19 Reece Crescent</div> <div>or P.O. Box 283</div> <div>Wanaka 9343</div> <div>T 03 443 0110</div> <div>E wanaka@ppgroup.co.nz</div>	<div>Client & Location:</div> <div>Green to Gold Ltd</div> <div>Mt Barker Rd</div> <div>Meyer Clenden Eng</div>	<div>Purpose & Drawing Title:</div> <div>Contour Plan of Proposed Shed Extension</div> <div>Lot 6 DP 305038</div>	<div>© COPYRIGHT. This drawing, content and design remains the property of Paterson Pitts Group Limited and may not be reproduced in part or full or altered without the written permission of Paterson Pitts Group Limited. This drawing and its content shall only be used for the purpose for which it is intended. No liability shall be accepted by Paterson Pitts Group Limited for its unauthorized use.</div>	Designed by:	TUATARA STRUCTURES	Original Size: A3	Scale: 1:400 @ A3	
					Drawn by:	LMR			
					Checked by:	DW			
					Approved by:	DW	DO NOT SCALE		
					Job No:	W4761	Drawing No:	001	Sheet No:
6 of 36									



Ferg McDonald
492 Aubrey Road
Wanaka 9305

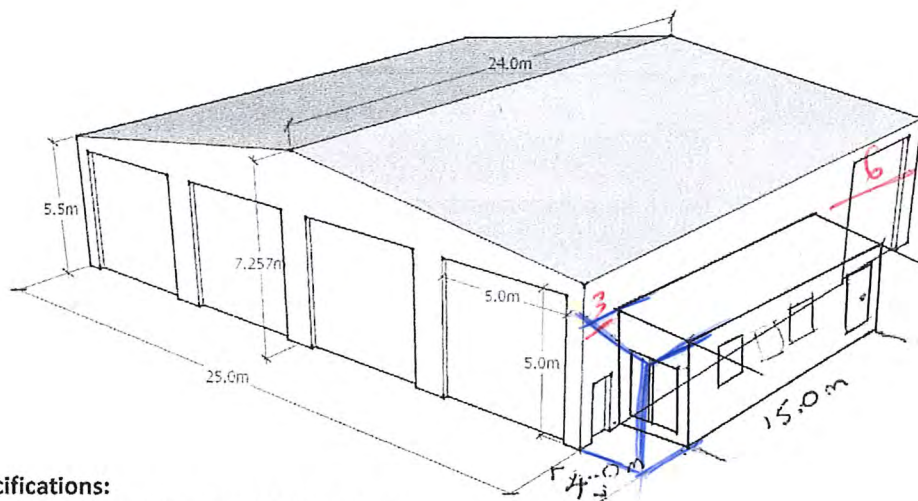
15 February 2017
Quote No: 6214-H

Cell: 027 221 9501

Email: greentogold@xtra.co.nz

QUOTATION FOR:

TIDYSPAN GABLE SHED, 25.0 X 24.0M LONG.



*office
Smoke
Parts Store
or Wash room/
Toilet*

Specifications:

- 4 Bays at 6.0m wide, completely enclosed.
- Side height of 5.5m to 7.257m at the apex.
- Coloursteel 5-Rib on the roof and coloursteel 5-Rib on the walls.
- Includes flashings from roof to walls and around doors providing you with a very tidy finish.
- Alpine Tidy Span Steel Rafters on solid steel legs.
- 5 Roller shutter doors, 5.0m x 5.0m high (clearance of 4.925m), including electric motors and wind lock guides.
- 1 Personnel door, key locked with protection doorstop and latch.
- White cap foil and safety mesh under the whole roof.
- 8 Sheets of industrial grade clearlight at 12.919m long in the roof.
- Purlins are bolted between steel rafters, and are in joist hangers.
- Guttering and downpipe on both sides.
- Alpine get a 50 year Building Consent for you, council charge is not included.

Kitset Price: \$179,500.00 + GST.

Delivery: FREE – Provided you have forks to unload.

Estimate Option: To install including digging holes and concrete for foundations, add \$53,000.00 + GST.

Estimate Option: To have a 150mm concrete floor with 665 mesh on polythene in all bays (based on you doing site works providing a level compacted pad ready for floor), add \$46,000.00 + GST.

This quotation is valid for 30 days.

Yours Sincerely,

Almanzo Boakes

Almanzo Boakes

If you are ready to order or require further information, please contact us on 0800 428 453.

Buy Alpine, Buy Peace of mind.



BIRDPROOF RAFTERS
2018121



STRONG & PROVEN



COMPLETE KITSETS
Meyer Cruden Eng



FREE DELIVERY



FAST INSTALL
7 of 36

APPENDIX B – SITE VISIT NOTES

Soils investigation report

Date of Inspection	06-Jul-2018	Inspected By	Mark Cruden
Client	Green to gold	Job Number	2018121
Address	Mt Barker road	Weather	Overcast, Windy, Cold
Site Aspect	Flat	Site Conditions	Dry
Start Time	10:36 am	Report Date	06-Jul-2018

Disclaimer: This report may not be read or copied except in its entirety.

Inspection Results

Test Pit #1 ()

Layer Name / Number	Start (m)	End (m)	Soil / rock classification	Water	Soil / Rock type, Origin
1 Top soil	0	0.3	Silty Organic Material; . ; moist; ; ,	moist	
2 Silt gravel with some boulders and cobbles	0.3	0.7	Silty fine to coarse GRAVEL with some; . Medium dense; moist; ; ,	moist	
3 Sandy silt with minor gravel	0.7	2.2	Sandy fine to coarse SILT with minor; . Firm; dry; ; ,	dry	

Test Pit #2 ()

Layer Name / Number	Start (m)	End (m)	Soil / rock classification	Water	Soil / Rock type, Origin
1 Top soil	0	0.4	Silty Organic Material; . ; moist; ; ,	moist	
2	0.4	1	Sandy fine to coarse GRAVEL with some silt; . Loose; moist; ; ,	moist	
3 Gravelly silt with some cobbles and boulders	1	2.1	Gravelly fine to coarse SILT; . Firm; moist; ; ,	moist	

Photos of Test Pit #1 ()



Photograph 1: Overall photo of test pit



Photograph 2: View of layers in test pit



Photograph 3: Example material from pit

Notes:

Photos of Test Pit #2 ()



Photograph 4: Overall photo of test pit



Photograph 5: View of layers in test pit



Photograph 6: Example material from pit

Notes:

APPENDIX C – DESIGN CALCULATIONS

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance on use of Producer Statements (formerly page 2) is available at www.ipenz.nz)

ISSUED BY:
(Design Firm)

TO:
(Owner/Developer)

TO BE SUPPLIED TO:
(Building Consent Authority)

IN RESPECT OF:
(Description of Building Work)

AT:
(Address)

Town/City: LOT DP SO
(Address)

We have been engaged by the owner/developer referred to above to provide:

.....
(Extent of Engagement)

services in respect of the requirements of Clause(s).....of the Building Code for:

☐ All or ☐ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☐ Compliance Documents issued by the Ministry of Business, Innovation & Employment.....OR
(verification method/acceptable solution)

☐ Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the drawings titled:

.....and numbered;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, am: ☐ CPEng # ☐ Reg Arch #
(Name of Design Review Professional)

I am a Member of: ☐ IPENZ ☐ NZIA and hold the following qualifications:.....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY (Signature)
(Name of Design Review Professional)

ON BEHALF OF Date
(Design Review Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

Compliance Documents Schedule:
NZBC G13/VM1 (NZS1547:2012))

Drawing Schedule:

Title: 2018121
By: Meyer Cruden Engineering
Date: Limited 7/7/18
Numbered: E0 & E01

The following inspections will be completed by Meyer Cruden Engineering:

-Inspection of effluent distribution pipes prior to covering with remaining pea metal.

All other inspections required shall be completed by the Consenting Authority.

We are not able to provide Producer Statements 4's for work we have not been called to inspect.

TABLE H4
TYPICAL DOMESTIC WASTEWATER DESIGN FLOW ALLOWANCES
– DOMESTIC WASTEWATER FROM COMMERCIAL PREMISES – NEW ZEALAND

Source	Typical wastewater design flows (L/person/day)	
	On-site roof water tank supply	Reticulated community or a bore-water supply
Motels/hotels		
– guests, resident staff	220	
– non-resident staff	30	
– reception rooms	20 – 30	
– bar trade (per customer)	20	
– restaurant (per diner)	25 – 30	
Tearooms/lunch bars (per customer)		
– without restroom facilities	10	15
– with restroom facilities	15	25
Community halls		
– banqueting	20	30
– meetings	10	15
School (pupils plus staff)	15 – 30	
Rural factories, shopping centres	30	50
Camping grounds		
– fully serviced	100	130
– recreation areas	50	65
NOTE: These flows should be used for design purposes unless past experience demonstrates lower actual flows. Design flows should be based on the maximum figure in the range unless justification for lower values can be provided by way of actual water use data. Although guidance is provided for flow allowances for non-household activities, this Standard does not provide specific requirements for commercial loads, for example in commercial kitchens and laundries (see 1.9 definition of domestic wastewater).		

DESIGN OF EFFLUENT DISPOSAL SYSTEM

IN ACCORDANCE WITH AS/NZS 1547:2012 "ON SITE DOMESTIC WASTEWATER MANAGEMENT."

Dwelling Information

Demand rural factory 50 l/day/person

No of people = 40 refer table H4 AS/NZS 1547:2012

Total Demand, Q = 2000 l/day

Soils information

(refer to table T5.1 & L1)

Description

Structure: Weakly Structured

Indicative Drainage Class: Well Drained

Conservative Rate: 20 mm/day

Maximum Rate: 30 mm/day

Chosen Rate, DLR: 25 mm/day

Field Design

Trench Width, W = 4000 mm

Length = $Q/(DLR \times W)$

= 20 m

Tank Design

Tank Size = 4500 l

Buffering = 2000 l

Available Volume = 2500 l

Solids Build up = 80 l/person/year

Therefore years to clean = 3.125 years

But limit to 3 years if Dishwasher or Waste-Disposal used.

ALSO CONSIDER WHERE STORMWATER WILL BE DISPOSED OF

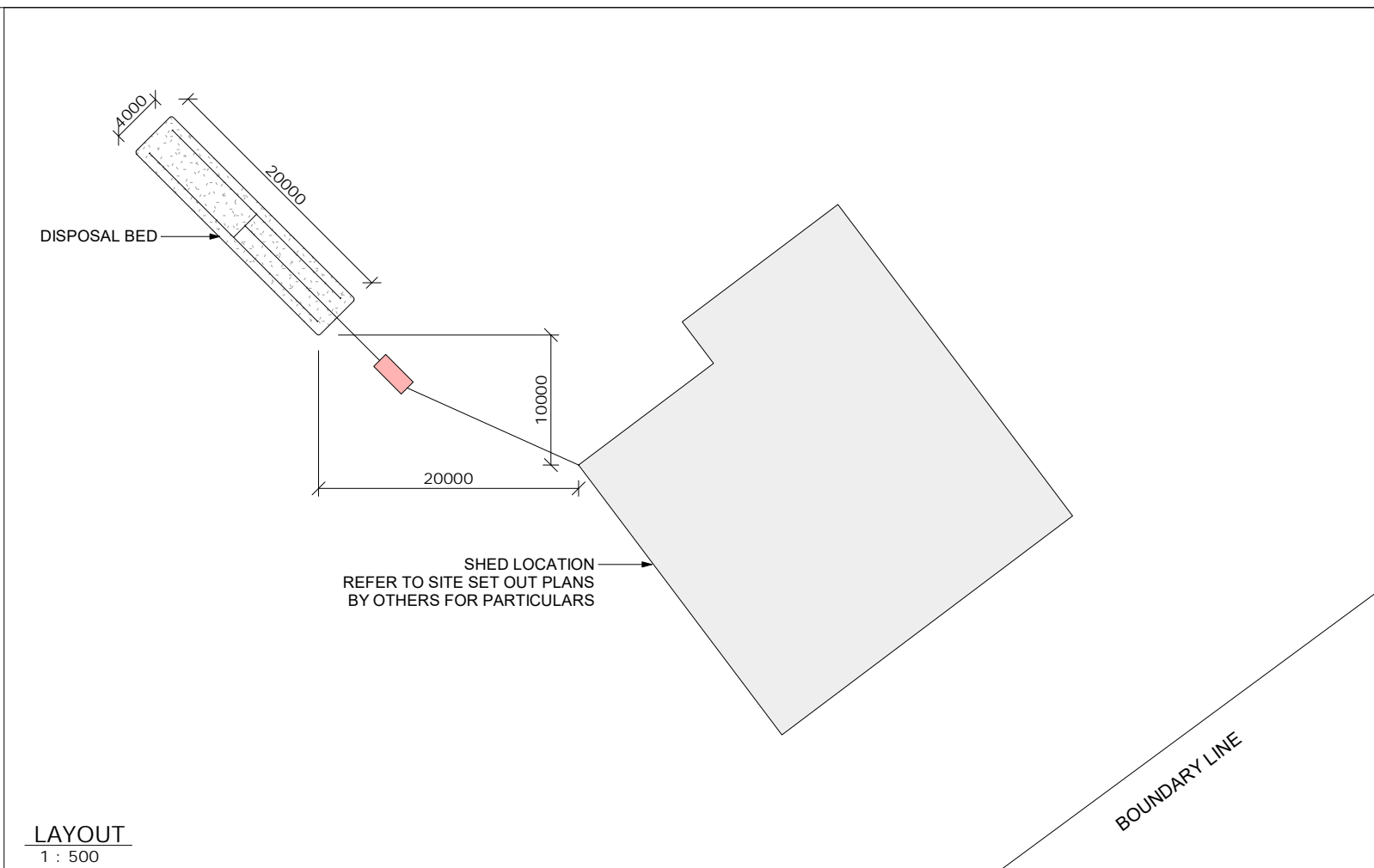
Summary

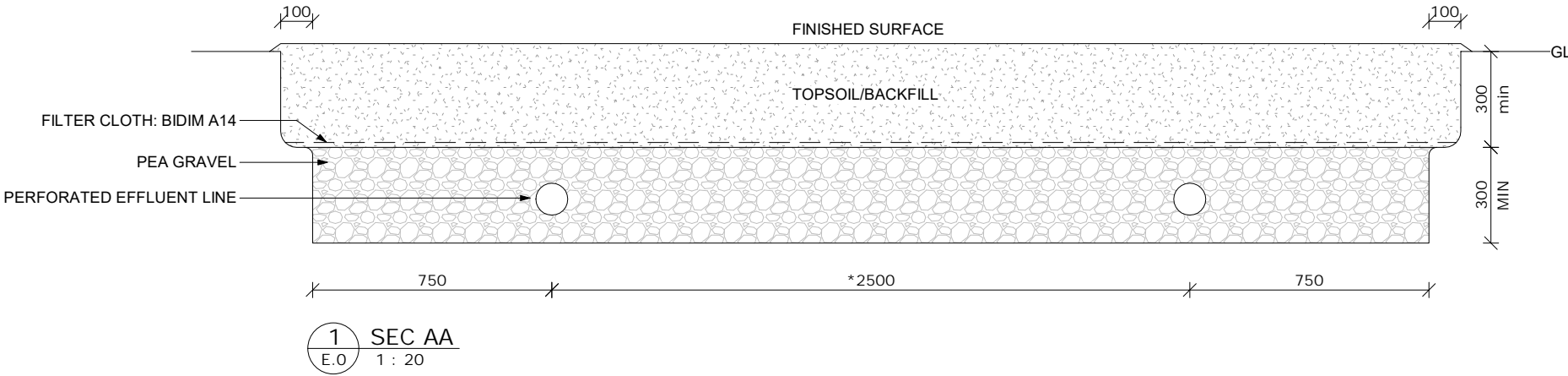
20m of 4000mm wide discharge control trenches in to Sandy Loams - weak soils

4500l Dual Chamber Septic Tank with a std outlet filter.

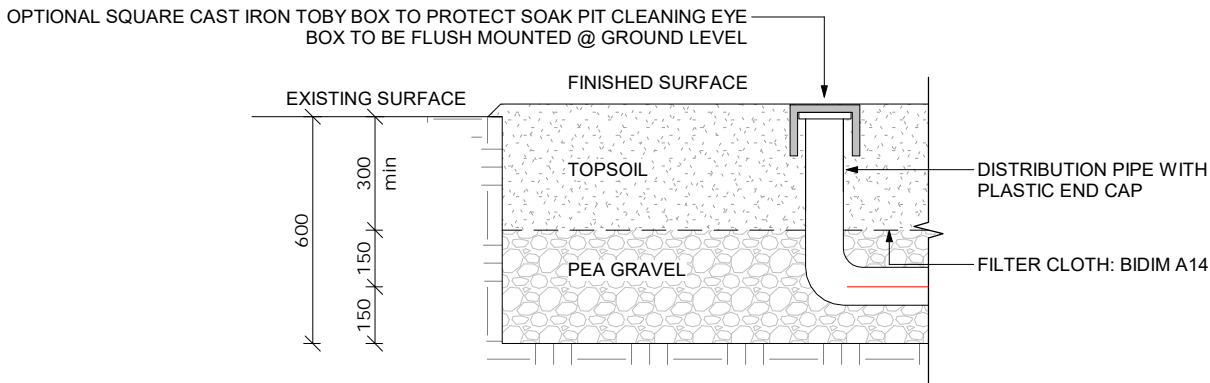
Clean tank every 3 years and filter every year.

APPENDIX D – LAYOUT PLANS AND TYPICAL DETAILS





1 SEC AA
E.O 1 : 20



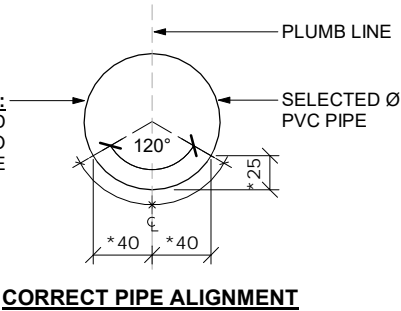
2 SEC BB
E.O 1 : 20

WASTEWATER DISPOSAL

- 1 - Install wastewater drains from house and septic tank in accordance with drawings.
- 2 - Strip and stockpile topsoil from effluent disposal bed/trench area.
- 3 - Excavate for effluent disposal bed/trench to depths on details. Ensure base of effluent disposal area/trench is level even if to be constructed on sloping ground. Ensure appropriate boundary setbacks as noted on drawings are achieved (if any).
- 4 - Install 100mm depth of pea metal.
- 5 - Install distribution pipes to treatment bed using a laser level to ensure even distribution of effluent throughout the bed/trench.
- 6 - Contact Engineer to inspect effluent distribution pipes prior to covering with remaining pea metal.
- 7 - Place filter cloth layer on top of pea metal then backfill with topsoil to natural ground levels.
- 8 - Install inspection pipe at distribution pipe "T" junction and at the ends of the distribution pipes to allow future inspection. Protect with cast iron valve box cover: optional.

IMPORTANT:
ENSURE PIPE IS LAID SO DISTRIBUTION PIPES ARE LAID LEVEL AND PLUMB TO ENSURE EVEN DISTRIBUTION FROM OUTLET HOLES TO 10MM HOLES @ 1M CTRS MAX ALONG BOTH SIDES OF PIPE

EFFLUENT DISTRUBUTION PIPE
1 : 5



50
25
0
Original Scale (mm)

1. All dimensions relevant to setting out and off site work shall be verified by the contractor before commencing construction or fabrication.
2. This drawing shall be read in conjunction with the specification and other relevant documents.

APPENDIX E – MAINTENANCE, SERVICING AND OPERATION GUIDELINES INCLUDING MAINTENANCE LOG

Please take the time to read this information to ensure you get the best results from your new wastewater treatment system. You should print it off and keep it with the other maintenance manuals you have for your home.

SYSTEM CAPACITY

The onsite wastewater disposal system for your property has been designed for the wastewater flows from a:

- FLOWS UP TO 2000L/DAY

Should additional wastewater demand be applied to the system through additional fixtures (i.e. extension of premises) then the system may not perform as designed. Please contact Meyer Engineering if you propose to add additional wastewater demand to the system.

OUTLET FILTER

It depends who you are purchasing the septic tank through (Hynds, Humes, etc.) as they may supply a certain brand of filter with the tank; if they don't then there are three options:

- i. Standard Plastic Outlet Filter.
- ii. Stainless Steel Outlet Filter. The benefit of the stainless steel filter is that it is heavy and won't try and float up when the filter is nearly blocked.
- iii. A300 Zabel outlet filter. This outlet filter shall be installed in conjunction with a single chamber tank.

Please note: Either filter will need to be cleaned every 12 months.

Filters can be cleaned by lifting the filter up the sleeve and washing it from the inside with a hose, ensuring the scum and solids fall back down into the tank.

OTHER SYSTEM MAINTANENCE ITEMS

- i. The septic tank should be inspected at least annually to obtain levels of sludge (on the bottom of the tank) and scum (on the surface of tank) and should the total volume occupies two thirds of the tank volume the tank shall be cleaned (sludge/scum removed). Cleaning should occur regularly and be undertaken by a licensed contractor at 3 yearly intervals.
- ii. The septic tank should be protected from vehicle access.
- iii. The vent and access cover of the septic tank should be exposed.
- iv. Have the outlet filter inspected and serviced in accordance with the manufacturer's recommendations.
- v. No vehicles or stock should be allowed to access any Disposal Bed area.
- vi. Deep rooting trees or shrubs should not be grown over absorption trenches or pipes.
- vii. If soakage lines become blocked to the extent discharge from the tank is impeded, the line can be cleared by back-flushing with clean water.

TIPS TO GET THE BEST RESULTS FROM YOUR ONSITE WASTEWATER SYSTEM

- a) To reduce sludge building up in the tank:
 - i. Scrape all dishes to remove fats, grease, and so on before washing;

- ii. Keep all possible solids out of the system;
 - iii. If you use a food waste disposal unit you will generally require the septic tank to be pumped out twice as often (i.e. every 1 ½ – 2 ½ years); and
 - iv. Don't put sanitary napkins, bamboo wipes, or other hygiene products into the system.
- b) To keep bacteria working in the tank and in the Disposal Bed area:
- i. Use biodegradable soaps
 - ii. Use a low phosphorus detergent
 - iii. Use detergents in the recommended quantities
 - iv. Don't use powerful bleaches, whiteners, nappy soakers, spot removers and disinfectants, and
 - v. Don't put chemicals down the drain.
- c) Conservation of water will reduce the volume of effluent requiring disposal to the Disposal Bed area, make it last longer and improve its performance. Conservation measures include:
- i. Installing water conservation fittings (e.g. dual flush water closets, shower flow restrictors, aerator faucets (taps), and water conserving automatic washing machines).
 - ii. Taking showers instead of baths
 - iii. Washing clothes only when there is a full load, and
 - iv. Using the dishwasher only when there is a full load.
- d) Avoid overloading the system by spacing out water use as evenly as possible. For example:
- i. Do not do all the washing on one day, and
 - ii. Do not run the washing machine and dishwasher at the same time.

The owner shall keep a records of all activities relating to the septic tank i.e. cleaning of the bio filter, cleaning out of the septic tank and any blockages that have occurred.

Maintenance Log Record										
Outlet Filter cleaned (annually)	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:
	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:
Sludge removed tank (3 years max interval)	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:
	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:
Back flush cleaning of distribution bed pipes (recommend every 5 years)	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:	Date:
	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:	Comments:

APPENDIX F – QLDC APPLICATION FORM

INTRODUCTION

The objective of this form is to collate the required information that will support QLDC with evaluating the risk of the proposed Onsite Wastewater Disposal system in terms of Building Code compliance (G13), RMA Act and Environmental and Public Health requirements.

REFERENCES

The design standard for waste water treatment and effluent disposal systems is **AS/NZS 1547:2012**. All references within this form relate to this standard.

RISK BASED APPROACH

QLDC has adopted a risk based approach which involves evaluating key factors relating to the system design and site and soil features to ensure that any risk to environment or public health is fully mitigated. The key potential risks that QLDC will consider include, but are not limited to, the following:

High risks

- Pathogen risks

Moderate risk

- Odours
- Loss of amenity service due to technology failure, power outage
- High capital and/or operating costs

Minor risks

- Slope instability on the steeper sites
- Noise
- Risk to cultural values
- Nutrients (nitrogen and phosphorus) and emerging contaminants

HIGH RISK APPLICATIONS

Throughout this application form there are a number of information fields that are highlighted in red. These relate to key risk factors that the system designer must consider during their design process. If these risks are present then an explanation of what design mitigations have been taken is required.

For systems that breach the requirements of Section 3, you will be required to raise an application with the Otago Regional Council for a Resource Consent. Once the ORC Resource Consent has been granted it can be referenced as part of the QLDC Building Consent Application.

QLDC reserves the right to engage expert peer review of applications that are either very high risk, or system designs which appear to have inadequate design mitigations in place. The cost of this will be on-charged to the applicant as part of their building consent fees.

APPLICATION FORM CONTENTS

1	Site Description	2
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2.1	Site Assessor	3
2.2	System Designer	3
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6	Soil Category	7
7	System Design	7
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7.2	System Selection & Capacity	8
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8	Attachments Checklist	10
9	Applicant Statement:	11

1 SITE DESCRIPTION

Property Owner:	Fergus MacDonald
Location Address:	Mount Barker Road
Legal Description (e.g. Lot3 DP1234) :	Lot 6 DP305038
List any existing consents related to waste disposal on the site:	None
General description of development and describe all sources of wastewater:	Shed and office with future potential development

2 SITE ASSESSOR, DESIGNER AND INSTALLER DETAILS

2.1 SITE ASSESSOR

Company	Meyer Cruden Engineering		
Contact Name	Mark Cruden	Phone	021 2759533
Qualifications/Technical Experience	BEng(Hons), MIPENZ, CPEng		

2.2 SYSTEM DESIGNER

Company	Meyer Cruden Engineering		
Contact Name	Mark Cruden	Phone	021 2759533
Qualifications/Technical Experience	BEng(Hons), MIPENZ, CPEng		

2.3 SYSTEM INSTALLER

Company	TBC		
Contact Name		Phone	
Qualifications/Technical Experience			

2.4 SERVICING TECHNICIAN/COMPANY

Company		Phone	
---------	--	-------	--

3 ORC RESOURCE CONSENT REQUIREMENTS:

Please complete below checklist to confirm whether an Otago Regional Council (ORC) resource consent will be required to discharge domestic waste water in the Queenstown Lakes District:

Yes	No	System Requirement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Daily discharge volume exceeds 2,000 litres per day
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Discharge will occur in a groundwater protection zone or in the Lake Hayes catchment
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Discharge will occur within 50 metres of a surface water body
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Discharge will occur within 50 metres of an existing bore/well used to supply water for domestic needs or drinking water for livestock
<input type="checkbox"/>	<input checked="" type="checkbox"/>	There will be a direct discharge into a drain, water race or groundwater
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Discharge may runoff onto another persons' property

If any of these apply then you will need to make an ORC resource consent application for domestic wastewater discharges to land with a maximum volume of 14,000 litres. The application form for this is [Form 6A](#).

Once the ORC consent has been granted please enter the reference number below and provide a copy of the approved ORC consent.

ORC Resource Consent Number:	N/A
-------------------------------------	-----

4 SITE ASSESSMENT DETAILS

For the areas where the treatment plant and land application system and reserve area are to be located, please provide the following information:

Land use description:	Rural
Topography:	Gently undulating
Slope angle:	Minimal
Vegetation cover:	pasture
Are there areas of potential ponding?	None
Are there risks associated with drainage patterns and overland flow paths?	None

AF OSW Onsite Wastewater Disposal Application Form

Does site have Flood potential? (show with return period on site plan)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide information below on what design considerations have been adopted to mitigate this risk (e.g. elevated tanks, sealed lids etc.)	
Is the system within 100m distance to nearest open water bodies, ephemeral streams and wetland?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide information below on what design considerations have been adopted to mitigate this risk.	
Is the system within 50m distance to stormwater drains and stormwater soakage areas?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide information below on what design considerations have been adopted to mitigate this risk.	
Are Water bores within 50m? (reference ORC Maps)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes then an ORC resource consent is required	
Are there are other key site features that may affect the system design?	Soil assessment largely gravel and sands (Category 1 soils) as detailed within Meyer report.	
Slope stability assessment- For land slopes greater than 15° (25%) summarize any areas unsuitable for waste water irrigation.	N/A	
What is the depth to the highest potential ground water level:	Summer:	20m
	Winter:	As per summer
	Information Source:	Local knowledge
Is there potential for waste water to short circuit through permeable soils to surface and / or ground water?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide information below on what design considerations have been adopted to mitigate this risk.	
	High potential, sand media layer required.	

5 SOIL INVESTIGATION

For the areas where the land application system and reserve area are to be located, provide the following information

Has a Site Specific Field investigation been completed? Is Report attached?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: Report shall include a plan showing test pit or bore location, and a detailed soils report in accordance with Table B2 and Figure B1 or and equivalent format and detail. Photos of the profiles and soils shall be included including photos of soil ribbon tests (Section E4.1)
Field investigation date:	6 July 2018 2018
Number of test pits or bores:	2
If fill material was encountered during the soil investigation, describe the fill material and explain how this will impact on the waste water land application system design and performance?	None found.
Has the soil permeability beneath the proposed land application field been tested?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes please provide details of test method and results (e.g. Percolation test method (refer to B6 for applicability):

6 SOIL CATEGORY

Based on the site investigation report please confirm the soil category that is present for the land application system.

Select One	Soil Category (Table 5.1)	Soil Texture (<i>Appendix E</i>)	Drainage Characteristic	Risk limits for Groundwater Setback
<input type="checkbox"/>	1	Gravel and sands	Rapid	5m
<input checked="" type="checkbox"/>	2	Sandy loams	Free	5m
<input type="checkbox"/>	3	Loams	Good	1.5m
<input type="checkbox"/>	4	Clay loams	Moderate	1.5m
<input type="checkbox"/>	5	Light clays	Moderate to slow	0.6m
<input type="checkbox"/>	6	Medium to heavy clays	Slow	0.6m

Is the groundwater level (refer section 4) within the above risk limits for the site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please provide information below on what system design considerations have been adopted to mitigate the risk to groundwater. For example: <ul style="list-style-type: none"> • Secondary treatment • Tertiary UV treatment • Modified trench or bed details for category 1 soils to ensure even distribution
	Using sand media layer with polythene barrier to sides, hence lower DLK rate.

Note: The soil category and groundwater level will determine the required loading rate for the land application system. This needs to be specified in section 7.2 and should be referenced from L1, M1 or N1 tables.

7 SYSTEM DESIGN

7.1 SYSTEM INPUT INFORMATION

Property Water Supply	<input type="checkbox"/> Council reticulation <input checked="" type="checkbox"/> Water bore <input type="checkbox"/> Rainwater collection <input type="checkbox"/> Other- please provide details:
Total number of bedrooms that will be serviced by the system	System designed for 2000l/day. No bedrooms rural factory up to 40 persons – refer report

AF OSW Onsite Wastewater Disposal Application Form

Maximum design occupancy	40 workers
Flow allowance litres / day per person: Refer to Appendix H, Table H3 and H4. Justify variations.	50L, ref table H4 of NZS 1547:2012 rural factory Has capacity up to 40 workers
List any water conservation devices or water recycling details and volume estimates (Table H3):	None
Specify flow allowance for any other activity on the site such as spa baths, luxury showers etc:	None
List any allowance for seasonal variations and loads:	none.
Total design flow allowance (litres per day):	2000L Note: If above 2,000 litres per day an ORC resource consent is required

7.2 SYSTEM SELECTION & CAPACITY

Select One	Proposed Treatment System	Manufacturers Details	No. of Chambers and Capacity (litres)	Emergency Storage (litres)
<input checked="" type="checkbox"/>	Primary System (e.g. Septic tank)	Hynds, Humes, or similar	dual chamber 4500l capacity	N/A
<input type="checkbox"/>	Secondary Treatment system ¹			
<input type="checkbox"/>	Tertiary Treatment System			
<input type="checkbox"/>	Other:			
Rated treatment capacity of the system (litres/day):		Solids - 80l per person per year (estimate years to clean 5.75 years)		

¹ For on-site wastewater management systems requiring secondary or better treatment, QLDC strongly recommends that applicants select treatment plants certified by the On-site Effluent Treatment National Testing Programme (OSET NTP), or an equivalent or better independent certifying organisation. These have been verified as meeting the secondary effluent treatment requirements of AS/NZS 1547.

AF OSW Onsite Wastewater Disposal Application Form

Details of effluent filter:	Either standard plastic outlet or stainless steel outlet filter
-----------------------------	-----------------------------------------------------------------

Select One	Proposed Land Application System	Design Description. Please attach site plans/drawings	Design Loading Rate mm/day (DLR or DIR)
<input type="checkbox"/>	Surface dripper irrigation	NOT PERMITTED IN QLDC DUE TO FREEZING	N/A
<input type="checkbox"/>	Sub-surface dripper irrigation	NOTE: MUST BE MINIMUM OF 300mm TO PREVENT FREEZING	
<input checked="" type="checkbox"/>	Conventional Bed	20x4m bed with H pattern pipe work and sand media layer in base	25mm/day
<input type="checkbox"/>	Conventional trench		
<input type="checkbox"/>	Deep trench		
<input type="checkbox"/>	Discharge control bed or trench		
<input type="checkbox"/>	Mound system		
<input type="checkbox"/>	Other (specify):		

Note: The land application system site plans/drawings are to include dimensions, location, layout and component labels, cross-section details (with dimensions) and where appropriate; filter cloth, material type, structural details, flushing points, venting, valving, special fittings, intercepting drains and other detail specific to the design.

Select One	Proposed Loading Method	Details
<input checked="" type="checkbox"/>	Trickle load, gravity	Refer report
<input type="checkbox"/>	Gravity dosing: Flout, siphon or other	
<input type="checkbox"/>	Pump	
<input type="checkbox"/>	Other	

7.3 ADDITIONAL SYSTEM REQUIREMENTS

Select One	Additional design considerations	Details
<input type="checkbox"/>	Specify details or alarm system(s)	
<input type="checkbox"/>	Specify available reserve area (5.5.3.4)	
<input type="checkbox"/>	Specify fencing, warning signs and vegetation and planting requirements	
<input type="checkbox"/>	Storm / surface water management:	
<input type="checkbox"/>	Depths pipes to buried:	
<input type="checkbox"/>	Flood protection:	
<input type="checkbox"/>	Cut off / diversion drains (show on site plan):	
<input type="checkbox"/>	Other:	

8 ATTACHMENTS CHECKLIST

Select One	Required Documents
<input type="checkbox"/>	Copy of any existing QLDC or ORC consents
<input type="checkbox"/>	Copy of QLDC Site & Soils Assessment (if previously completed)
<input type="checkbox"/>	Copy of slope stability geotechnical report (if required)
<input type="checkbox"/>	Copy of flood hazard assessment (if required)
<input checked="" type="checkbox"/>	Site Specific Field Investigation Report. <i>Ensure it covers information requirements covered in sections 5 & 6</i>
<input checked="" type="checkbox"/>	Detailed plans of system layout showing treatment unit, drains/pipes and land application field including cross-section detail <i>Ensure it covers information requirements covered in sections 7</i>
<input type="checkbox"/>	For secondary treatment units provide evidence of OSET NTP (or equivalent) certification
<input type="checkbox"/>	Independent certification of in-ground tanks in terms of AS/NZS 1546.1 2008, or an equivalent standard. Provide details of performance criteria to which certification applies.
<input checked="" type="checkbox"/>	Design Producer Statement of the on-site wastewater management service

AF OSW Onsite Wastewater Disposal Application Form

<input type="checkbox"/>	Loading certificate in accordance with Section 7.4.2 (d)
<input checked="" type="checkbox"/>	Operation & Maintenance guidelines for the treatment plant and land application system
<input checked="" type="checkbox"/>	Homeowner's operation manual for the treatment plant and land application system
<input checked="" type="checkbox"/>	To scale site plan. The following must be included on the plan: <ul style="list-style-type: none">• Buildings Boundaries• Treatment system components Reserve disposal area Retaining Walls• Embankments• Cutoff drains / diversion bunds Water bodies• Stormwater drains, discharge points or soakage facilities• Flood risk areas• Other wastewater treatment units and discharge systems• Water bores• Direction of ground water flow• Existing and proposed trees and shrubs• North arrow

9 APPLICANT STATEMENT:

I believe to the best of my knowledge that the information provided in this application is true and complete. I have the necessary experience and qualifications to design the above proposed waste water treatment system in accordance with the requirements of AS/NZS 1547:2012:

Company: Meyer Cruden Engineering Ltd
Email: mark@mcengineering.co.nz
Phone number: 0212759533
Name: Mark Cruden
Signature:



Date: 9/6/2018

Please scan this completed document to PDF and upload along with supporting Building Consent application information to the QLDC Sharefile portal:

<http://www.qldc.govt.nz/planning/building-consents/apply-online/>

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A

Name (PRINT) John D Wood

Contact Phone / Email address 021 477647 jokawood@yahoo.co.nz

Signature [Signature] Date 6/5/21

B

Name (PRINT) Kate Wood

Contact Phone / Email address 027 226 9673 jokawood@yahoo.co.nz

Signature [Signature] Date 5.5.2021

C

Name (PRINT) MCC Nominees 2015 Ltd.

Contact Phone / Email address 03 4770032

Signature [Signature] Date 10 MAY 2021

QUEENSTOWN

D

Name (PRINT)

Contact Phone / Email address

Signature

Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



QUEENSTOWN
LAKES DISTRICT
COUNCIL

Queenstown Lakes District Council
Private Bag 50072, Queenstown 9348
Gorge Road, Queenstown 9300

P: 03 441 0499
E: resourceconsent@qldc.govt.nz
www.qldc.govt.nz

10 MAY 2021

Side Elevations

Fergus Macdonald - Elevations

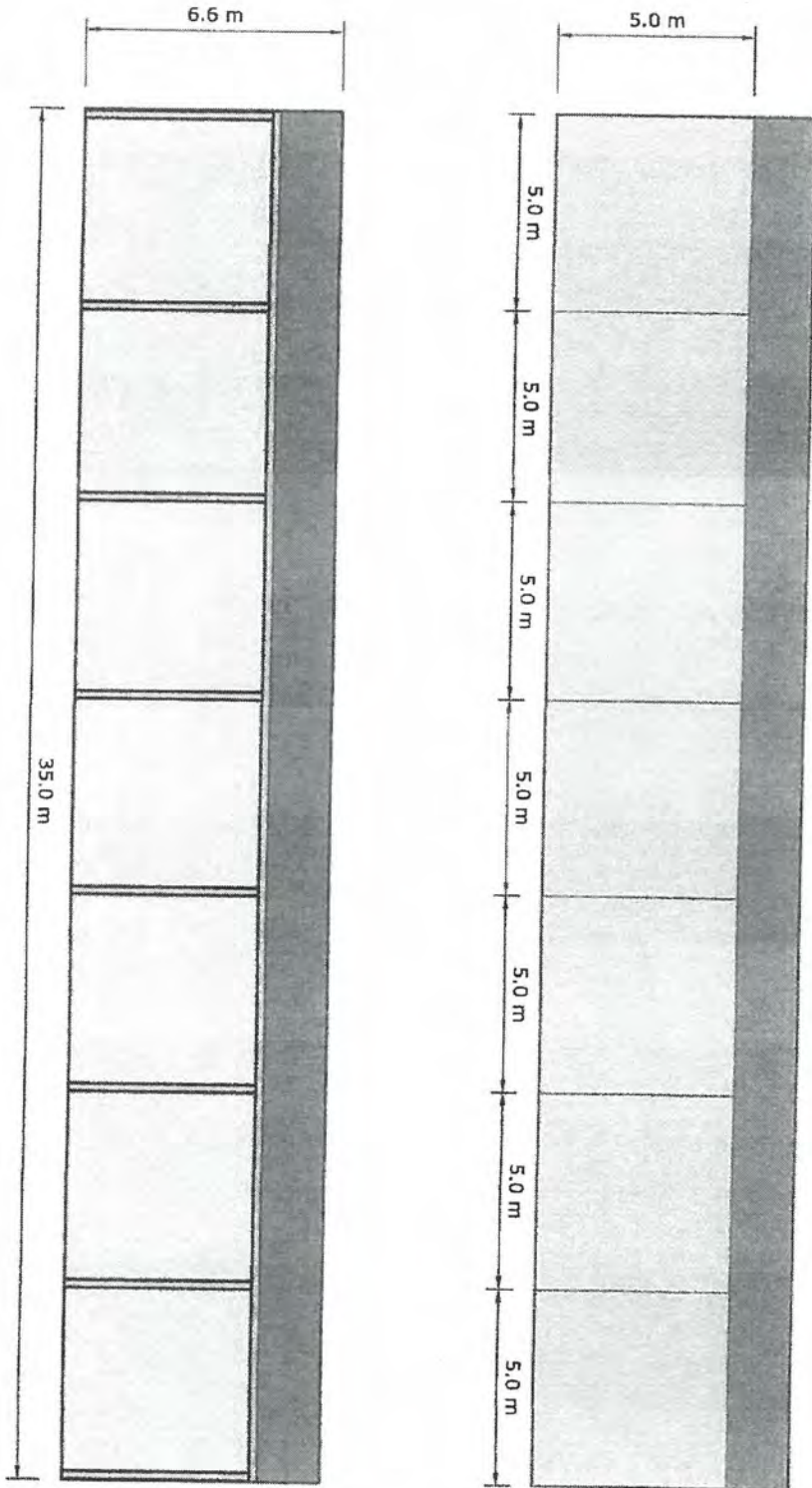


REVISIONS

REMARKS

NO	DATE	REVISIONS	REMARKS
1	10/05/21	1	1
2	10/05/21	2	2
3	10/05/21	3	3
4	10/05/21	4	4
5	10/05/21	5	5

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QUEENSTOWN

10 MAY 2021

End Elevations



Fergus Macdonald - Elevations

REVISIONS

REMARKS

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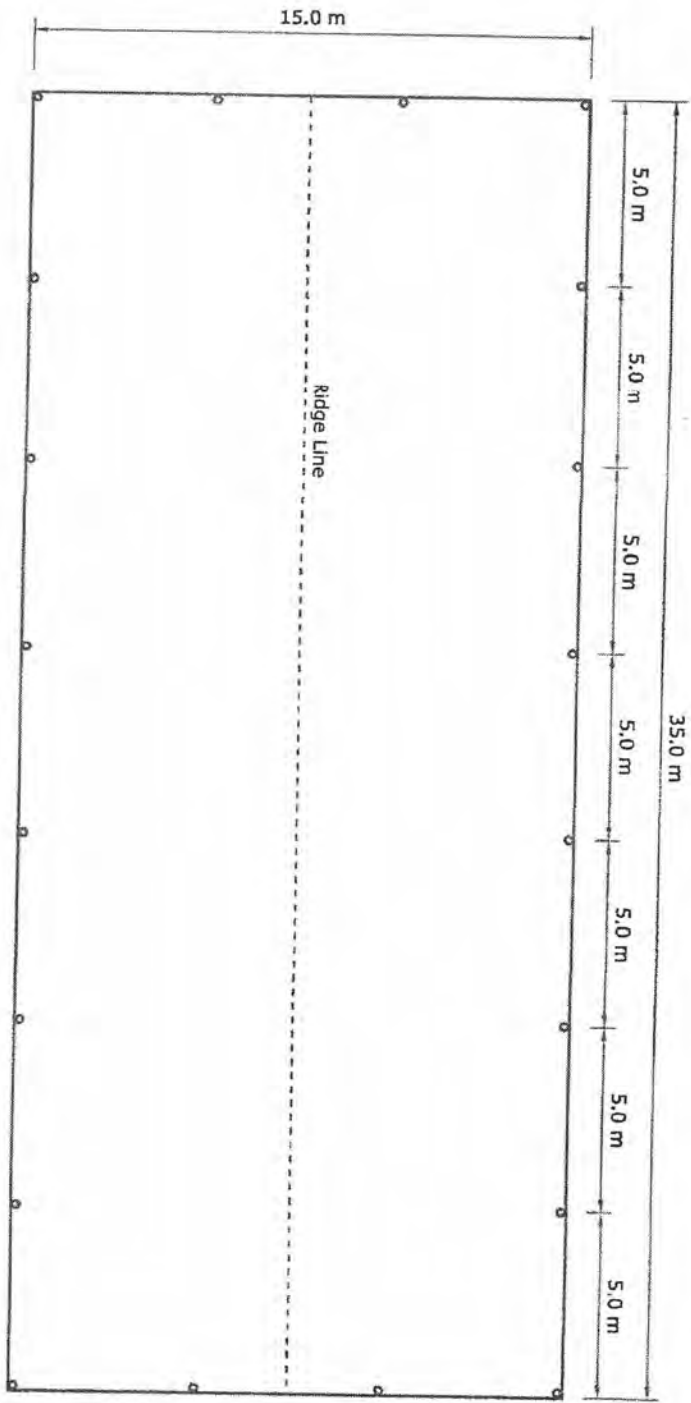
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QUEENSTOWN
10 MAY 2021

Plan View



ALPINE
BUILDINGS NZ LTD

Fergus Macdonald - Elevations

REVISIONS

NO	DO/MT/Y	REMARKS
1	10/05/21	...
2	10/05/21	...
3	10/05/21	...
4	10/05/21	...
5	10/05/21	...

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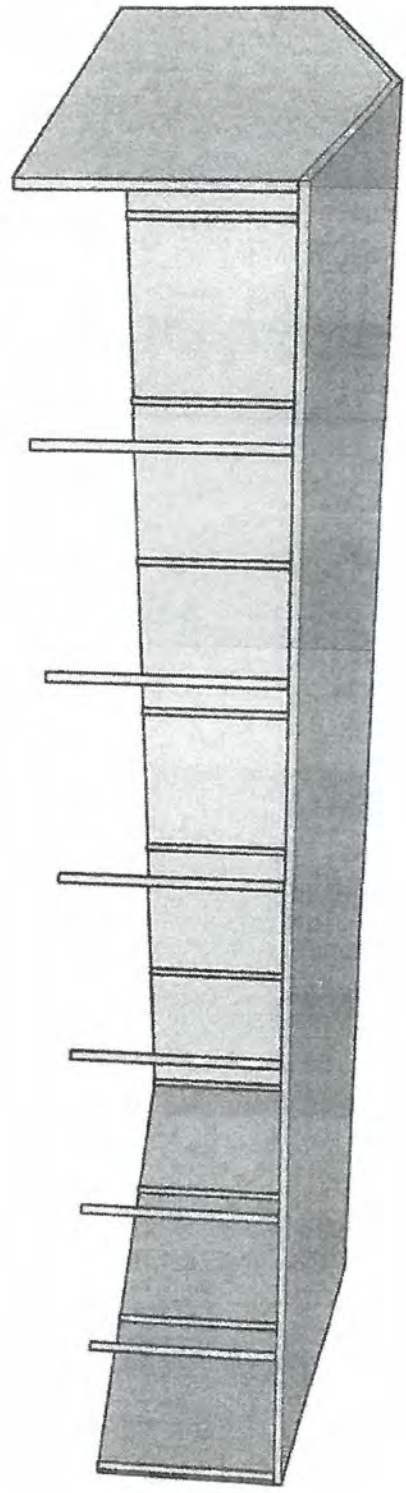
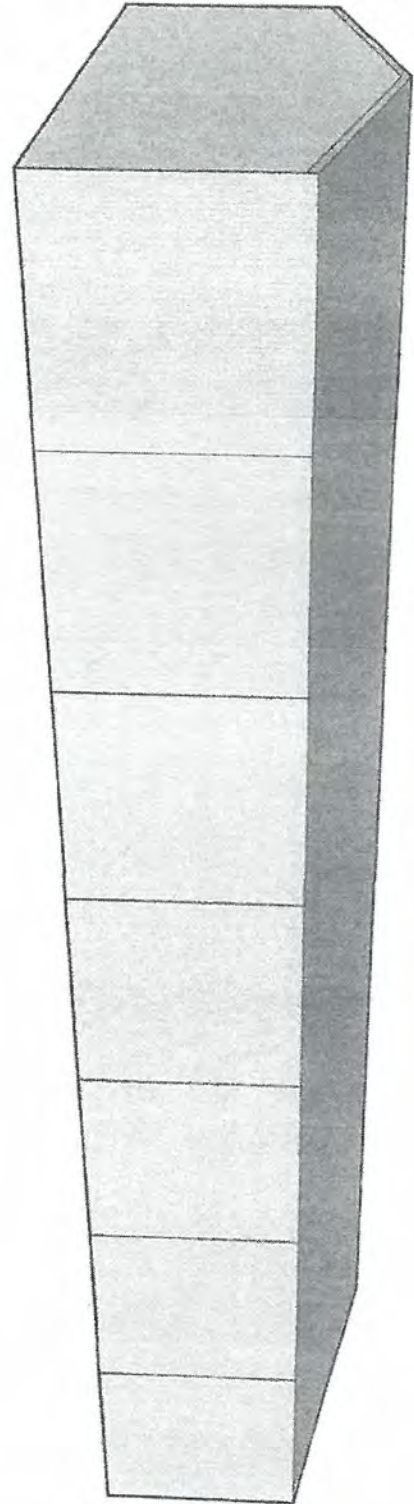
QUEENSTOWN

10 MAY 2021

Fergus Macdonald - Elevations



October 27, 2020



Handwritten signature and initials in blue ink.

MEASURED
LAND SURVEYS

measuredlandsurveys.co.nz info@measuredlandsurveys.co.nz

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BALCHNO PLATFORMS AMENDD	29/09/20
C	LAYOUT AMENDD	15/10/20
D	SHEED MOVED	28/10/20

Draft Scheme Plan for Neighbourhood

Feedback and Discussion

Lot 6 DP 305038

(230 Mount Barker Road, Manaka,

Macdonald

COPYRIGHT

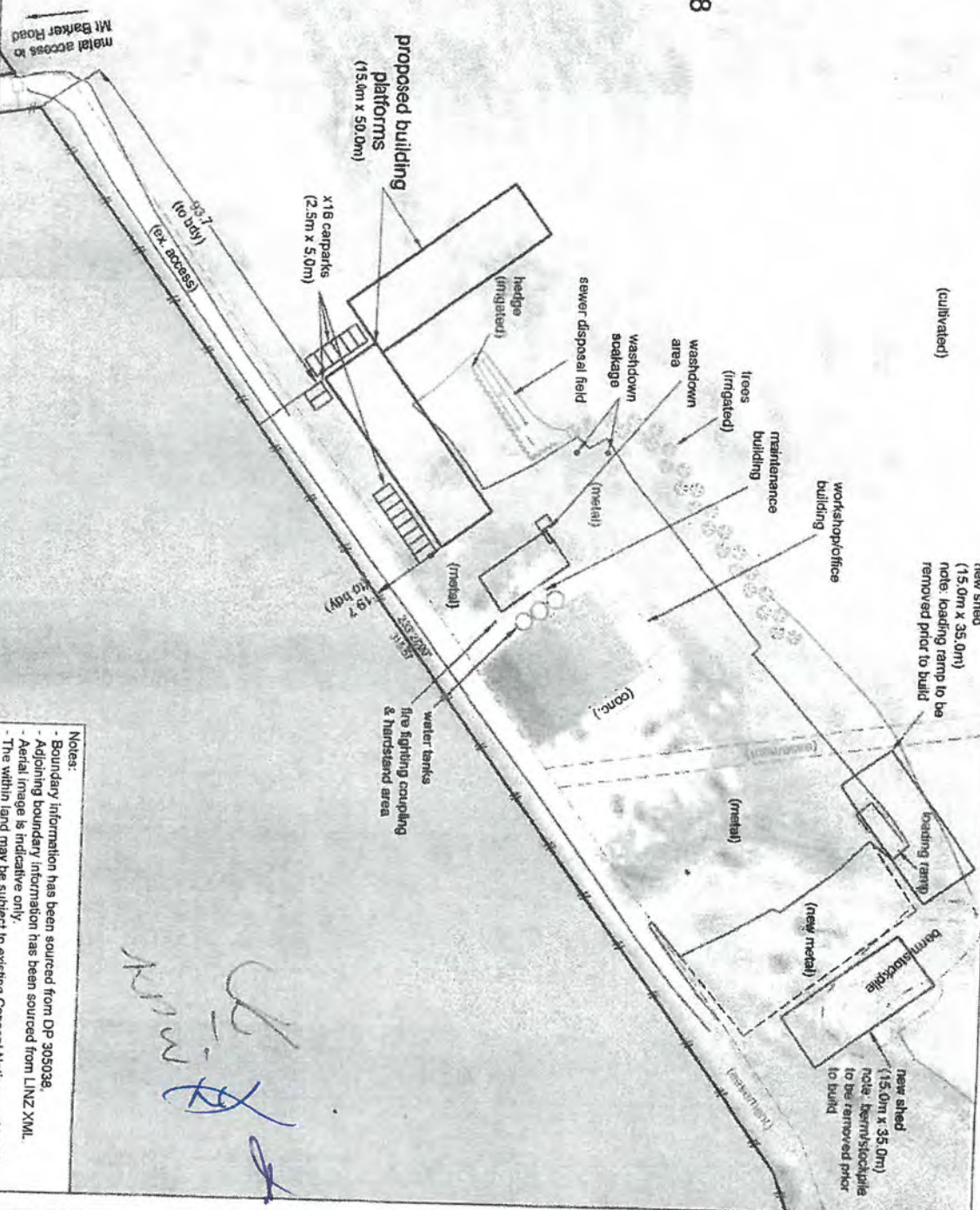
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CSA

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Notes:

- Boundary information has been sourced from DP 305036.
- Adjoining boundary information has been sourced from LINZ XML.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.



10 MAY 2021
QUEENSTOWN

MEASURED

AND SURVEYS

surveyandsurveys.co.nz info@surveyandsurveys.co.nz

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORM AMEND	23/05/20
C	LAYOUT AMENDED	15/10/20
D	SHEED MOVED	23/10/20

Draft Scheme Plan for Neighbour Feedback and Discussion

Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Scale
Macdonald

Scale
1:2500 @ A3

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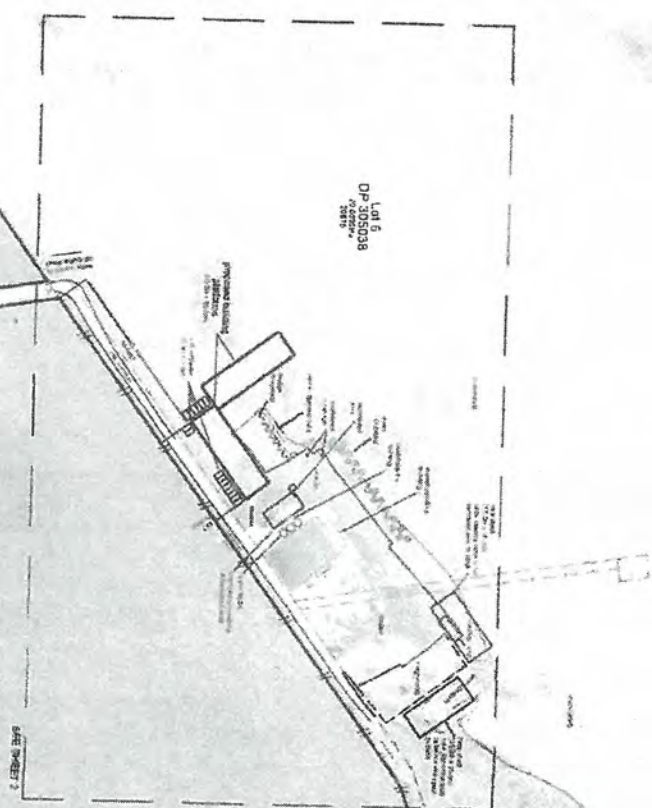
Copyright

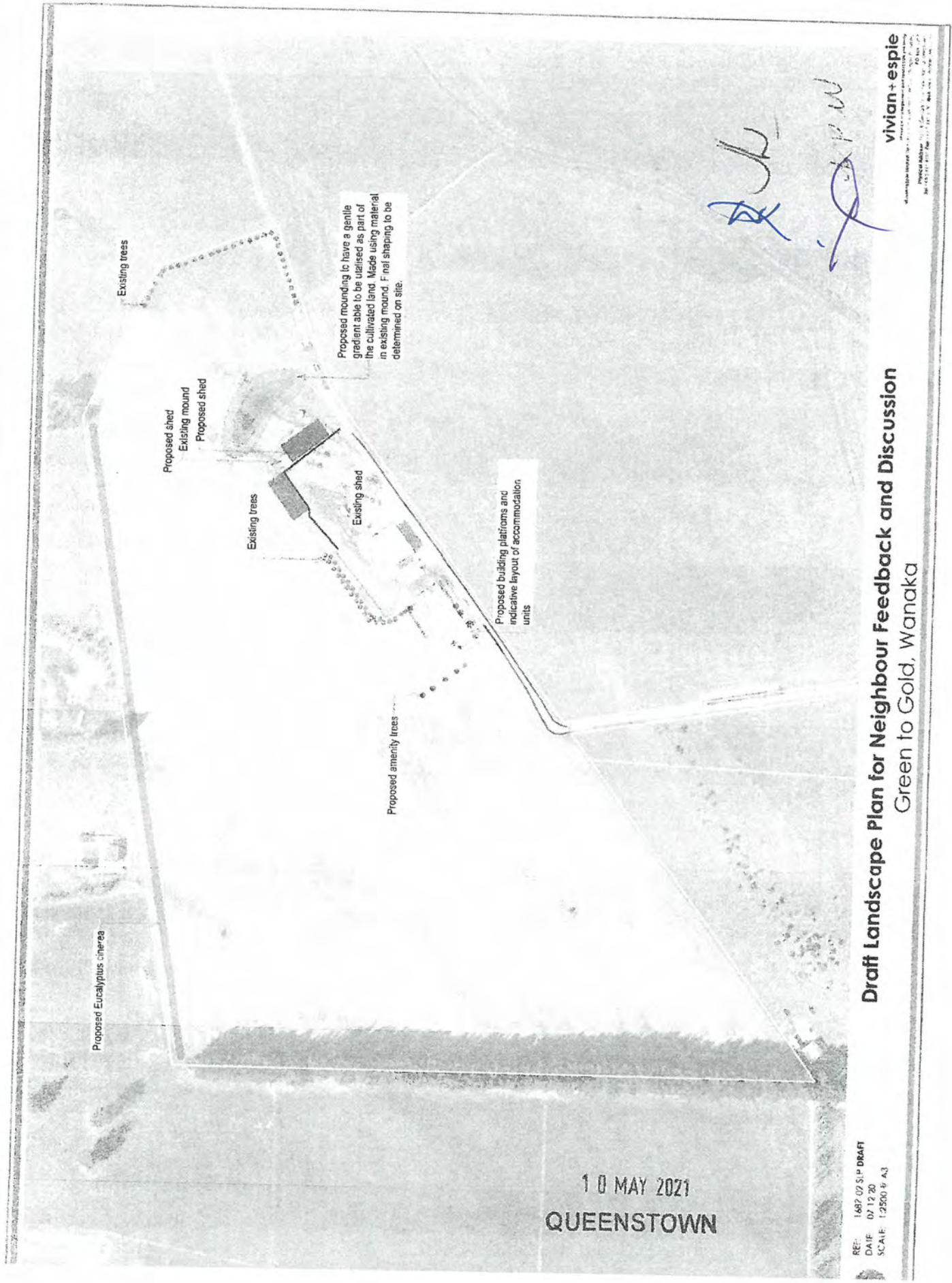
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Lindis Peak 2000



Notes:
- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ XML.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20876 for details.





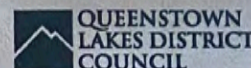
REF: 1487 02 SLP DRAFT
DATE: 02/12/20
SCALE: 1:2500 @ A3

Draft Landscape Plan for Neighbour Feedback and Discussion Green to Gold, Wanaka

vivan+espie



AFFECTED PERSON'S APPROVAL



FORM 8A

Resource Management Act 1991 Section 95

#

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM #

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We **Ben and Lucy Lucas**

Are the owners/occupiers of

202 Mount Barker Road, Rd 2, Wanaka, 9382. Lot 4 DP 305038



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):

230 Mount Barker Road, Wanaka, 9382



PLEASE TICK

I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



PLEASE TICK

I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



PLEASE TICK

I/We have sighted and initialled ALL plans dated and approve them.

Ben and Lucy Lucas



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95

#

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM #

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We CAROL JANE BEAUGE, GRACE KATHRYN BEAUGE, GLENN CAMERON,
CHRISTINE ANNE OSBALDISTON & GCA LEGAL TRUSTEE 2008 LIMITED

Are the owners/occupiers of
262 Mount Barker Road, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):
230 Mount Barker Road, Wanaka, 9382



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 878A of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.

[Handwritten signatures and initials]



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT)	
	GLEN CAMERON	
	Contact Phone / Email address	
	0226849716	glenn.cameron@outlook.com
	Signature	Date
		06/06/21

B	Name (PRINT)	
	GRACE KATHRYN BEANGE	
	Contact Phone / Email address	
	027 304 9165	grace.beange@hotmail.com
	Signature	Date
		26/06/2021

C	Name (PRINT)	
	Carol Jane Beange	
	Contact Phone / Email address	
	0212531337	carol.beange@hotmail.com
	Signature	Date
	CJ Beange	30/6/2021

D	Name (PRINT)	
	CHRISTINE ANNE OSBALDISTON	
	Contact Phone / Email address	
	022 628 2602	
	Signature	Date
		30/06/2021

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.




Queenstown Lakes District Council
Private Bag 50072, Queenstown 9346
Gorge Road, Queenstown 9300

P: 03 441 0499
E: resourceconsent@qldc.govt.nz
www.qldc.govt.nz



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) GCA LEGAL TRUSTEE 2008 LIMITED	
	Contact Phone / Email address 03 443 0044 felicityhaymondgallaway@askellian.co.nz	
	Signature  Directors	Date 30 June 2021

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

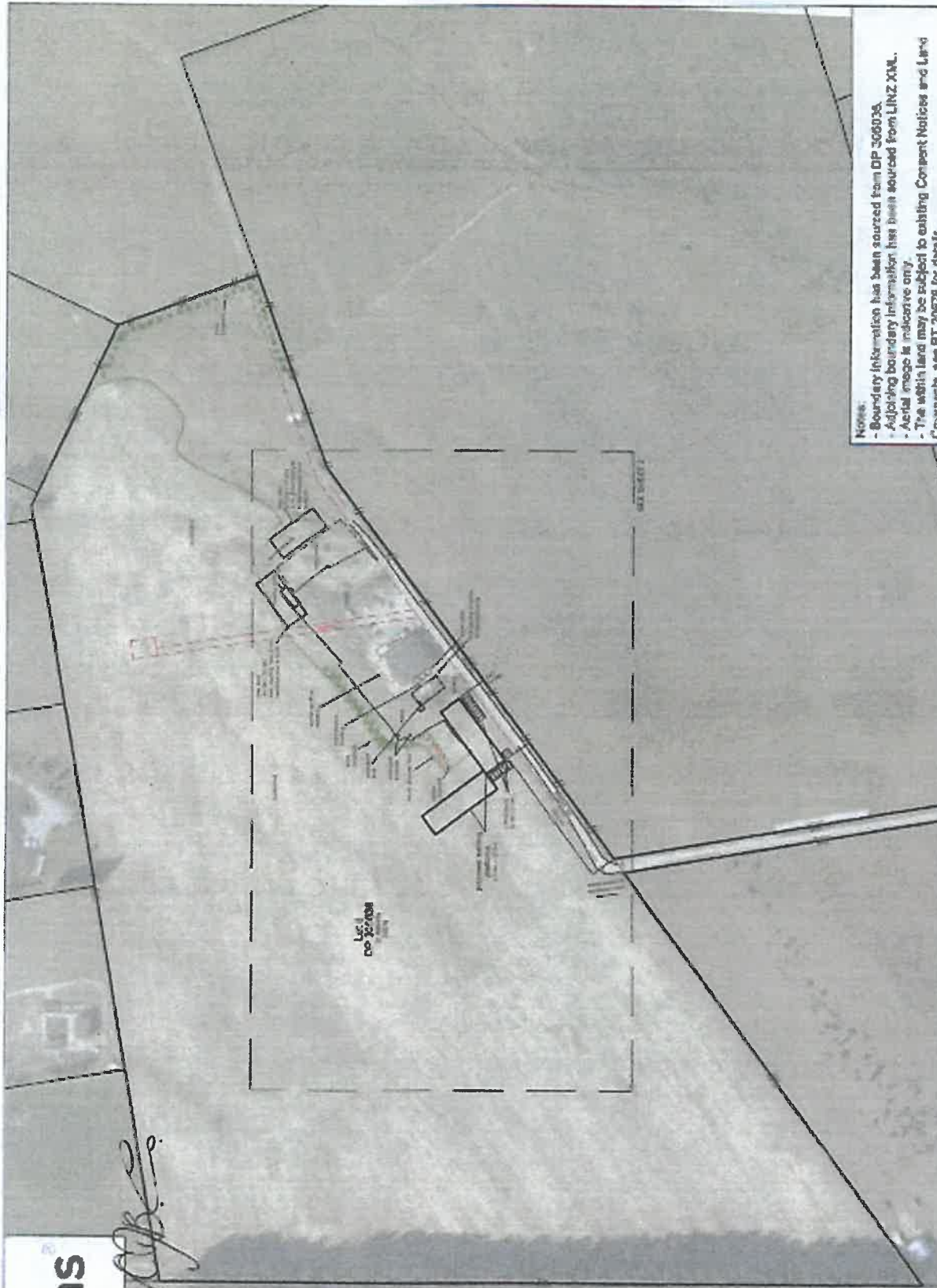
If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



Handwritten signature: B. R. R. R.

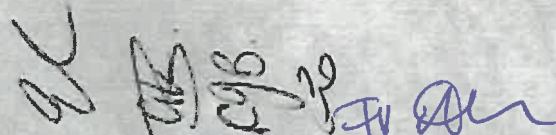
Handwritten initials: FR



Notes:

- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ XML.
- Actual map is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20578 for details.

<p>MEASURED LAND SURVEYS</p> <p><small>www.measuredland.com.au or info@measuredland.com.au</small></p>		<p>Plan</p> <p>A. OVERALL</p> <p>B. BUILDING FOOTPRINT AREA</p> <p>C. LAYOUT AREA</p> <p>D. SHED AREA</p>	<p>Date</p> <p>15/10/20</p> <p>17/10/20</p>	<p>Draft Scheme Plan for Neighbour Feedback and Discussion</p> <p>Lot 6 DP 305038</p> <p>(230 Mount Barker Road, Wanaka)</p>	<p>Client</p> <p>Mactonad</p>	<p>Scale</p> <p>1:3500 @ A3</p>	<p>Drawn</p> <p>AF 28/10/20</p>	<p>Check</p> <p>ST 06/09/20</p>	<p>CSNZ</p> <p><small>CSNZ is a registered provider of surveying services under the Survey Act 2012.</small></p>	<p>Sheet</p> <p>1 of 2</p>	<p>Job #</p> <p>20069_S3 D</p>
---------------------------------------------------------------------------------------------------------------	--	------------------------------------------------------------------------------------------------------------------	----------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------	----------------------------------------	----------------------------------------	----------------------------------------	-------------------------------------------------------------------------------------------------------------------------	-----------------------------------	---------------------------------------



- Boundary information has been extracted from DP 3050303.
- Aerial boundary information has been sourced from LINZ NZAL.
- Aerial image is indicative only.
- The yellow line may be subject to existing Consent Notices and Land Coverments, see RT 20478 for details.

01

A

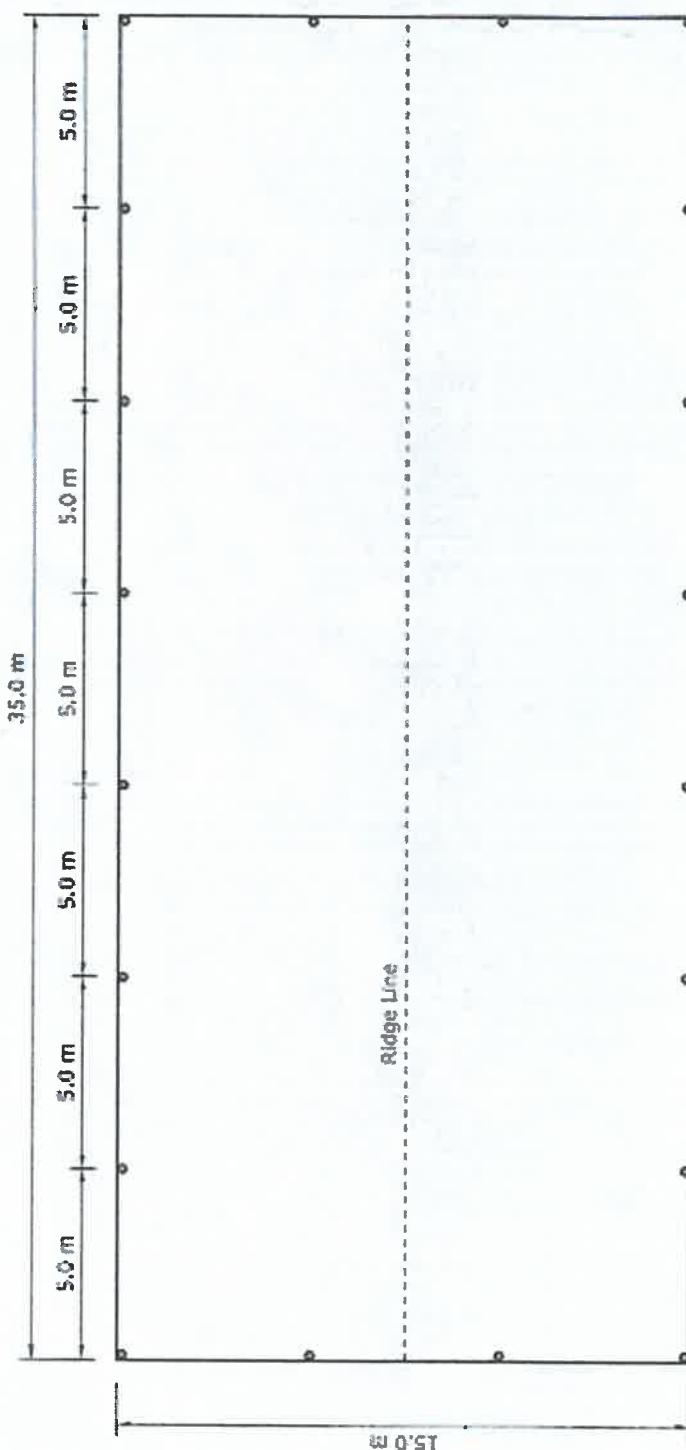
REVISIONS

NO.	DATE	BY	CHKD	REMARKS
1				
2				
3				
4				



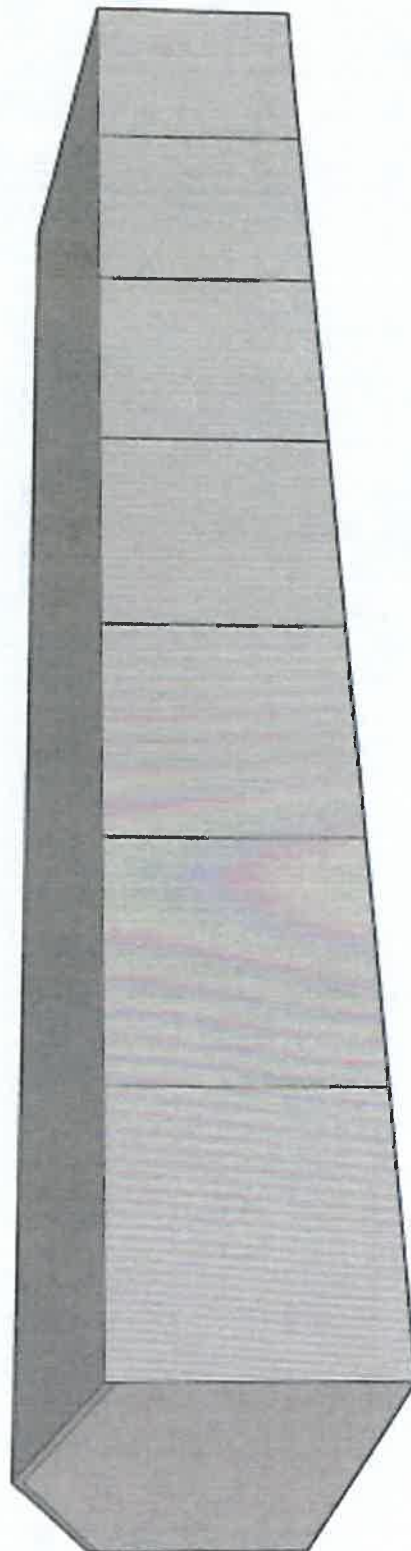
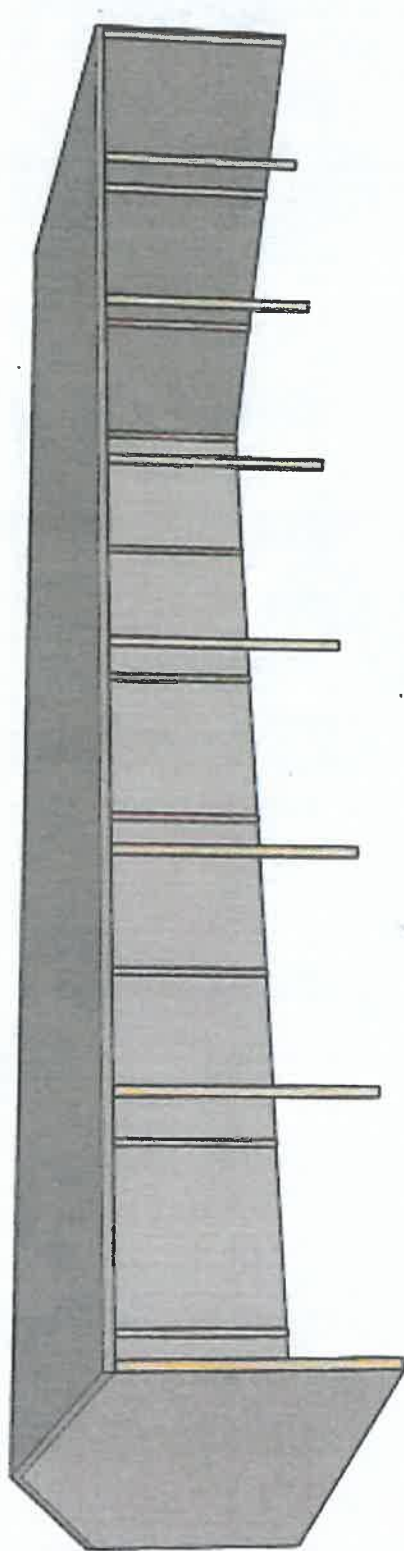
Fergus Macdonald - Elevations

Plan View



Handwritten signature/initials

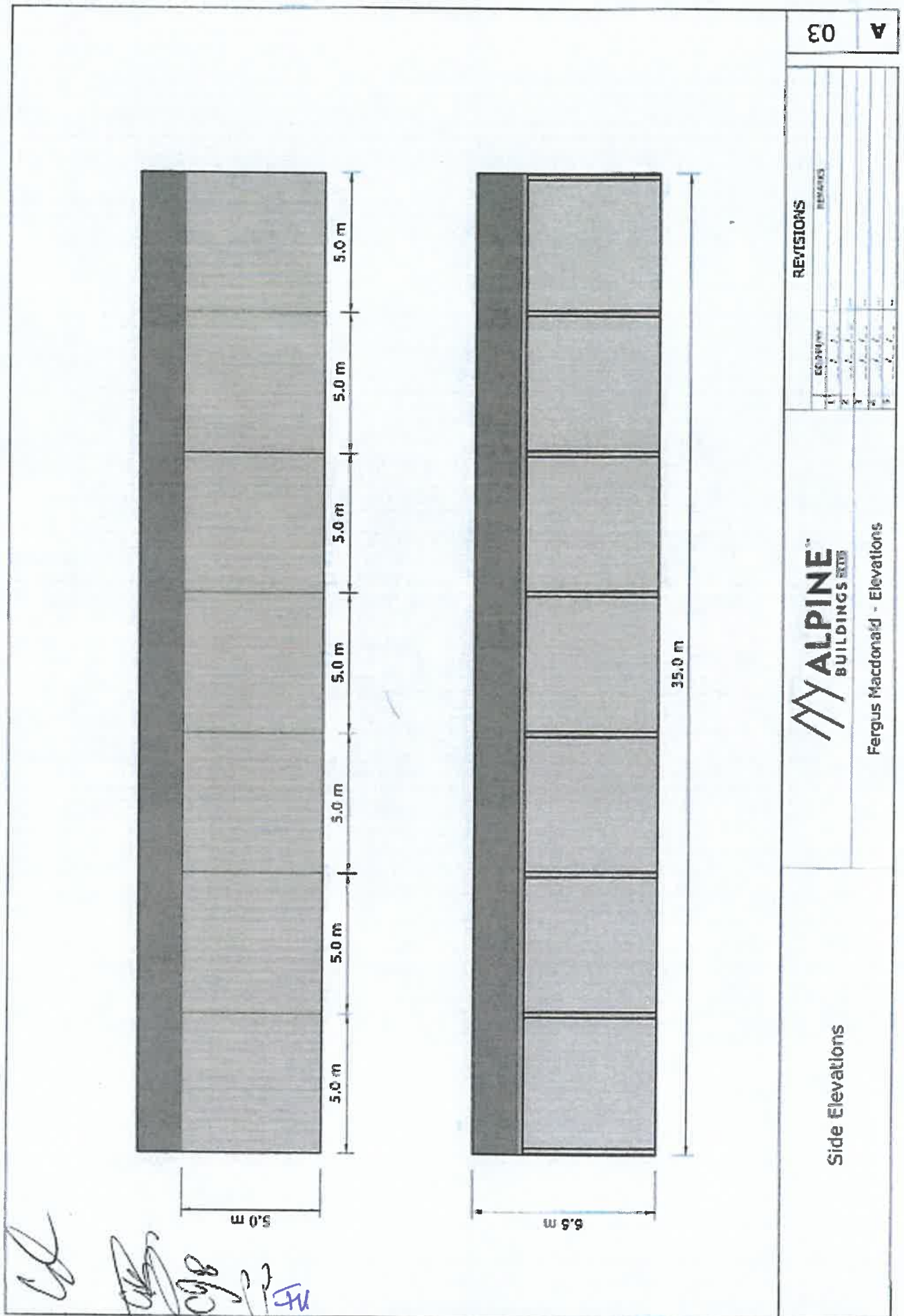
Handwritten signature/initials



Fergus Macdonald - Elevations

October 27, 2020

Handwritten signatures and initials in blue ink, including "AK", "PB", "CJB", "JN", and "AL".



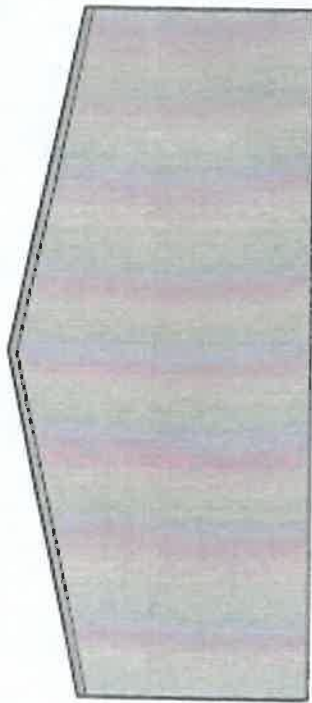
REVISIONS

NO.	DATE	REVISION
1	1/1/21	ISSUED FOR TENDERS
2	1/1/21	ISSUED FOR TENDERS
3	1/1/21	ISSUED FOR TENDERS
4	1/1/21	ISSUED FOR TENDERS
5	1/1/21	ISSUED FOR TENDERS

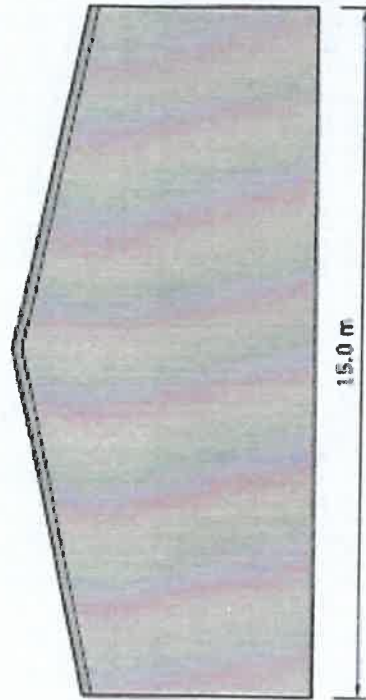
ALPINE
BUILDINGS

Fergus Macdonald - Elevations

End Elevations



5.0 m



6.6 m

15.0 m

[Handwritten signatures and initials]

Handwritten signatures and initials: *ck*, *DR*, *CAB*, *EP*, *TH*, *DR*

Proposed Eucalyptus Green

Existing trees

Proposed shed
Existing rooms
Proposed shed

Existing trees

Existing shed

Proposed arbutus trees

Proposed mounting to have a perfect
gradient 1:10 to the road and on part of
the existing land. These are the existing
existing road. Road shaping to be
formed on site

Proposed building platforms and
indicative layout of accommodation
units

REF: 148702312 DRAFT
DATE: 07/12/20
SCALE: 1:2500 S.A.J



Draft Landscape Plan for Neighbour Feedback and Discussion Green to Gold, Wanaka

vivian+esple
Landscape Architecture
100-102 Main Street, Wanaka
03 542 1000
www.vivian-esple.co.nz



AFFECTED PERSON'S APPROVAL



FORM 8A

Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We Mat & Laura Taylor

Are the owners/occupiers of
622 Ballantyne Road, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):
230 Mount Barker Road, Wanaka, 9382



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.




WHAT INFORMATION/PLANS HAVE YOU SIGHTED




I/We have sighted and initialled ALL plans dated and approve them.

Mat Taylor

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT)	Matt Taylor	
	Contact Phone / Email address	027 626 4978	matt@qpldc.co.nz
	Signature		Date 16/3/21

B	Name (PRINT)	Laura Taylor	
	Contact Phone / Email address	027 751 6700	
	Signature		Date 03.08.21

C	Name (PRINT)		
	Contact Phone / Email address		
	Signature	Date	

D	Name (PRINT)		
	Contact Phone / Email address		
	Signature	Date	

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



QUEENSTOWN
LAKES DISTRICT
COUNCIL

Queenstown Lakes District Council
Private Bag 50072, Queenstown 9348
Gorge Road, Queenstown 9300

P: 03 441 0499
E: resourceconsent@qldc.govt.nz
www.qldc.govt.nz

iP solutions

LT
03-08-21

16/3/21

Lot 6
DP 305038
21/05/2020

SEE SHEET 2

Notes:
- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ &
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and
Covenants, see RT 20676 for details.

MEASURED
LAND SURVEYS

www.measuredlandsurveys.co.nz info@measuredlandsurveys.co.nz

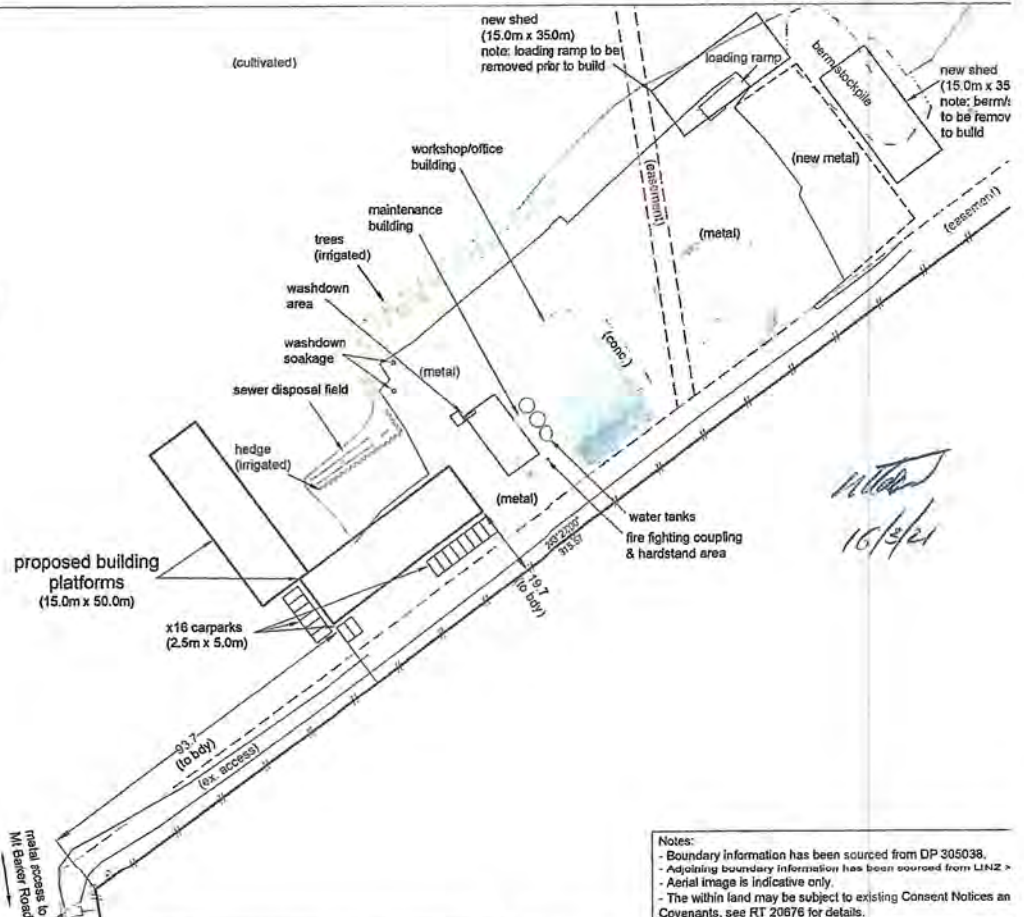
Rev	Description	Date
A	ORIGINAL	15/05/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	19/10/20
D	SHED MOVED	29/10/20

**Draft Scheme Plan for Neighbour
Feedback and Discussion**
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client	Macdonald
Scale	1:2500 @ A3
Surveyed	ST 08/09/20
Drawn	AF 29/10/20

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CSNZ	Sheet
Drawn	Lindis Peak 2000
Job #	2008

Lot 6
DP 305038
20.6690Ha
20676



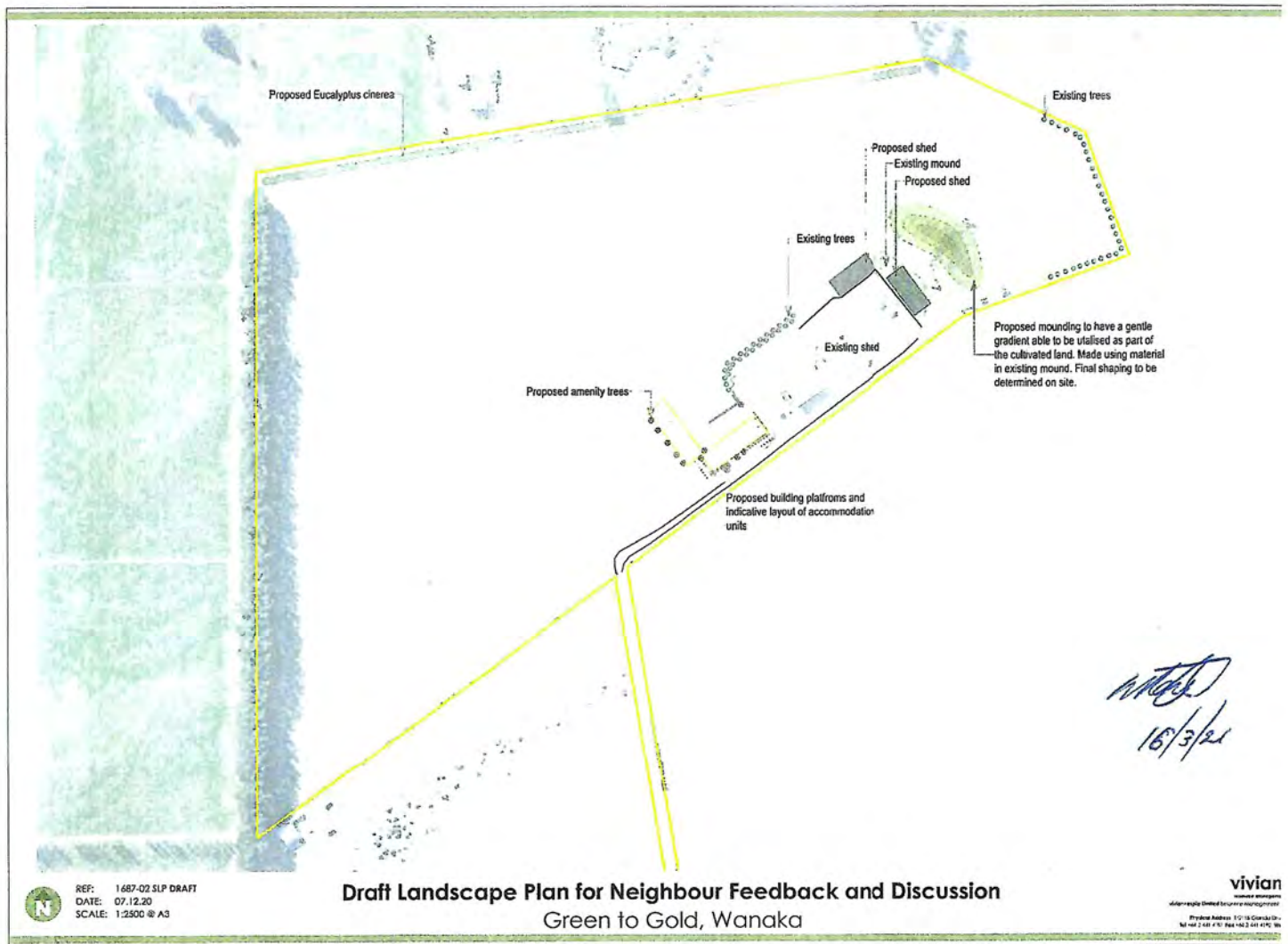
Notes:
- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Covenants, see RT 20676 for details.

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	18/12/20
D	SHED MOVED	21/10/21

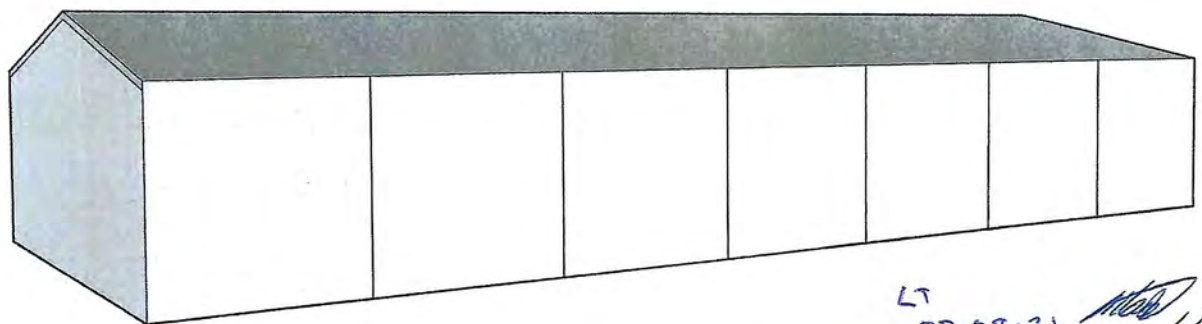
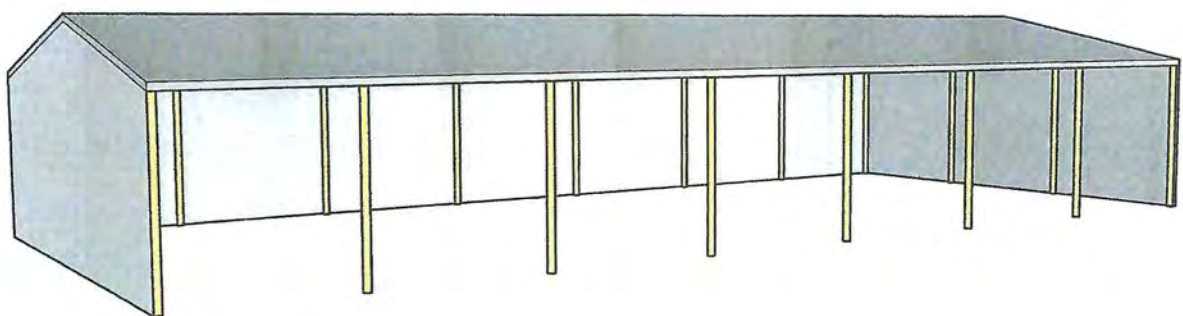
**Draft Scheme Plan for Neighbour
Feedback and Discussion
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)**

Client	Macdonald	Copyright	CSNZ	Job No.	2006
Scale	1:1000 @ A3	Drawn	AF 29/10/20	Date	Lindis Peak 2000
Surveyed	ST 08/09/20	Drawn	AF 29/10/20	Date	Lindis Peak 2000

03-08-21



16/3/21

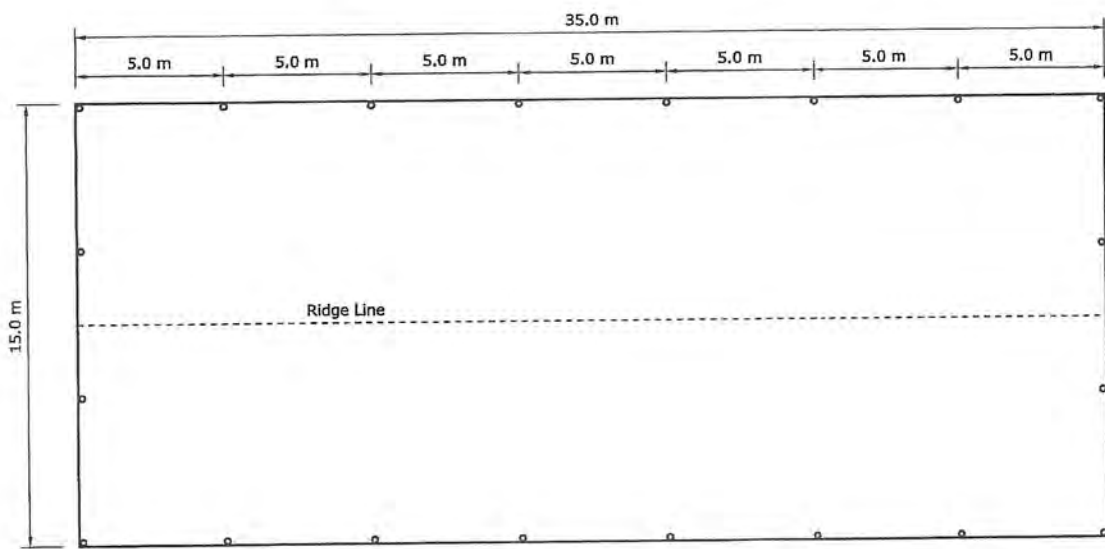


LT
03-08-21 *Macdonald*
10/21

Fergus Macdonald - Elevations

ALPINETM
BUILDINGS NZ LTD

October 27, 2020



LT
03.08.21 *[Signature]*
10/09/21

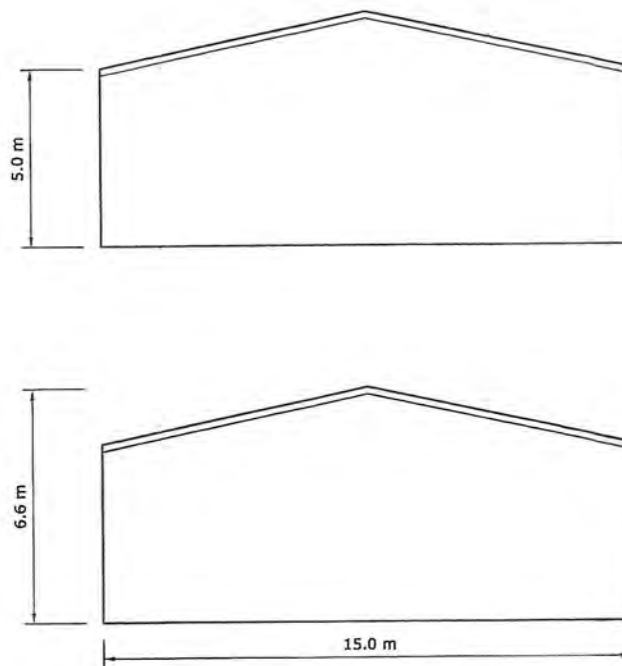
Plan View



Fergus Macdonald - Elevations

REVISIONS

NO	DD/MM/YY	REMARKS
1	-- / -- / --	---
2	-- / -- / --	---
3	-- / -- / --	---
4	-- / -- / --	---
5	-- / -- / --	---



LT
03.08.21

Handwritten signature
16/3/21

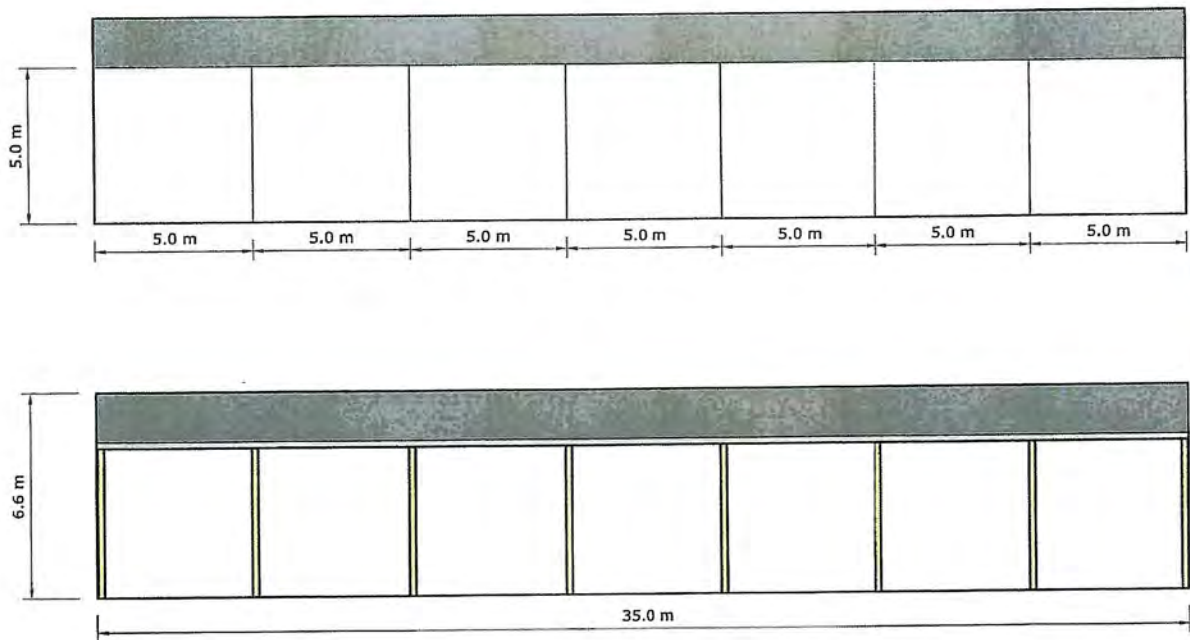
End Elevations



Fergus Macdonald - Elevations

REVISIONS

DD/MM/YY	REMARKS
1	
2	
3	
4	
5	



LT
03-08-21

MLA
16/3/21

Side Elevations



Fergus Macdonald - Elevations

REVISIONS

DD/MM/YY	REMARKS
1	Initial
2	Initial
3	Initial
4	Initial
5	Initial



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We David Stanley Allen

Are the owners/occupiers of
602 Ballantyne Road, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):

230 Mount Barker Road, Wanaka, 9382



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED




I/We have sighted and initialled ALL plans dated and approve them.



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT) David Stanley ALLEN	
	Contact Phone / Email address 03 4437373	
	Signature 	Date 6.6.2021

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



QUEENSTOWN
LAKES DISTRICT
COUNCIL

Queenstown Lakes District Council
Private Bag 50072, Queenstown 9348
Gorge Road, Queenstown 9300

P: 03 441 0499
E: resourceconsent@qldc.govt.nz
www.qldc.govt.nz



- Notes:
- Boundary information has been sourced from DP 305038.
 - Adjoining boundary information has been sourced from LINZ XML.
 - Aerial image is indicative only.
 - The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

Document Set ID: 6990509
Version: 1, Version Date: 03/09/2021

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

**Draft Scheme Plan for Neighbour
Feedback and Discussion**
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client: **Macdonald**

Scale: **1 : 2500 @ A3**

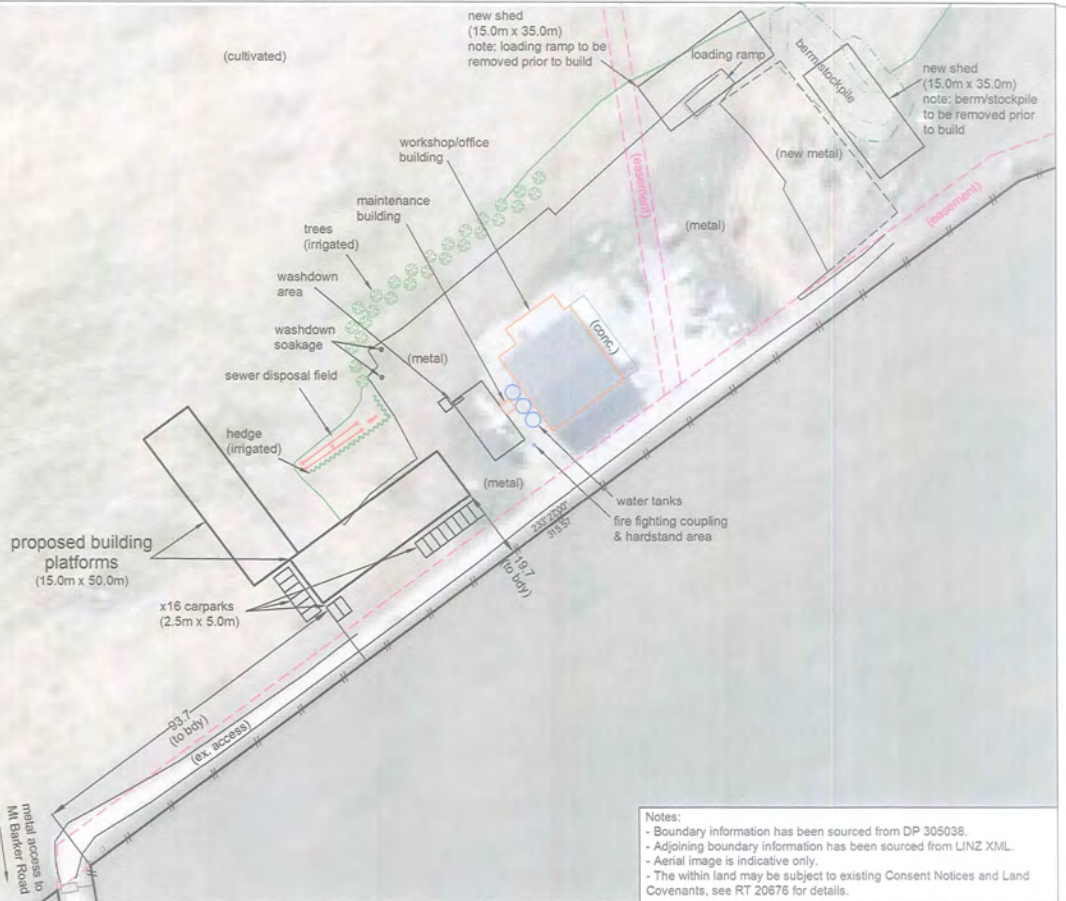
Surveyed: **ST 08/09/20** Drawn: **AF 29/10/20** Datum: **Lindis Peak 2000**

CSNZ THE CONSULTING SURVEYORS
A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS

Sheet: **1 of 2**

Job #: **20069_S3** Rev: **D**

Lot 6
DP 305038
20.6690Ha
20676



MEASURED
LAND SURVEYS

www.measuredlandsurveys.co.nz info@measuredlandsurveys.co.nz

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

**Draft Scheme Plan for Neighbour
Feedback and Discussion
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)**

Client	Macdonald
Scale	1 : 1000 @ A3
Surveyed	ST 08/09/20
Drawn	AF 29/10/20

COPYRIGHT This drawing and parts thereof are copyright to Measured Land Surveys Limited and shall not be reproduced, copied or reprinted without the written permission of Measured Land Surveys Limited.	CSNZ THE CONSULTING LAND SURVEYS OF NEW ZEALAND A DIVISION OF THE NEW ZEALAND PARTNERSHIP OF SURVEYORS
Sheet	2 of 2
Job #	20069_S3
Rev	D





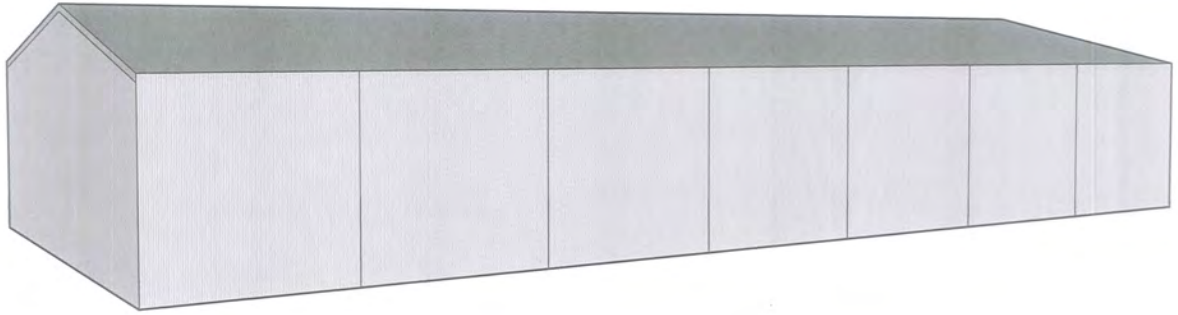
REF: 1687-02 SLP DRAFT
DATE: 07.12.20
SCALE: 1:2500 @ A3

Draft Landscape Plan for Neighbour Feedback and Discussion

Green to Gold, Wanaka

vivian+espie

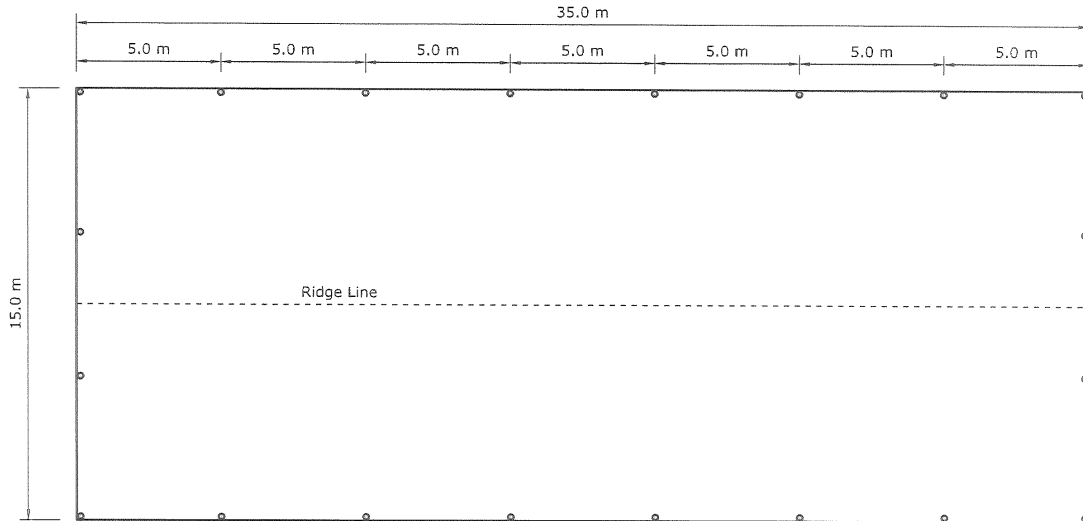
resource management and landscape planning
vivian+espie Limited Resource Management and Landscape Planning
PO Box 1004
Physical Address: 142-18 Cornish Drive, Invercargill, New Zealand
Tel: +64 3 441 4100 Fax: +64 3 441 4102 Web: www.vivianespie.co.nz



Fergus Macdonald - Elevations



October 27, 2020



Plan View

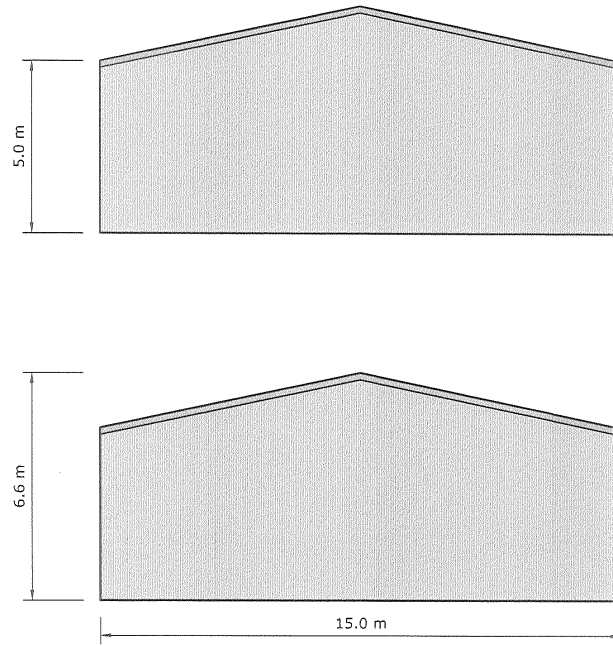


Fergus Macdonald - Elevations

REVISIONS

	DD/MM/YY	REMARKS
1	--/--/--	---
2	--/--/--	---
3	--/--/--	---
4	--/--/--	---
5	--/--/--	---

A 01



End Elevations

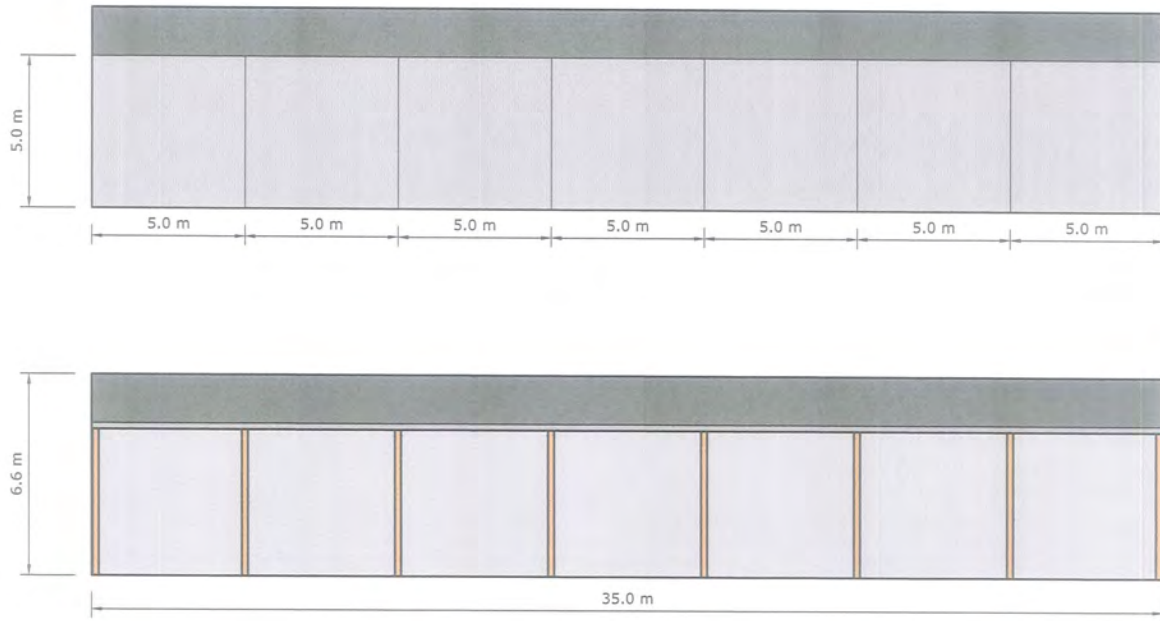


Fergus Macdonald - Elevations

REVISIONS

DD/MM/YY	REMARKS
1 -- / -- / --	...
2 -- / -- / --	...
3 -- / -- / --	...
4 -- / -- / --	...
5 -- / -- / --	...

A 02



Side Elevations



Fergus Macdonald - Elevations

REVISIONS

DO/MM/YY	REMARKS
1	
2	
3	
4	
5	

A 03



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We

Are the owners/occupiers of
626 Ballantyne Road, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):

230 Mount Barker Road, Wanaka, 9382



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED




I/We have sighted and initialled ALL plans dated and approve them.



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT) MARK PRICE	
	Contact Phone / Email address 027 261 3724	
	Signature 	Date 10/7/21

B	Name (PRINT) CATHY PRICE	
	Contact Phone / Email address 027 383 6746	
	Signature 	Date 10/7/21

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

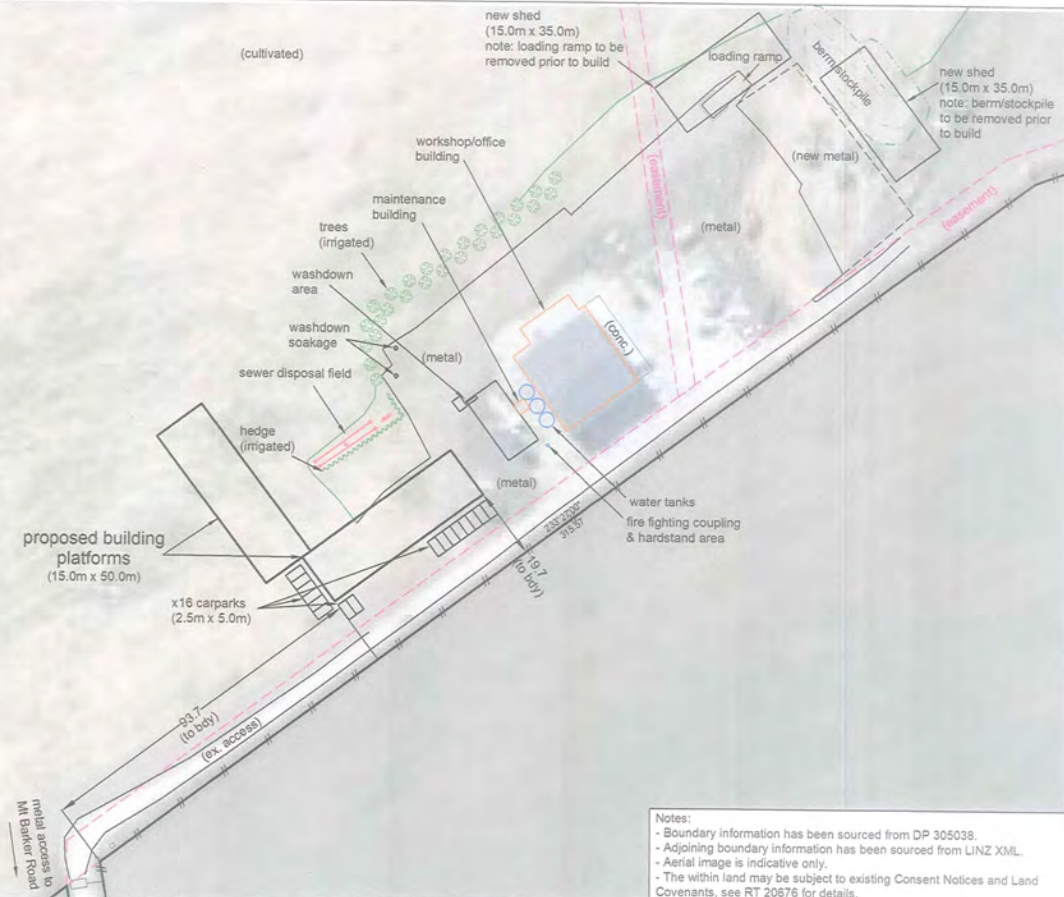
There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

CP





Notes:

- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ XML.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

Draft Scheme Plan for Neighbour
Feedback and Discussion
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

(230 Mount Barker Road, Wanaka)

Client: Macdonald

Scale 1 : 1000 @ A3

Surveyed: ST 08/09/20	Drawn: AE 29/10/20
--------------------------	-----------------------

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CSNZ THE CONSULTING
SURVEYORS
OF NEW ZEALAND
A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS



Sheet: 2 of 2

Job #	R
30089 S2	



Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	19/10/20
D	SHED MOVED	29/10/20

**Draft Scheme Plan for Neighbour
Feedback and Discussion**
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client	Macdonald
Scale	1:2500 @ A3
Surveyed	ST 08/09/20
Drawn	AF 29/10/20

<p>COPYRIGHT</p> <p>This drawing and parts thereof are copyright to Measured Land Surveys Limited and shall not be copied, copied or reproduced without the written permission of Measured Land Surveys Limited.</p> <p>CSNZ THE CONSULTING SURVEYORS OF NEW ZEALAND MEMBER OF THE INSTITUTE OF SURVEYORS</p>		<p>Sheet</p> <p>1 of 2</p>
Date	Lindis Peak 2000	<p>Job #</p> <p>20069_S3</p>
		<p>Rev</p> <p>D</p>

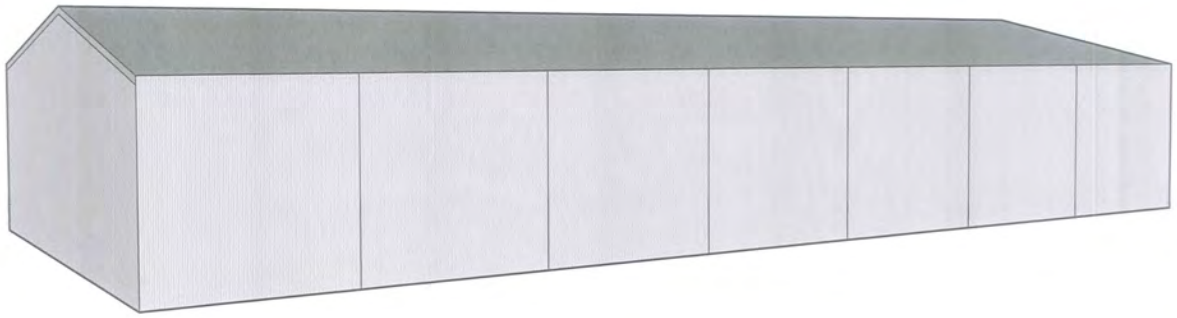


REF: 1687-02 SLP DRAFT
DATE: 07.12.20
SCALE: 1:2500 @ A3

Draft Landscape Plan for Neighbour Feedback and Discussion

Green to Gold, Wanaka

vivian+espie
landscape management and landscape planning
viviandespie Limited (Private Practice) and a subsidiary of vivian+espie
Physical Address: 10718 Canada Drive, Wharfedale, Queensland
Tel: +61 8 401 4100 Fax: +61 8 401 4101 Web: www.viviandespie.co.uk

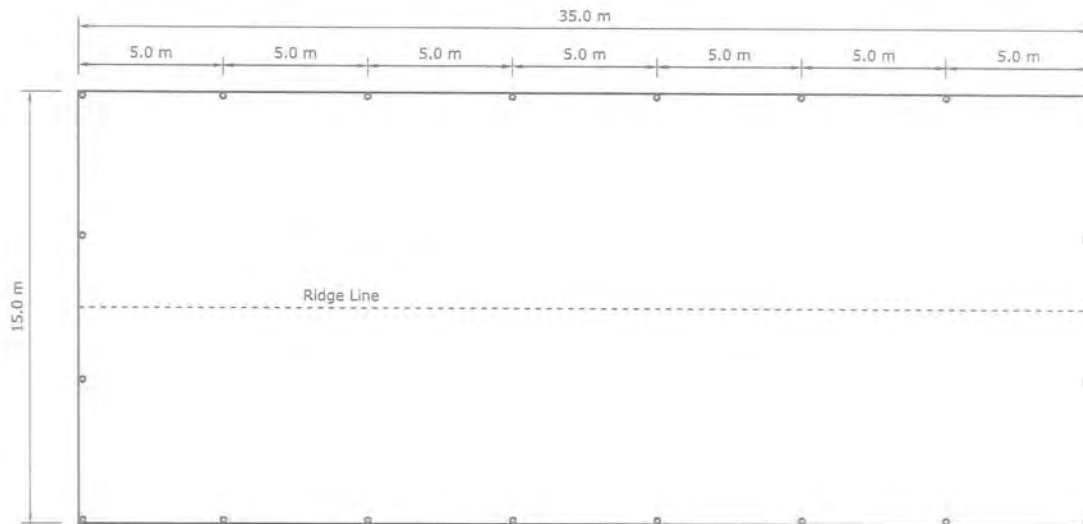


mt
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Fergus Macdonald - Elevations



October 27, 2020



Plan View



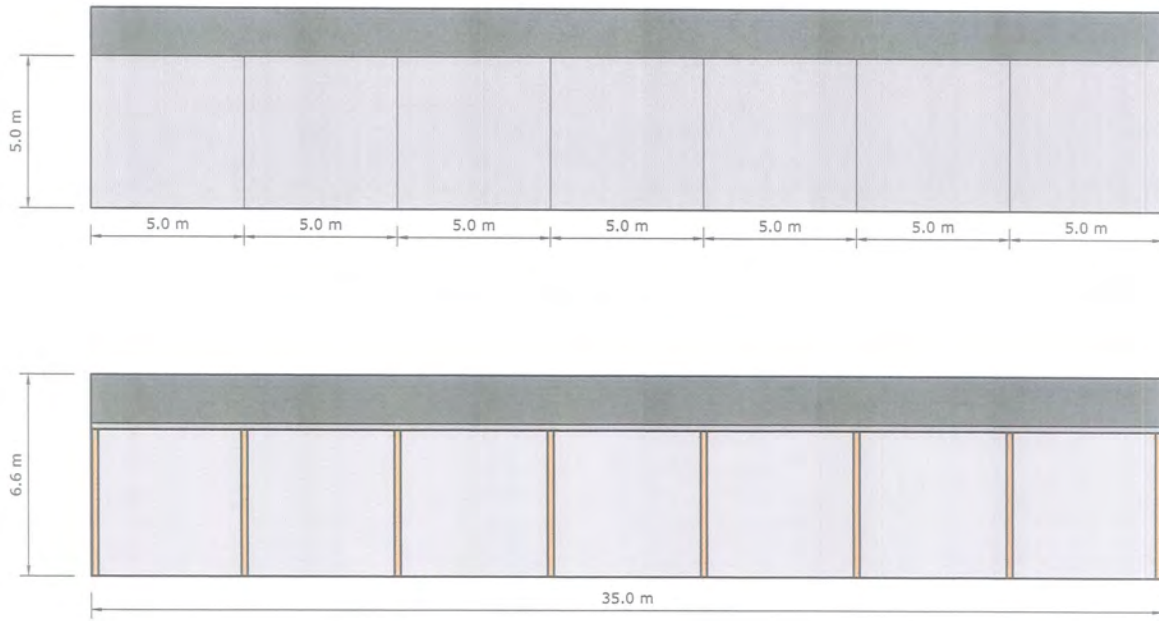
Fergus Macdonald - Elevations

REVISIONS

	DOYMM/YY	REMARKS
1	10/10/20	...
2	10/10/20	...
3	10/10/20	...
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5	10/10/20	...

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Side Elevations



Fergus Macdonald - Elevations

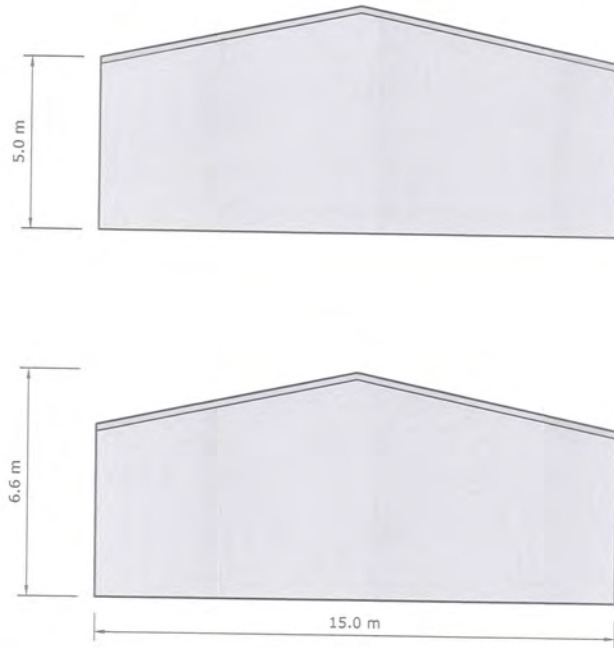
REVISIONS

DD/MM/YY	REMARKS
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End Elevations



Fergus Macdonald - Elevations

REVISIONS

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02

A



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We Jan Grant and Geoff Masterton (Ewan Grant on Separate form)

Are the owners/occupiers of
726 Wanaka Luggate Highway, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):

230 Mount Barker Road, Wanaka, 9382



PLEASE TICK

I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



PLEASE TICK

I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



PLEASE TICK

I/We have sighted and initialled ALL plans dated and approve them.

See attached

code# 2017

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT) <u>Jon Grant</u>	
	Contact Phone / Email address <u>jongrant726@gmail.com</u>	
	Signature <u>[Signature]</u>	Date <u>24/5/2021</u>

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT) <u>Geoff Masterton</u>	
	Contact Phone / Email address <u>021 707 007</u>	
	Signature <u>[Signature]</u>	Date <u>01/07/21</u>

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

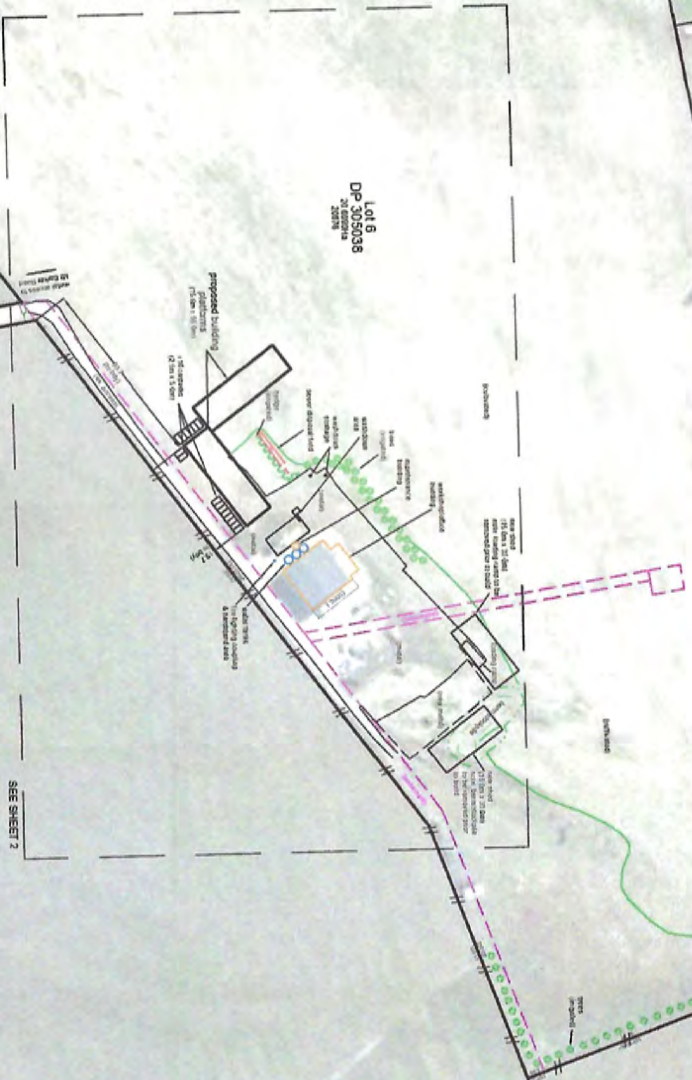
Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.





Notes:
 - Boundary information has been sourced from DP 305038.
 - Adjoining boundary information has been sourced from LINZ-XML.
 - Aerial image is indicative only.
 - The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

CDP/RIGHT
 This drawing and data thereof are copyright to Macdonald Land Survey Limited and shall not be re-used, copied or reproduced without the written permission of Macdonald Land Survey Limited.



MEASURED AND SURVEYS

Draft Scheme Plan for Neighbour Feedback and Discussion

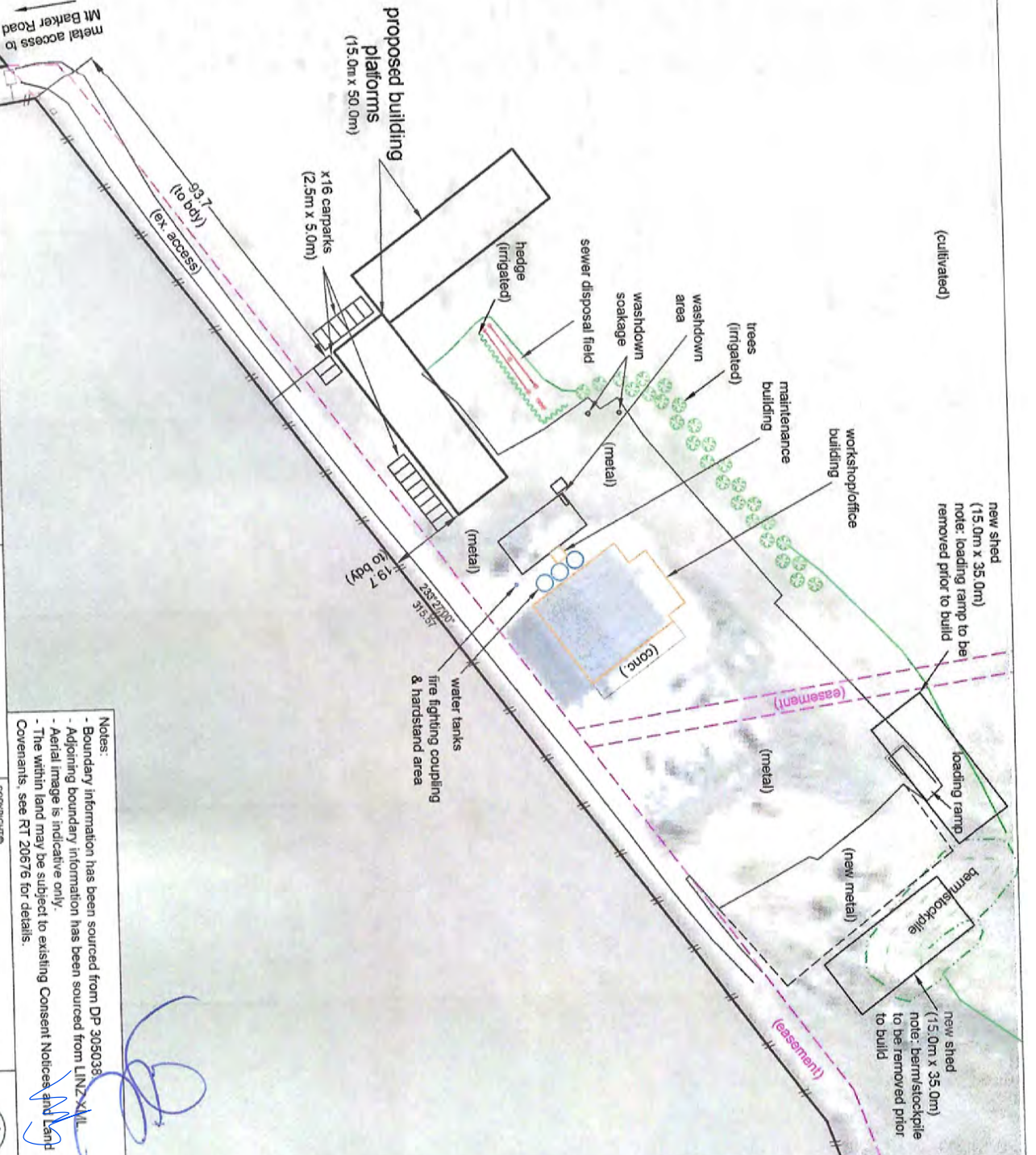
Lot 6 DP 305038

(230 Mount Barker Road, Wanaka)

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	28/07/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

Client:	Macdonald	Scale:	1 : 2500 @ A3	Surveyed:	ST 08/09/20	Drawn:	AF 29/10/20	Datum:	Lindis Peak 2000	Sheet:	1 of 2	Job #:	20069_s3	Rev:	D
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Lot 6
DP 305038
20.6690Ha
20676



Notes:
- Boundary information has been sourced from DP 305038
- Adjoining boundary information has been sourced from LINZ-X-111
- Aerial image is indicative only
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS ADJACENT	20/09/20
C	LAYOUT AMENDED	15/10/20
D	SHEED MOVED	20/10/20

Draft Scheme Plan for Neighbour
Feedback and Discussion
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client:
Macdonald

Scale:
1 : 1000 @ A3

Drawn:
AF 29/10/20

Date:
Lindis Peak 2000

Job #
20069_S3

Rev:
D



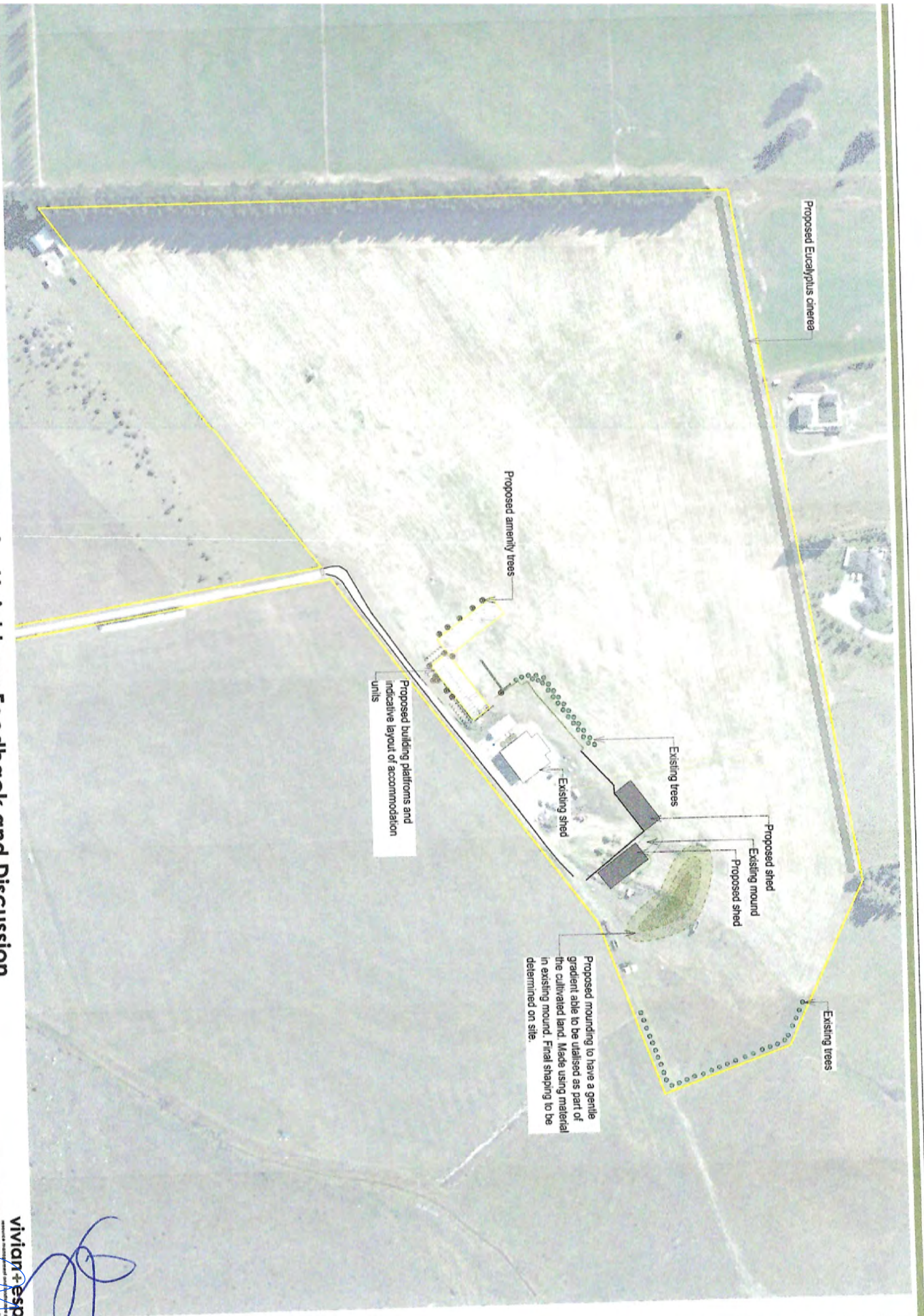
CSNZ
H.E. CONSULTING
SOLUTIONS
AUCKLAND
18 BURNHAM ROAD, AUCKLAND
021 623 1234

Copyright ©
This drawing and any thereof are copyright to Macdonald Land Services Limited and shall not be copied, reproduced or otherwise used without the written permission of Macdonald Land Services Limited.

REF: 1487-02 SLP DRAFT
 DATE: 07/12/20
 SCALE: 1:2500 @ A3

Draft Landscape Plan for Neighbour Feedback and Discussion

Green to Gold, Wanaka

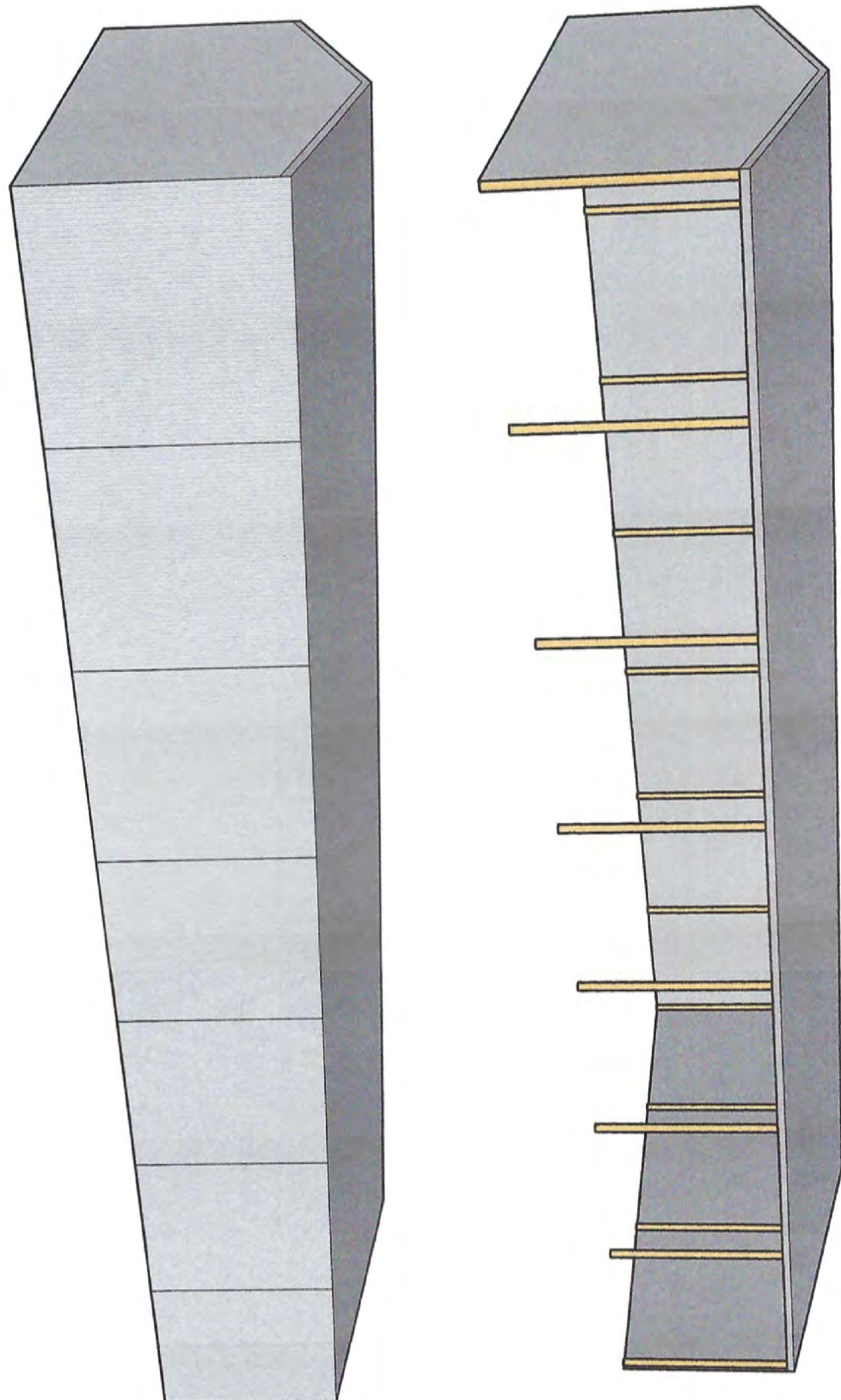


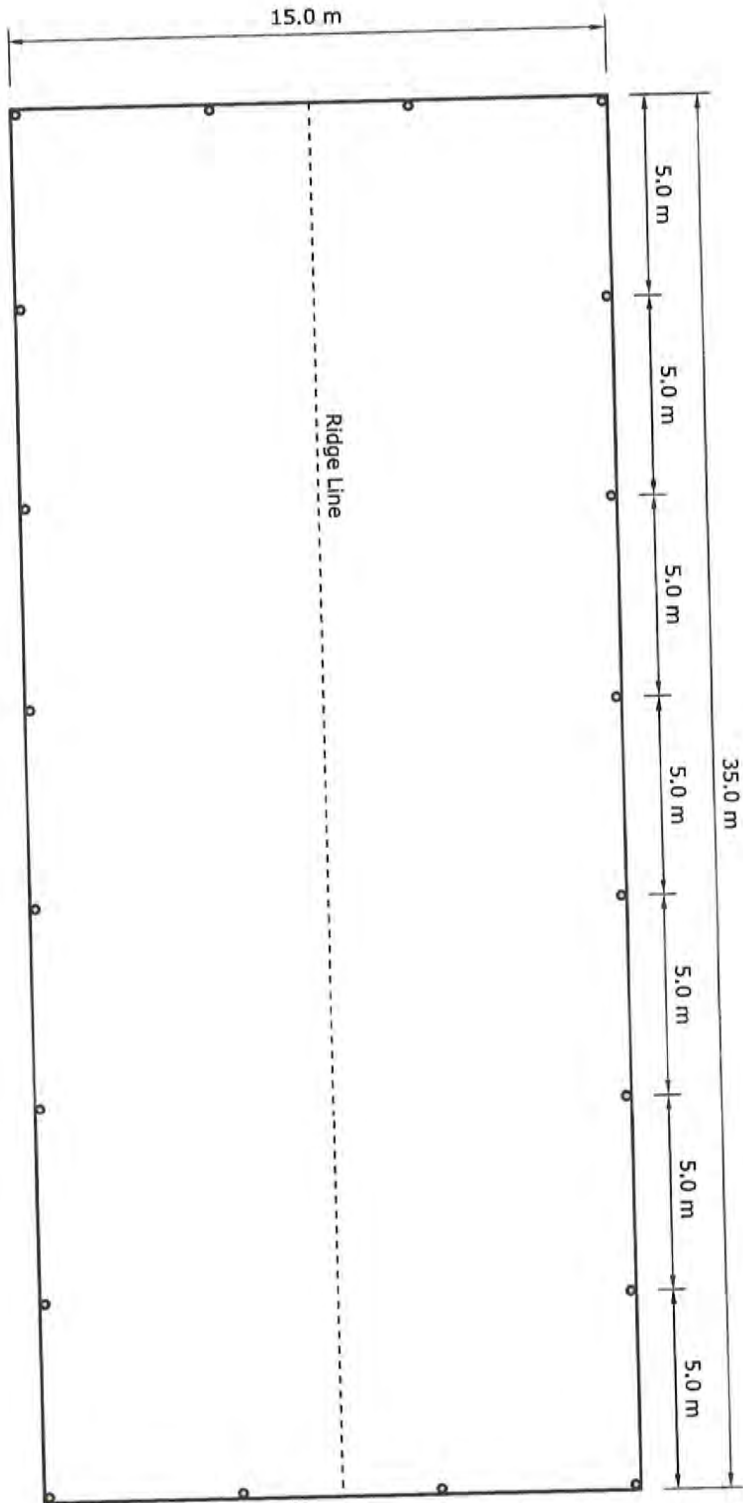
vivian + espie
 landscape architects
 10/18 Church Street, Wanaka
 Phone: 03 544 1180 Fax: 03 544 1181
 Email: info@vivian-espie.co.nz
 Website: www.vivian-espie.co.nz

Fergus Macdonald - Elevations



October 27, 2020





Plan View

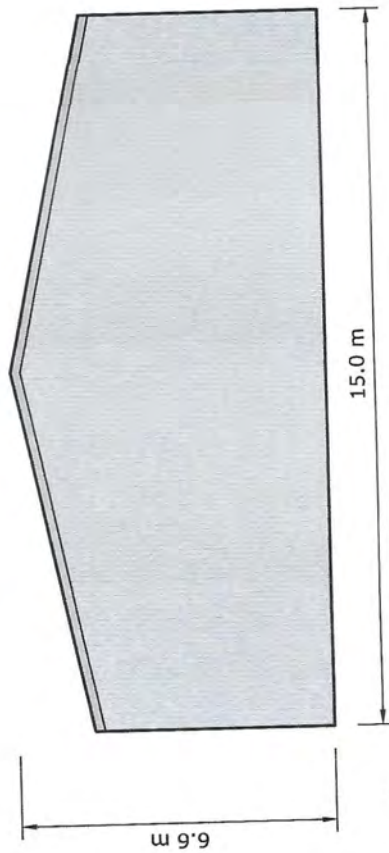
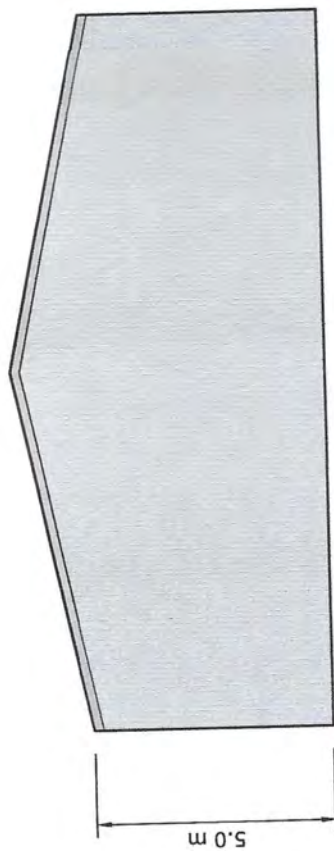


Fergus Macdonald - Elevations

REVISIONS

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End Elevations



Fergus Macdonald - Elevations

REVISIONS

	DD/MM/YY	REMARKS
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3	/ /	
4	/ /	
5	/ /	



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95

#

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM #

Fergus and Alison Macdonald



AFFECTED PERSON'S DETAILS

I/We Jon + Ewan Grant

Are the owners/occupiers of
726 Wanaka Luggate Highway, Rd 2, Wanaka, 9382



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

For the expansion of the existing agricultural business which involves the construction of two, open bay, farm buildings, and the provision of onsite accommodation of staff within two defined building platforms as illustrated on the attached signed plans.

This includes structural landscaping as indicated on the plans and/or changes to that landscaping plan as a consequence of council input.

at the following subject site(s):

230 Mount Barker Road, Wanaka, 9382



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.

Page 1 of 2 - November 2017



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required. The below details must match that on the certificate of title.

A	Name (PRINT) <u>Jon Grant</u>	
	Contact Phone / Email address <u>jongrant726@gmail.com</u>	
	Signature <u>[Signature]</u>	Date <u>24/5/2021</u>

B	Name (PRINT) <u>Ewan Grant</u>	
	Contact Phone / Email address <u>ewiegrant@gmail.com</u>	
	Signature <u>[Signature]</u>	Date <u>3/6/21</u>

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.


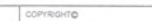

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

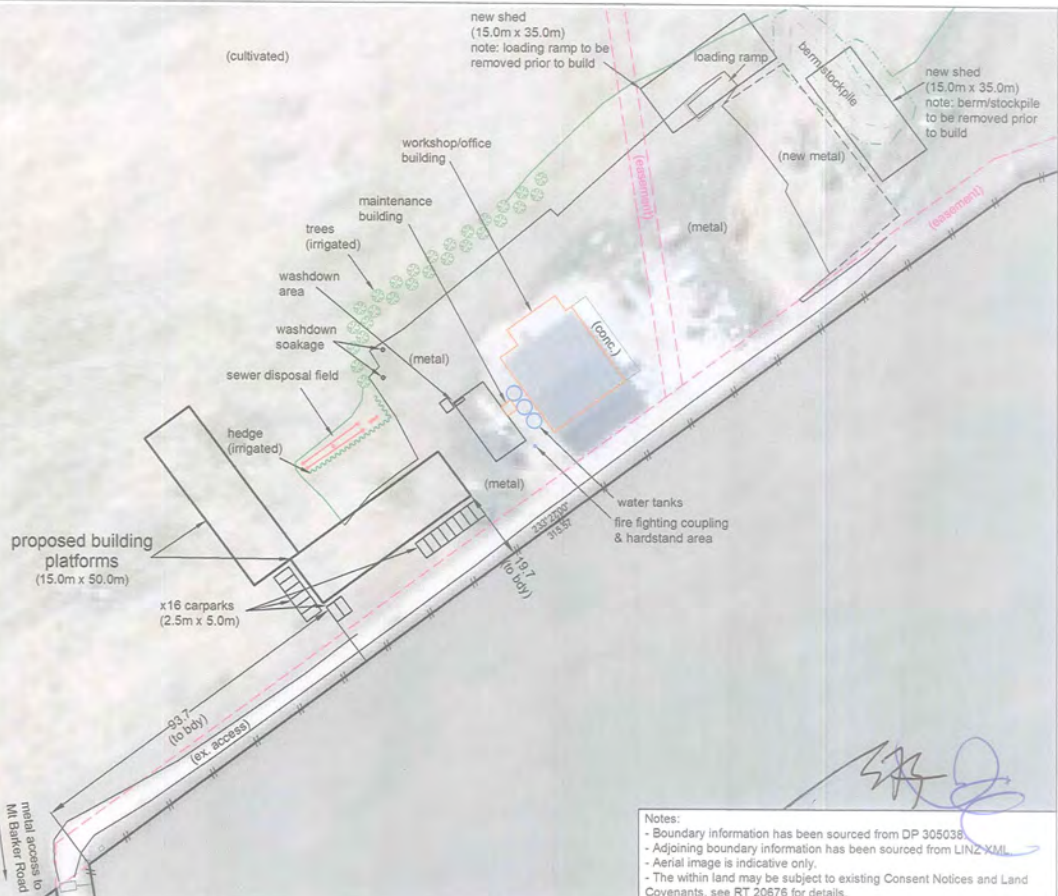




Notes:
 - Boundary information has been sourced from DP 305038.
 - Adjoining boundary information has been sourced from LINZ data.
 - Aerial image is indicative only.
 - The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

 www.measuredlandsurveys.co.nz info@measuredlandsurveys.co.nz	Rev	Description	Date	<div>Draft Scheme Plan for Neighbour Feedback and Discussion Lot 6 DP 305038 (230 Mount Barker Road, Wanaka)</div>	Client:	Macdonald	<div><div>COPYRIGHT</div><div>This drawing and parts thereof are copyright to Measured Land Surveys Limited and shall not be reused, copied or reproduced without the written permission of Measured Land Surveys Limited.</div><div> THE CONSULTING SURVEYORS OF NEW ZEALAND A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS</div></div>	 Sheet 1 of 2					
	A	ORIGINAL	15/09/20										
	B	BUILDING PLATFORMS AMENDED	29/09/20										
	C	LAYOUT AMENDED	15/10/20										
	D	SHED MOVED	29/10/20										
				Scale:	1 : 2500 @ A3								
				Surveyed:	ST 08/09/20	Drawn:	AF 29/10/20	Datum:	Lindis Peak 2000	Job #:	20069_S3	Rev:	D

Lot 6
DP 305038
20.6690Ha
20676



Notes:
- Boundary information has been sourced from DP 305038.
- Adjoining boundary information has been sourced from LINZ XMI.
- Aerial image is indicative only.
- The within land may be subject to existing Consent Notices and Land Covenants, see RT 20676 for details.

MEASURED
LAND SURVEYS

www.measuredlandsurveys.co.nz info@measuredlandsurveys.co.nz

Rev	Description	Date
A	ORIGINAL	15/09/20
B	BUILDING PLATFORMS AMENDED	29/09/20
C	LAYOUT AMENDED	15/10/20
D	SHED MOVED	29/10/20

**Draft Scheme Plan for Neighbour
Feedback and Discussion**
Lot 6 DP 305038
(230 Mount Barker Road, Wanaka)

Client	Macdonald	Copyright	This drawing and parts thereof are copyright to Measured Land Surveys Limited and shall not be copied, altered or reproduced without the written permission of Measured Land Surveys Limited.	
Scale	1 : 1000 @ A3	CSNZ	THE CONSTRUCTING SURVEYORS (OF NEW ZEALAND) A DIVISION OF THE NEW ZEALAND SOCIETY OF SURVEYORS	Sheet 2 of 2
Surveyed	ST 08/09/20	Drawn	AF 29/10/20	Job # 20069_S3
		Datum	Lindis Peak 2000	Rev D



REF: 1687-02 SLP DRAFT
DATE: 07.12.20
SCALE: 1:2500 @ A3

Draft Landscape Plan for Neighbour Feedback and Discussion

Green to Gold, Wanaka

vivian+espie

landscape management and landscape planning
vivan+espie Limited Resource Management and Landscape Planning
PO Box 2214
Physical Address: 1221-12 Glenaida Drive, Invercargill, Southland
Tel: +64 3 682 4100 Fax: +64 3 682 4101 Web: www.vivianespie.co.nz

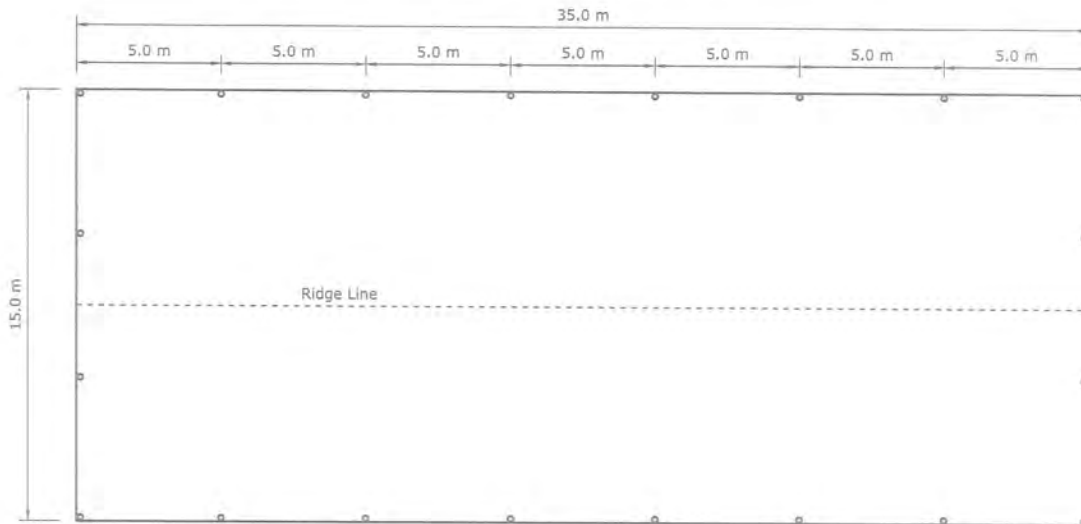


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Fergus Macdonald - Elevations



October 27, 2020



Plan View



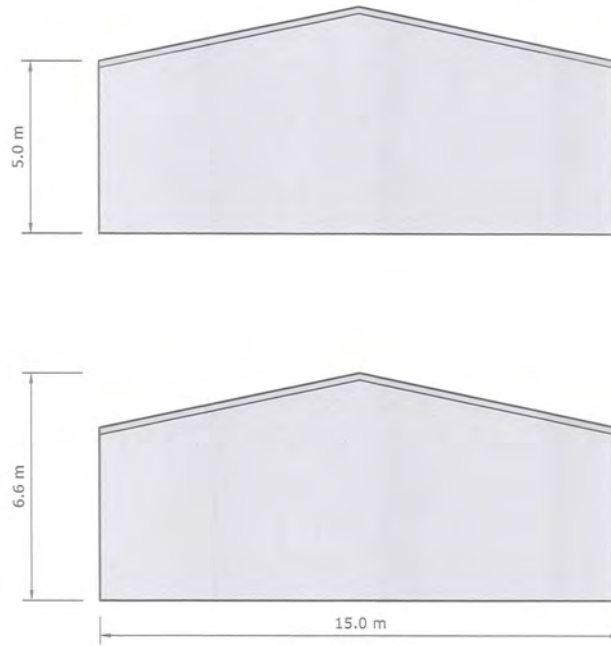
Fergus Macdonald - Elevations

REVISIONS

NO	DATE	REVISIONS	REMARKS
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End Elevations



Fergus Macdonald - Elevations

REVISIONS

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Handwritten signature and initials.



Revisions



Fergus Macdonald - Elevations

Side Elevations

WATER PERMIT

Pursuant to Section 105 of the Resource Management Act 1991, the Otago Regional Council grants consent to:

Name: [~~Cardrona Investments Co. Limited~~] transferred 29 April 2003
Kingsley Kung and Hugh Chin

Address: [~~Level 1, 69 Tarbert Street, Alexandra~~]
C/- 25 London Street, Dunedin

to take and use 54,000 litres of water per day

for the purpose of a communal domestic water supply

for a term expiring 14 December 2026

Location of activity: Wanaka-Luggate Highway (near Airport) Wanaka

Legal description of land adjacent to point of abstraction: Lot 1 DP300258

Map reference: NZMS 260 F40:099-027

Conditions:

- 1) The abstraction shall not exceed
 - a) 1.25 litres per second and
 - b) 54,000 litres per day
- 2) The consent holder shall install a water meter with the accuracy of $\pm 5\%$ to monitor the take. The consent holder shall maintain a monthly record of the take and forward to the consent authority when requested by the consent authority.

Issued at Dunedin this 14th day of January 2002

Reissued at Dunedin this 15th day of February 2002 to correct original issuing date

Reissued at Dunedin this 2nd day of May 2003 to reflect transfer of holder

Selva Selvarajah

Director Resource Management

j. e. g:\sl1\j\kungchin p.doc

LAND USE CONSENT

Pursuant to Section 105 of the Resource Management Act 1991, the Otago Regional Council grants consent to:

Name: Cardrona Investments Co Limited

Address: Criffel Station, Mount Barker Road, Wanaka

to construct a bore for community domestic supply

for an unlimited term

Location: South of Ballantyne Road, North of Mount Barker Road

Legal description of consent location: Lot 6 of a Proposed Subdivision of Lots 1 & 2 DP 300258

Approximate map reference: NZMS 260 : F40: 099 027

Well No: F40/0234

Aquifer/source: Cardrona Gravels

Proposed depth of bore: 90 metres

Diameter of bore: 125mm

Conditions:

1. The bore shall be constructed within a period of two years from the date of commencement of this permit. The permit shall attach to the land to which it relates.
2. A fully completed bore log form shall be supplied to the Council as soon as practicable.
3. Copies of the results of any pump tests shall be supplied to the Council.
4. Copies of the results of any chemical analyses performed on the underground water shall be supplied to the Council.
5. Work carried out during the making or altering of the bore shall be of a standard which conforms with good drilling practice.
6. The bore head casing and reticulation shall be suitably constructed and sealed to avoid ingress of floodwaters and other foreign matter.

7. The bore integrity shall be maintained at all times unless abandoned. If the well is abandoned, it shall be appropriately sealed / grouted and backfilled to prevent contaminants from entering the hole at any level.
8. There shall be either adequate facility and access for future vertical lowering of a 2 cm diameter electric plumb bob for the purpose of measuring water level, or a facility which allows pressure readings fitted in the manner prescribed by the Council.
9. There shall be adequate facility and access for future water quality sampling such as a hand operated tap/valve that is sourced from the direct pump outlet, before the reticulation encounters pressure tanks/reservoir/treatment plant. Where there is reticulation back pressure at the bore head, a one way valve shall be fitted for maximum efficiency and in that case, the water sampling point shall be on the bore pump side of the one way valve.
10. The bore shall be located not less than 30 metres across or up gradient from any existing or proposed septic tank outfall.

Issued at Dunedin this 27th day of April 2001

M E Weaver

Manager Consents

I r:\r2001\201-400\2001-260.doc

6 October 2021

Nicole Malpass
IP Solutions

Sent via email only: nicole@ipsolutions.nz

Dear Nicole,

ELECTRICITY SUPPLY AVAILABILITY FOR A PROPOSED DEVELOPMENT OF WORKERS ACCOMMODATION AND FARM SHEDS. 230 MOUNT BARKER ROAD, WANAKA. LOT 6 DP 305038.

Thank you for your inquiry outlining the above proposed development.

Subject to technical, legal and commercial requirements, Aurora Energy can make a Point of Supply¹ (PoS) available for this development.

Disclaimer

This letter confirms that a PoS can be made available. This letter does not imply that a PoS is available now, or that Aurora Energy will make a PoS available at its cost.

Next Steps

To arrange an electricity connection to the Aurora Energy network, a connection application will be required. General and technical requirements for electricity connections are contained in **Aurora Energy's** Network Connection Standard. Connection application forms and the Network Connection Standard are available from www.auroraenergy.co.nz.

Yours sincerely



Niel Frear

CUSTOMER INITIATED WORKS MANAGER

¹ Point of Supply is defined in section 2(3) of the Electricity Act 1993.

Chorus Property Development Team
PO Box 9405
Waikato Mail Centre
Hamilton 3240
Email: develop@chorus.co.nz



CHORUS

Chorus Ref #: WNK68172
Your Ref #:

Macdonald

14 October 2021

Dear Nicole Malpass

New Property Development Agreement:

WNK68172 : WNK: 230 Mount Barker Road, Wanaka, Queenstown-Lakes. 2 Building Platforms.

Thank you for choosing Chorus New Zealand Limited (Chorus) to connect your development. We will help you connect your new build ready and connected to some of the best broadband and voice services available in the world.

Please find attached your New Property Development Agreement and quote based on the scheme plans you have provided. This contract provides details of what we intend to do at your subdivision along with any actions that are your responsibility. We understand there's a lot of information to digest. We recommend you go through the contract with your lawyer if you are concerned about any parts of it.

Installation requirements

Based on your scheme plan, we don't consider we'll need to do any inside boundary work at your development.

If at a later date we become aware that inside boundary work is required (e.g. your development involves a Right of Way requiring materials other than the 20mm lead-in greenpipe), we'll let you know and paragraphs 10 to 12 of this agreement will apply.

To progress your subdivision with Chorus:

- Read, sign and complete the required details of the attached agreement to confirm that you accept the conditions and the quoted cost. The quote will expire 90 days from the date of issue. If this happens, you may need to reapply if you want to proceed with connecting your development.
- Once you have signed and sent us the agreement, please pay for your share of the build (\$5,484.55 incl. GST) within 30 days. You'll find all the options for payment on Page 2 of your contract.
- When we receive your completed agreement and payment, we will start the process to connect your subdivision to our network. Once your subdivision is connected, you (or the new occupants) will be able to place an order with their broadband or phone provider to get their services up and running.
- We will then ask you to provide your draft Land Title Plans. Once we receive the Land Title Plans we will be able to provide you with a clearance letter. This will include a date by which you (or the new occupants) can place an order with your broadband or phone provider to get your new telecommunications services up and running.

WNK68172

14 October 2021

SIMv1.1

Key responsibilities:

So it's clear who does what, we've outlined the jobs that you'll need to do, and what we need to do to get your subdivision connected. More detailed information can be found in your contract.

Jobs for you:

- Complete your subdivision in line with the scheme plan you provided. You'll need to notify us if anything has changed
- Provide us with your draft Land Title Plans when we ask for them
- Register an easement in our favour against the relevant Land Titles, if applicable
- Install 20mm lead-in greenpipe from our network at the boundary of the properties to the house(s), if applicable.

See Appendix A for useful guides.

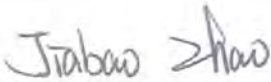
Jobs for Chorus:

- Design how to build our network to the boundary of your subdivision
- Build and install our network up to that boundary
- Update our records so the occupants can connect to our network through their broadband or phone provider
- Send you a clearance letter for your subdivision

If this is your first time building with us, you'll find a handy how-to-guide on the Chorus website which outlines the process and what you'll need to do [here](#).

If you have any queries, please don't hesitate to contact us on 0800 782 386, Opt 1. We look forward to working with you.

Regards



Boa Zhao
Property Development Coordinator

New Property Development Agreement

Development	WNK68172 : WNK: 230 Mount Barker Road, Wanaka, Queenstown-Lakes. 2 Buildings (2 Connections)		
Developer payment	\$5,484.55 (incl. GST)	Build type	COPPER
No. of connections	2	Partnership Agreement	NO
Developer anticipated Start Date	/ /	Developer anticipated Completion Date	/ /

Pre-built Fibre			
Pre-Built Fibre Offered	NO	Do you wish to Opt-out? (please circle)	Yes / No

Macdonald (**Developer**)

General and billing contact		Site contact*	
Name		Name	
Company		Company	
Phone		Phone	
Email		Email	
Address		Address	

**This is the contractor undertaking the trench work and installation of Materials on your behalf*

If you are not the legal owner of the land which you are developing, please provide the details of the legal owner below:

Contact Name			
Company & Address			
Email		Contact ph#	

In signing this agreement, I confirm I have seen, read, understood and accept the terms and conditions set out in this agreement for and on behalf of:

insert name of legal entity by its
authorised signatory:

CHORUS NEW ZEALAND LIMITED by its
authorised signatory:

Signature of authorised signatory

Signature of authorised signatory

Name of authorised signatory

Name of authorised signatory

Date

Date

1. Signing and payment

Before we start we need you, or your agent, to sign the agreement and return it to us, along with your payment. You can email the documents to develop@chorus.co.nz or post to:

Property Development Team
PO Box 9405
Hamilton 3200

Your payment of \$5,484.55 (incl. GST) is a contribution towards the cost of our design and build work to provide telecommunications and connect your subdivision to our network. You can pay using one of the methods below. Please include your Chorus reference number WNK68172 when making payment.

- Bank transfer: **03-0584-0256885-00 (Westpac)**
- Credit card (transaction fee applies) online at <https://payments.chorus.co.nz>

Please note: If you're not able to make payment within 30 days of signing the agreement, the agreement will be automatically cancelled unless we agree in writing at our complete discretion to extend the timeframe for payment. To restart the process you will need to reapply and we will create another agreement and update our quote.

2. Scheme Plan and Design Plan

- Your Scheme Plan relates to the entire overall Development and is part of this agreement. We use the Scheme Plan to create the Design Plan for the connection of your development to Chorus' network. The Design Plan takes precedence if there's any inconsistency between the two plans.
- You must let us know immediately in writing if you become aware of something which might give rise to a change in the Scheme Plan or the Design Plan and/or the scope of the Development. *[Note: Examples of changes which are relevant include changes in the number of connections or boundaries/road layouts.]*

3. Installation (Outside Boundary where no Materials provided)

Please note: We employ service companies to help us meet our obligations to you but that doesn't change our relationship with you as set out in this agreement.

- We will build our network to the boundary of the Development. Title and risk in all materials we use to build our network outside of the boundaries of the Development remains with us at all times.
- We will use reasonable endeavours to complete our obligations under this agreement by the Completion Date but we won't be liable to you for any failure to do so.
- You're responsible for installing 20mm lead-in greenpipe from the boundary of the Development to the relevant properties. *[Note: This is the duct which houses the copper or fibre used to connect the properties to our network].*

For information on the installation of 20mm lead-in greenpipe for an individual premise, please see www.chorus.co.nz/lead-in-guide.

- If you damage our network during preparatory work for this development or installation of the 20mm lead-in greenpipe, you will be liable to us for our reasonable costs of repairing that damage.
- Based on your scheme plan, we don't consider we'll need to do any inside boundary work at your subdivision. If at a later date we become aware that inside boundary work is required (e.g. your subdivision involves a Right of Way requiring materials other than the 20mm lead-in greenpipe), we'll let you know and paragraphs 10 to 12 of this agreement will apply.

4. Connection

- a. We'll connect the subdivision to our network, if all work is completed as outlined in this Agreement. This is not the individual houses being connected, only your subdivision as a whole connected at the boundary of your Development.

[Note: If we have notified you that inside boundary work is required and paragraphs 10 to 12 apply then connection to our network won't happen until installation of the Materials is completed.]

- b. We will try and align the timing of this work with your installation work at your Development. Our ability to complete our work is sometimes dependant on the progress you've made and we also have to co-ordinate with the relevant local authority. It may take up to 3 months from the Materials being installed to the subdivision being connected to the Chorus network.
- c. If you decide you need to change the scope of your subdivision at a later date (e.g. with more connections to our network, boundary changes or road layouts), please note the process under 'Changes and Cancellations' below.
- d. Other people might connect to our network by way of the network extension we build to connect your subdivision to our network. If that happens, you won't be entitled to any right of refund of the payment made by you to us as part of this subdivision.

5. Land Title Plans and Easements

- a. Once work is underway, we will request the draft Land Title Plans for the Development (i.e. a survey plan for the Development). The draft Land Title Plan must detail any easements required in our favour over the Development.
- b. If any of the 20mm lead-in greenpipe in your Development crosses land which isn't public road reserve vested in a local authority, then we'll need an easement from the owner of that land in our favour. An example of this type of land, known as private land, is any communal land within a subdivision like a right of way. The aim of an easement is to protect our access rights for any maintenance and/or upgrade needs.
- c. If easements are required, you'll also need to arrange for your lawyer to complete the following 2 forms which are available at the link below:
 - Authority and Instruction form; and
 - Chorus Easement Instrument form.

More information about easements are available at: www.chorus.co.nz/develop-with-chorus/easements. You'll also need to pay a processing fee which can be paid directly through the easement online portal or by invoice on request.

- d. You or your lawyer can upload these documents to choruseasements.chapmantripp.com, or contact choruseasements@chapmantripp.com for assistance, or post them to:

Chorus Easements
10 Customhouse Quay
PO Box 993
Wellington 6140

Once the correctly completed documents are received, we aim to have the easement document executed, scanned and emailed back to your lawyer within 7 Working Days.

- e. The "Easement in Gross" requirement may be waived in certain circumstances. If there is an existing easement and the completed subdivision will be made up of 3 lots or less, you can ask us to review the easement requirement. You'll need to get in touch with us directly via email (siteacquisition@chorus.co.nz) before we finalise the Design Plan. We'll let you know if we've agreed to waive the easement requirement.

6. Chorus Clearance Letter & Customer Connection

- a. Once we receive the draft Land Title Plan, we'll work towards issuing a Chorus Clearance Letter. You can pass this on to your relevant local authority to confirm the Development will be ready to be connected to our network from a prescribed future date. That date:

- reflects the date by which Chorus expects you to be able to order a telecommunications services at the Development; and
 - may be 3 months or more from the date this agreement was accepted.
- b. Once the build work is completed, your Development will be ready to be connect to the Chorus network. You or the new occupants will need to talk to a broadband or voice provider to get telecommunication services over our network. It's important you are in contact with them during the installation process so you understand their requirements.

7. Changes and Cancellation

- a. Any change to this agreement must be in writing and signed by both of us.
- b. If we think (acting reasonably) a Change Event has happened, we may require a change to the payment required by you under this agreement and/or the Completion Date. We may also suspend this agreement (in whole or in part) until the relevant change is agreed with you. A **Change Event** includes an event where:
- You haven't started to install the Materials within 12 months from the date of this agreement and this delay is not caused directly as a result of any act or omission by us; *[Note: This will be relevant only where we have notified you that inside boundary work is required and paragraphs 10 to 12 apply.]*
 - You have let us know there is something which might give rise to a change in the Scheme Plan or the Design Plan and/or the scope of the Development; and
 - Weather conditions or unforeseen physical conditions have caused delay or results in additional costs to us in doing what we need to do under this agreement.
- c. If we can't agree what change is required with you within 10 Working Days of us letting you know we think a change is needed, we may immediately cancel this agreement.
- d. If a Cancellation Event happens, we'll let you know in writing if we have:
- suspended this agreement until the event is resolved to our satisfaction (acting reasonably); or
 - cancelled (in whole or in part) this agreement with immediate effect.
- A **Cancellation Event** includes an event where:
- You fail to meet any of your material obligations under this agreement, and don't remedy that failure to our satisfaction (acting reasonably), within 30 days of written notice from us of the failure;
 - You fail to meet any of your material obligations under this agreement and this failure isn't capable of being remedied; or
 - You become bankrupt, go or are put into liquidation, have a receiver or statutory manager appointed over your assets or any of them, become insolvent, cease to carry on your business, make any composition or arrangement with your creditors, or are deemed or perceived unable to pay your debts when they fall due.
- e. Without limiting our other rights, where we cancel this agreement we'll keep any payments you've made to us but only to the extent required to cover our costs (whether directly or indirectly) up to the date the agreement is cancelled.
- f. We also may recover from you, by deducting from or set-off against any amount we may owe you, amounts for any damage, loss or cost (including legal costs) to us relating to the enforcement and/or the cancellation of this agreement.
- g. If you are in possession of any Materials that have not yet been installed at the date of cancellation, we'll need to recover these from you. *[Note: This will be relevant only where we have notified you that inside boundary work is required and paragraphs 10 to 12 apply.]*
- h. This agreement automatically expires on the 12 month anniversary of the date the Chorus Clearance Letter is issued by us.

- i. Paragraphs 3(b), 3(d), 7(e) to 7(g) (inclusive), 8(a) and (9) (and 10(b), 10(d), 11(g) and 12(c) if applicable) will survive cancellation or expiry of this agreement. Any special terms in Appendix B relating to Pre-Built Fibre (if applicable) will survive expiry of this agreement.

8. Health and Safety

- a. We both agree to:
- comply with, and make sure each of our contractors, personnel and representatives are aware of and comply with:
 - i. the health and safety obligations under this agreement; and
 - ii. any site specific safety plans developed for the Development.
 - provide and perform the services under this agreement in accordance with all relevant local and national standards, codes of practice or generally accepted practices applicable to the telecommunications and construction industries; and
 - co-operate, consult and co-ordinate with each other, and any other PCBU (as defined in the Health and Safety at Work Act 2015 (HSW Act)) who has a duty under the HSW Act in relation to the services provided under this agreement, to ensure each party can comply with its respective obligations under the HSW Act.
- b. During the term of this agreement, we both agree that we must each have documented, adequate and effective Health and Safety Management System (HSMS) to ensure we can comply with our respective health and safety related obligations under this agreement and at law. Either of us may reasonably request the opportunity to review the other's HSMS.

9. General

- a. The following defined terms are used in this agreement:

Completion Date means the developer anticipated completion date identified on the cover page of this agreement or another date which we agree with you (acting reasonably);

Design Plan means the plan prepared by us which outlines the Materials and architecture design to be installed at the Development;

Development means the wider development being undertaken by you at the location identified on the cover page of this Agreement.

Materials means the telecommunications infrastructure (including (without limitation) ducting, multi-ducting, cables, manholes and chambers) which, in our sole opinion and when installed properly, would enable us to connect our network to those properties within the Development as identified in the Design Plan; and

subdivision means the stage of the Development identified on the cover page of the agreement;

Working Day means any day other than a Saturday, Sunday or a statutory public holiday in New Zealand.

- b. Subject to paragraphs 9(c) and 9(d) below, Chorus' liability for all damages arising out of or in relation to this agreement, regardless of the form of action which imposes liability, whether in contract, equity, negligence or tort or otherwise, will be limited to and will not exceed \$100,000.
- c. The limitation in paragraph 9(b) above will not apply to any liability of a party arising out of:
- a breach of confidentiality or a party's health and safety obligations at law;
 - the fraud or wilful breach of this agreement by a party; or
 - failure to pay any amount due and owing under this Agreement.
- d. Notwithstanding paragraph 9(b) above, in no event will either party be liable for any:
- damages arising out of or in relation to this agreement to the extent such damages were contributed to by the default or negligence of the other party (or any of its related companies); or

- loss of income, profits, revenue, savings or any indirect, incidental, consequential, exemplary, punitive or special damages of any party, or any third party loss, even if the liable party has been advised of the possibility of such damages in advance.
- e. Neither of us is liable for any breach of our obligations under this agreement if that breach is the direct result of an event beyond our reasonable control and we have used all reasonable endeavours to mitigate as soon as practicable its breach under this agreement notwithstanding the relevant event.
- f. We'll each keep, and ensure any of our relevant subcontractors keeps, current at all times during the term of this agreement a policy of public risk insurance for an amount of not less than \$1,000,000.
- g. We'll each keep confidential, secure and not misuse any information we receives from the other in connection with or in relation to the subject matter of this agreement (including the agreement itself). The disclosure and use of confidential information by either of us is permitted to the extent required by law or to do what we need to do under this agreement. We'll each give the other prior written notice of any proposed disclosure. No written notice is required where confidential information is being disclosed by you to the contractor installing the Materials on your behalf or by us to our service companies.
- h. If one of us believes there is a dispute, we'll promptly let the other one know in writing, giving details of the dispute. If the dispute isn't resolved by our respective senior representatives within 20 Working Days of notice, we'll be entitled to promptly submit the dispute to arbitration. Pending resolution of a dispute, we'll each make all reasonable efforts to resolve the dispute promptly and in a way that minimises any impact on the performance of our obligations under the agreement. Nothing in this paragraph will prevent either of us from seeking urgent interlocutory or injunctive relief from the Court.
- i. You may not assign, novate or subcontract any of your rights or obligations under this agreement without our prior written consent (not be unreasonably withheld where the proposed assignee is able to comply at all times with the provisions of this agreement).
- j. Each notice or other communication given under, or in connection with this agreement will be made in writing, and sent by email to the email address of that party specified on the cover page of this agreement, or such other address or email address as is notified by that party to the other party. No notice or communication will be effective until received. Any notice sent to Chorus by email under this paragraph must also be sent to develop@chorus.co.nz.
- k. In the event that any personal information (as that term is defined in the Privacy Act 1993) about you is disclosed to us under or in relation to this agreement, the use, disclosure and security of, and your access to, that information, will be as set out in our privacy policy, which can be found at www.chorus.co.nz/privacy-policy.
- l. Each party accepts the other party's obligations under this agreement are provided for the purpose of a business, and to the extent allowed by law, every warranty and guarantee from one party to the other party implied by custom or law is excluded (including, without limitation, in relation to the Consumer Guarantees Act 1993 and the Fair Trading Act 1986).
- m. A waiver of any provision of this agreement will not be effective unless given in writing, and then it will be effective only to the extent that it is expressly stated to be given. A failure, delay or indulgence by either of us in exercising any power or right will not operate as a waiver of that power or right. A single exercise or partial exercise of any power or right will not preclude further exercises of that power or right or the exercise of any other power or right.
- n. Amendments to this agreement will only be effective if in writing and signed by both the parties.
- o. This agreement represents the entire agreement between us on the subject matter of the agreement and supersedes all prior negotiations, representations and agreements.
- p. This agreement may be executed in any number of counterparts. Once we've signed the counterparts and received a copy of the others counterpart, they will be deemed to be as valid and binding on us as if it had been executed by both of us.
- q. Each term in this agreement is separately binding. If for any reason either of us can't rely on any term then all the other terms remain binding.

- r. This agreement is governed by the laws of New Zealand. We both submit to the non-exclusive jurisdiction of the Courts of New Zealand.

[Note: Paragraphs 10 to 12 will apply only where we have notified you that inside boundary work is required and where we provide you with Materials]

10. Materials

Please note: The Materials are typically installed in a shared trench with the power as this is cost effective for your civils works – if this is what you intend to do, then the 4 week period for the creation of your Design Plan will be from when the date the proposed power design plans are supplied to us.

- a. We may need to order Materials before you are ready to collect them as we don't always hold these in stock. You need to:
 - Contact the service company, preferably, or email develop@chorus.co.nz at least 15 Working Days before you need them. We'll let you know the location of the depot, including their hours of operation.
 - Once we notify you that the Materials are ready, you will have 10 Working Days to collect them. Charges may apply for storage if not collected readily.
- b. Risk in the Materials will pass to you when you collect them. Risk remains with you until the earlier of:
 - expiry of the Defects Liability Period; and
 - the return or collection of the Materials by us upon early cancellation of the agreement.
- c. Title to all Materials remains with us at all times.
- d. As per our instructions, you'll need to make sure the Materials are kept in secure, waterproof storage up to the time you install them.

11. Installation (Inside boundary where Materials are provided)

Please note: We employ service companies to help us meet our obligations to you but that doesn't change our relationship with you as set out in this agreement.

- a. You're responsible for trenching - both the opening and backfill – as well as the laying of the required Materials and all installation costs. We need to be onsite during the installation to ensure you meet the Design Plan standards. Where the Scheme Plan identifies a proposed utility corridor, we'll always use this corridor in the Design Plan where possible (acting reasonably).
- b. The installation details will be set out in the Design Plan. We've supplied detailed physical installation instructions under the Lay Specifications in Appendix A at the end of this agreement. The contractor who's installing the Materials on your behalf will need to sign a copy of the instructions and promptly email or post this document to us at the addresses we provide to you.
- c. Before you start the installation, please ensure the berm levels are at their final levels, kerb lines are in place, final boundary positions are known and, in relation to separate trenching only, other underground services for the Development have been laid.
- d. Once the Design Plan is finalised, we'll supply to you the Materials required for installation.
- e. While you install the Materials, we need to be present to oversee this. We'll also undertake additional works so the Development meets the standard required for connection to our network, including jointing, testing and commissioning works.
- f. Installation of the Materials must be completed by the Completion Date. We may be able to extend the Completion Date if you're unable to finish the installation as a direct result of our failure to do something we were supposed to do under this agreement. The extension will be for the same amount of time you were delayed.
- g. We will use reasonable endeavours to complete our obligations under this agreement by the Completion Date but we won't be liable to you for any failure to do so.

12. Installation Completion

- a. Once installation is completed, you'll need to promptly provide us with an 'As Built' plan of the Materials as you've installed them at the Development. The 'As Built' information is required before we can provide the Chorus Clearance Letter required for your Council's 224c (see paragraph 6 below for more details). These must include:
- what Materials have been installed where;
 - the location of the Materials, both along the street and its offset measurement to permanent street features (e.g. survey pegs and kerb lines);
 - the location of the ends on the Materials (including road crossings); and
 - the depth of all of the Materials.

For more information on 'As Built' plans, please see www.chorus.co.nz/as-builts-checklist.

- b. During the Defects Liability Period, you are responsible for the maintenance and repair of trenches, sealings and washouts to protect the Materials and ensure their operation is not compromised in any way. We're entitled to charge you for any remedial work you ask us to do during the Defects Liability Period to meet your obligation in this regard. The Defects Liability Period runs from the date on which the Materials are collected by you until the 12 months anniversary of the date the Chorus Clearance Letter is issued by us.
- c. If you damage our network during installation of the Materials or any lead-ins for an individual premise (including, in each case, where you do preparatory works to get ready for this installation) the Defects Liability Period, you will be liable to us for our reasonable costs of repairing that damage.
- d. This agreement does not cover the installation of lead-ins which run from the boundary of the Development to the premise – below is the terminology used for copper and fibre:
- Copper: the building entry point (known as the External Termination Point or ETP);
 - Fibre: the portal at a premise where that premise connects to our network, including the Optical Network Terminal (ONT), ETP and any other Network Interface Device (NID).

For information on the installation of lead-ins for an individual premise, please see www.chorus.co.nz/lead-in-guide.

Appendix A – Lay Specifications: Helpful information

You can find all the generalised technical guides and lay specifications on our website here:
www.chorus.co.nz/develop-with-chorus

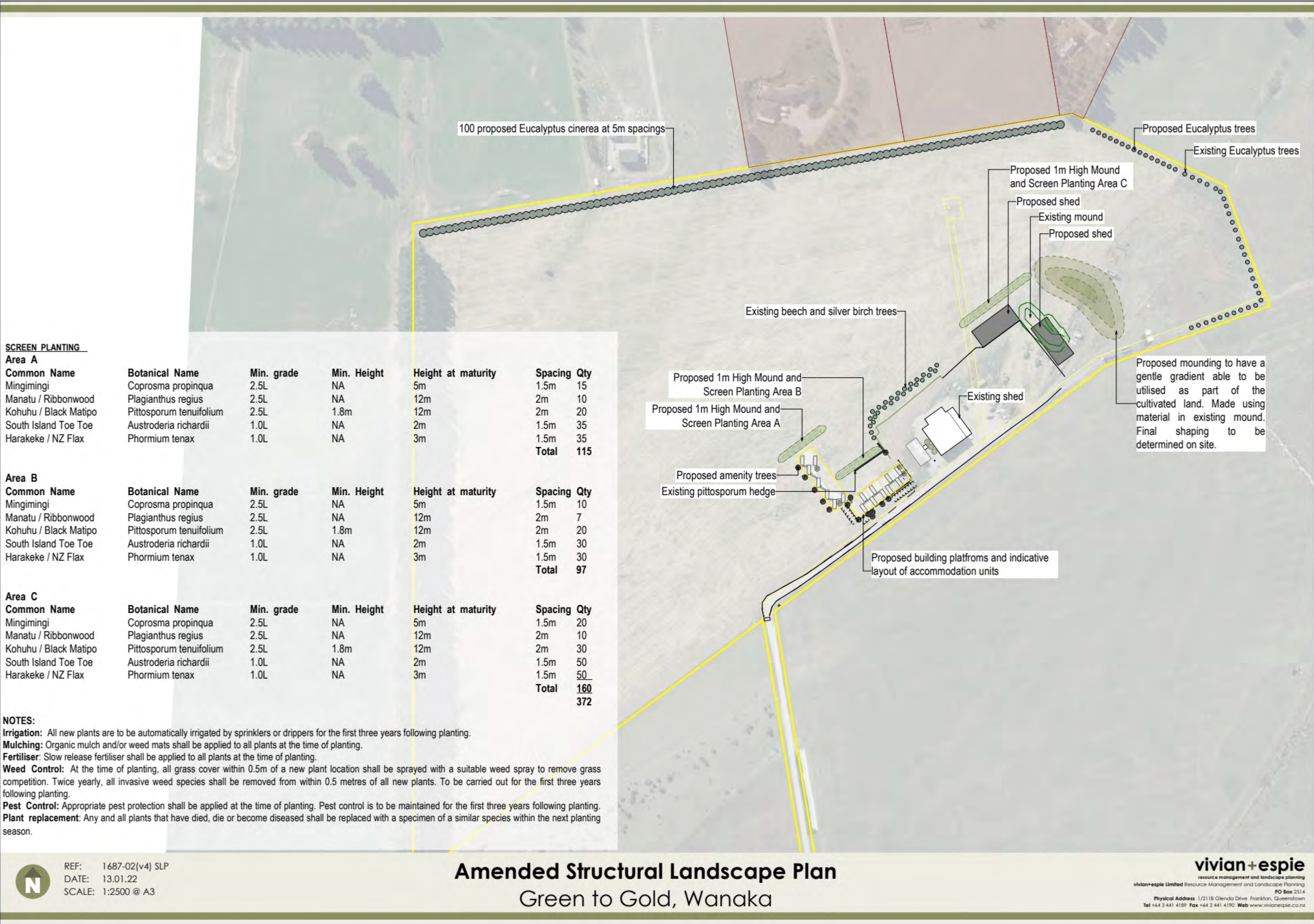
These guides are designed to help you and your contractors planning and building the inside boundary connections.

General Guidelines:

Lead-ins and Trenching: www.chorus.co.nz/lead-in-guide
Wiring Homes for Fibre: www.chorus.co.nz/wiring-homes-for-fibre
As Builts Checklist: www.chorus.co.nz/as-builts-checklist

For SDUs (Single-Dwelling Units), planned for fibre (ABF) or copper reticulation, see the below guidelines:

- **General Fibre Network Guidelines**
[UFB-Ready-Property-Guidelines-Vol-1-General-Fibre-Network-Guidelines](#)
- **Guidelines for SDUs and ROWs**
[UFB-Ready-Property-Guidelines-Vol-2-SDU-and-ROW-Greenfield-Development](#)
- **Premises Wiring Standards**
[UFB-Ready-Property-Guidelines-Vol-4-Premises-Wiring-Minimum](#)



REF: 1687-02(v4) SLP
DATE: 13.01.22
SCALE: 1:2500 @ A3

Amended Structural Landscape Plan

Green to Gold, Wanaka

vivian+espie

Resource management and landscape planning
vivian+espie Limited Resource Management and Landscape Planning
PO Box 2514
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LANDSCAPE AND VISUAL EFFECTS ASSESSMENT

PROPOSAL TO CREATE TWO SHEDS AND TWO
BUILDING PLATFORMS FOR WORKERS
ACCOMMODATION, ASSOCIATED WITH AN
EXISTING AGRICULTURAL CONTRACTING
BUSINESS AT 230 MOUNT BARKER ROAD

vivian+espie
resource management and landscape planning

INTRODUCTION & DESCRIPTION OF THE PROPOSAL

- 1 This report has been prepared to accompany a resource consent application on behalf of Green to Gold Limited. This report identifies and quantifies the landscape and visual effects likely to arise from the identification of two building platforms for staff accommodation, and two sheds for storing machinery associated with the existing agricultural contracting business located on LOT 6 DP 305038 (the site). The site is approximately 20.7ha in area and is currently being used as the base for the Green to Gold agricultural contracting business. The site is located at 230 Mount Barker Road, Wanaka.
- 2 The full details of the proposed activities are set out in the resource consent application. I set out the following summary points that are relevant to landscape considerations:
 - Two specifically designed sheds have been proposed to the east of the existing shed on site. Two building platforms have been proposed to the west of the existing shed to provide for accommodation.
 - The two open bay sheds will be 15m x 35m (total building footprint area of 525m²) and 6.6m high at the apex. The sheds are to be clad in grey friars colour steel with a matching roof. Each will have seven open bays in each shed facing into site.
 - The building platforms are to be a total area of 750m².
 - 16 self-contained units (to house the staff) are to be placed within the two building platforms. I understand a condition has been offered ensuring the units are recessive in colour.
 - Structural landscaping is proposed as per the Structural Landscape Plan attached as Appendix 2 to this report.

METHODOLOGY

- 1 The methodology for this assessment has been guided by:
 - The Te Tangi A Te Manu, Aotearoa New Zealand Landscape Assessment Guidelines¹.
 - The New Zealand Institute of Landscape Architects "Landscape Assessment and Sustainable Management" Practice Note².

¹ Te Tangi A Te Manu, Aotearoa New Zealand Landscape Assessment Guidelines, April 2021, New Zealand Institute of Landscape Architecture

² New Zealand Institute of Landscape Architects Education Foundation; 2010; Best Practice Note 10.1 'Landscape Assessment and Sustainable Management'.

- The landscape assessment guidance of the Quality Planning Resource³.
- The landscape-related provisions of the QLDC PDP (Decisions version)⁴.

- 2 When describing effects, I will use the hierarchy of adjectives given in the top row of the table below. The bottom row shows how the adjectives that I use can be related to specific wording within the RMA⁵.

very low	low	low-mod	moderate	mod-high	high	very high
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less than minor	minor	more than minor	significant
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EXISTING LANDSCAPE

Physical (collective natural and built components and processes)

- 3 The site sits relatively centrally between Wanaka and Luggate in the southern part of the Upper Clutha Basin. The topography of the Upper Clutha Basin on a broad scale is relatively flat, with large terraces associated with the Clutha, Hāwea and Cardrona rivers. The Upper Clutha Basin is enclosed by the Criffel Range to the south of the site, Mt Alpha to the west and the Grandview Mountains to the east. The mountains surrounding the basin retain a rugged, natural character. On the basin floor, the landscape character is somewhat rural, as much of the land is pastoral, grazed and/or retained as open space, with a scattering of rural living sites.
- 4 The site is a back section accessed off Mount Barker Road. It is bordered by the rural residential properties lining Ballantyne Road to the north, rural residential properties lining Mount Barker Road to the south, and a productive rural property to the west. The triangle between State Highway 6 (SH6) and Mount Barker Road comprises smaller rural landholdings that support some agricultural activities and rural living development. The land south of Mount Barker Road primarily comprises large stations, with farm bases and grazed paddocks located on the basin floor and larger back blocks extending into the high country (Lake McKay Station, Criffel Station and Criffel Deer Ltd). A pleasant rural character is evident to observers travelling along the roads encasing the site.
- 5 The site is one of nine 20-hectare lots created by subdivision resource consent RM980306. These nine 20-hectare lots form a triangle between Mount Barker Road and SH6. The subject site is located on the

³ <http://www.qualityplanning.org.nz/node/805>

⁴ Most relevantly, decisions [2019] NZEnvC 160, [2019] NZEnvC 205, [2019] NZEnvC 206 and [2021] NZEnvC 60.

⁵ Ibid, paragraphs 6.21 and 6.36 to 6.40.

western edge of this triangle. Many of these 20-hectare lots have a consented dwelling or building platform. The site itself functions as the base for an established agricultural contracting business (Green to Gold Limited). Machinery is stored outdoors on the site. The existing shed also houses machinery as well as a washroom/toilet facility, office, parts room and smoko room. The remainder of the site is to be retained as productive agricultural land.

Associative (intangible aspects that influence how places are perceived)

- 6 I am unaware of any cultural values associated with this land. The area is known for its agricultural history. As with many landscapes in the Queenstown Lakes District the wider landscape (particularly the mountains and rivers) is recognised for their aesthetic values.

Perceptual (both sensory experience and interpretation)

- 7 The site is within a section of the Upper Clutha Basin that has been extensively developed for rural living, despite being zoned Rural. The area surrounding the site is perceived as a relatively open rural landscape but not one that is particularly natural. Domestication is clearly visible through a number of residential buildings and exotic amenity trees scattered through the landscape. The 20ha lot size allows for the balance of each site to be retained for rural use and the open rural character is somewhat maintained. The rural living development along Ballantyne Road (to the north of the site) comprises smaller 4ha lots and is perceived as more residential in nature. Overall, the area of the Upper Clutha Basin in which the proposed development is located is largely rural living but retains a somewhat open, pastoral character.

RELEVANT STATUTORY CONTEXT

- 8 The site is within the Rural General Zone (RGZ) in the ODP and the Rural Zone (RZ) in the PDP. The site and its surroundings are within a Visual Amenity Landscape (VAL) of the RGZ and the Rural Character Landscape (RCL) of the RZ that takes in the large valley floor area of the Clutha Basin.
- 9 Part 2 of the PDP (Strategy) has been subject to QLDC Commissioner Decisions and Environment Court Appeals. The Environment Court has issued interim decisions on those appeals. Environment Court decisions have not yet been issued regarding Part 4 of the PDP (Rural Environment). No appeals seek to change the Rural Zoning. I therefore understand that considerable weight can be placed on the PDP, although some weight should be afforded to the ODP as a number of provisions within the Rural Zone have been appealed. For the purpose of this assessment, I have taken most guidance from the PDP provisions but have also given some consideration to the ODP.
- 10 In relation to visual amenity, the Objective 21.2.1 seeks to provide for a range of land uses while protecting, maintain and enhancing landscape. Associated policies 21.2.1.1 Enable farming activities while protecting, maintaining and enhancing the values of indigenous biodiversity, ecosystem services, recreational values, the landscape and surface of lakes and rivers and their margins.

- 11 The most current amendments to the provisions of Chapters 3 and 6 are annexed to interim decision of the Environment Court [2021] NZEnvC 60. Within RCLs, these provisions differentiate between development for the purposes of rural living and other development. The most relevant provisions from Chapter 3 are:

12 *STRATEGIC OBJECTIVES*

3.2.1.8 Diversification of land use in rural areas beyond traditional activities, including farming is enabled provided that:

...

- b. the landscape character of Rural Character Landscapes is maintained and their visual amenity values are maintained or enhanced;*

3.2.5.5 Within Rural Character Landscapes, adverse effects on landscape character and visual amenity values from subdivision or development are anticipated and effectively managed, through policies and rules, so that:

- a) a. landscape character is maintained; and*
b) b. visual amenity values are maintained or enhanced.

3.2.5.7 In Rural Character Landscapes of the Upper Clutha Basin:

- a) a. Priority Areas of Rural Zoned Rural Character Landscapes are identified; and*
b) b. associated landscape character and visual amenity values are identified.

13 *STRATEGIC POLICIES*

3.3.33 For Rural Character landscapes, identify landscape character to be maintained, and visual amenity values to be maintained or enhanced and related landscape capacity:

- a) for Priority Areas of the Upper Clutha Basin, in Schedule 21.23, in accordance with the values identification framework in SP3.3.XA and otherwise through the landscape assessment methodology in SP3.3.XB and through best practice landscape assessment methodology; and*
b) outside of identified Priority Areas, in accordance with the landscape assessment methodology in SP 3.3.XB and through best practice landscape assessment methodology; and

- c) *through associated District Plan rules setting measurable spatial or other limits, and related assessment matters, as to cumulative subdivision and development including as to location, quantity, density and design*⁶.

14 The most relevant provisions from Chapter 6 are:

6.3.4.1 Recognise that subdivision and development is unsuitable in many locations in Rural Character Landscapes and successful applications will need to be, on balance, consistent with the objectives and policies of the Plan.

6.3.4.4 Have particular regard to the potential adverse effects on landscape character and visual amenity values where further subdivision and development would constitute sprawl along roads.

6.3.4.5 Ensure incremental changes from subdivision and development do not degrade landscape quality or character, or important views as a result of activities associated with mitigation of the visual effects of proposed development such as screen planting, mounding and earthworks.

6.3.4.6 Avoid adverse effects on visual amenity from subdivision, use and development that:

- a) is highly visible from public places and other places which are frequented by members of the public generally (except any trail as defined in this Plan); or*
- b) forms the foreground for an Outstanding Natural Landscape or Outstanding Natural Feature when viewed from public roads.*

6.3.4.8 In the upper Clutha Basin, have regard to the adverse effects from subdivision and development on the open landscape character where it is open at present.

15 In summary in relation to the PDP:

- The QLDC decisions-version of the PDP (on which most weight should be placed) zones the relevant land as Rural Zone.
- In relation to the Rural Zone, the relevant area is also part of a RCL (and part of the site is within a Priority Area). The relevant provisions direct that:

⁶ Provisions are cited from Annexure 1 of Environment Court Decision [2021] NZEnvC 60.

- Landscape character is maintained and visual amenity values are maintained or enhanced;
- The relevant landscape character and visual amenity values should be identified through best practice landscape assessment methodology.
- Development that is highly visible from public places or that forms a foreground to an ONL view should not be allowed to have adverse effects.

ASSESSMENT OF LANDSCAPE AND VISUAL EFFECTS

- 16 In light of the above description of the existing landscape and the relevant statutory provisions, the relevant potential issues raised by the proposed building platforms, workers accommodation and additional sheds in this location are related to rural amenity values created by the open space, landscape, natural character and the potential degradation of these by an additional agricultural and residential development.

VISUAL CATCHMENT AND VIEWING AUDIENCES

- 17 Appendix 3 to this report is a plan of the context of the site on which relevant viewpoints are identified and Appendix 4 to this report contains photographs from these viewpoints. Relevant viewing audiences are:
- Mount Barker Road
 - From an approximately 700-metre-long stretch of SH6.
 - Intermittent views along Ballantyne Road.
 - From neighbouring properties

LANDSCAPE EFFECTS ASSESSMENT

- 18 The context of the site can be seen on Appendix 3 to this report. The site is the base for agricultural contracting business and the proposal is an extension to the existing contracting activity.
- 19 The PDP identifies the landscape of which the site is a part of, as being separate from the outstanding natural landscape (ONL) that takes in the Criffel and Pisa Ranges (pursuant to PDP Map 18). The PDP, therefore, categorises the relevant landscape as being of the Rural Character Landscape Category. While the ODP does not specifically categorise the relevant landscapes, several landscape assessment reports associated with all of the abovementioned resource consent applications have identified the landscape of which the site is a part as being a visual amenity landscape, being the;

"landscapes which wear a cloak of human activity much more obviously - pastoral (in the poetic and picturesque sense rather than the functional sense) or Arcadian landscapes with more houses and trees, greener (introduced) grasses and tend to be on the District's downlands, flats and terraces".⁷

- 20 I consider that the triangle comprising of the nine 20-hectare lots currently has an open, rural, agricultural type of landscape character, despite established dwellings being evident. Openness will decrease ever so slightly with the additional of buildings and as trees mature. However, the land tenure that has resulted from RM980306 somewhat belies the current appearance of this vicinity; the relevant triangle of land between Mount Barker Road and SH6 is in nine separate ownerships, each lot potentially able to be treated quite differently from the others.
- 21 The PDP states that *'the purpose of the Rural Zone is to enable farming activities and provide for appropriate other activities that rely on rural resources while protecting, maintaining and enhancing landscape values, ecosystem services, nature conservation values, the soil and water resource and rural amenity.'*⁸ Facilities that provide for the harvesting and processing of agricultural produce are an expected and integral part of the rural landscape. The landscape that surrounds the site is a somewhat unique rural area in that the primary land use is rural living rather than productive agriculture or associated activities. However, the larger lot size of the rural lots (particularly to the south of the site) allows for some productive agriculture to take place. The buildings associated with the proposed agricultural contracting business are consistent with the intended land use of the Rural Zone and the building platforms are in keeping with the residential character of the surrounding landscape, albeit that the workers accommodation will have a more utilitarian character than the dwellings on surrounding properties.
- 22 Overall, the development will result in a slight decrease in openness of the site, however the clustering of the buildings ensures much of the site will be retained as open productive agricultural land. Additionally, agricultural contracting businesses are integral to the success of productive rural properties in the wider region, and buildings associated with the agricultural contracting business are in line with the intended character of the Rural Zone despite the surrounding area having been developed for primarily residential purposes. The residential element is also anticipated by the underlying consent that created the nine 20ha lots between Mount Barker Road and SH6. The utilitarian nature of the workers accommodation is not entirely unexpected in the rural zone, several instances of functional rather than aesthetic accommodation can be seen throughout the district including shearers quarters or singles man quarters. As such, the overall effect on the rural character is considered to be low at most, the purpose of application being to enable ongoing agricultural harvesting and associated activities.

⁷ Queenstown Lakes Operative District Plan, Section 4.2.4(3).

⁸ Queenstown Lakes Proposed District Plan, Section 21.1.

VISUAL EFFECTS ASSESSMENT

23 Visual effects are:

“the effects of change and development on the views available to people and their visual amenity. The concern here is with assessing how the surroundings of individuals or groups of people may be specifically affected by changes in the content and character of views as a result of the change or loss of existing elements of the landscape and/or introduction of new elements”.⁹

Mount Barker Road

- 24 The site is setback more than 500m from Mount Barker Road and at a lower elevation. As such, as one bypasses the subject site, views of the property are obscured by the topography. The location of the proposed building platforms and shed are at the base of a slope, ensuring the buildings are not visible from Mount Barker Road. There will be no effect on views or visual amenity from Mount Barker Road.

State Highway 6

- 25 The stretch of SH6 from which views to the proposed activities can potentially be gained is highlighted on Appendix 3. When travelling east, visibility is first gained once past the cluster of rural living dwellings at the intersection of Ballantyne Road and continues until the screening effect of the escarpment associated with the water race as well as the trees around the Wood property takes hold. From this stretch of SH6, current views are dominated by open pasture to the south of the road, backed by the northern slopes of the Criffel and Pisa Ranges. Mature lines and stands of trees are apparent on the flat pastureland in the vicinity of Criffel Station and increasingly mature trees are evident on the Wood property. The overall scene is agricultural and rural, but a number of dwellings and rural buildings are apparent.
- 26 The existing shed and outdoor storage associated with the rural contracting business can be seen along the short stretch of SH6. Agricultural activities such as contractors' yards are expected in a rural environment as they are vital to running of a productive farming operation. The shed is recessive in colour and rural in nature, it appears in keeping with the rural landscape in which it sits, as does the agricultural contracting equipment. Additionally, proposed buildings will be in keeping with the rural recessive nature of the existing shed on the site.
- 27 With reference to the Structural Landscape Plan in Appendix 2, trees have been planted along the eastern boundary of the site, between the proposed development and SH6. It is proposed that the machinery that is currently stored outdoors is to be moved into the additional shed and the machinery associated with the

⁹ Landscape Institute and Institute of Environmental Management and Assessment Guidelines for Landscape and Visual Impact Assessment (3rd ed, Routledge, Oxford, 2013) at paragraph 6.1 and Glossary.

business will be visually contained, resulting in a more visually cohesive rural landscape. The proposed building platforms will be screened by the existing and proposed sheds on the site when viewed from SH6.

28 I consider that the situation described above, is entirely appropriate in terms of views and visual amenity. The visual amenity of a SH6 user would remain high and would not be degraded. Additional trees would be visible at some distance across an open pasture foreground. The proposed buildings that will be visible are recessive and utilitarian in nature and appropriate in the rural environment. The residential element of the site that is somewhat unanticipated in a rural area will be screened by the more rural structures on the site.

29 At the closest point, a SH6 user is at least 500m from the proposed buildings. I consider that even if we consider the trees shown on Structural Landscape Plan as being newly planted, the proposed buildings, while an additional visible element of human modification, will not be visually prominent and will not significantly alter the type of visual amenity that a SH6 user enjoys. While I consider the proposed sheds appropriate in nature and form, the scale is larger than that anticipated in the rural general zone and the close proximity of the sheds will lead to an adverse visual effect on the openness of views and rural amenity that can best be described as low. This effect will reduce in degree as trees mature.

30 Again, the visual effect of open but productive land use would be apparent, domesticity would be hidden, and a line of rural trees would be evident. I consider that this outcome accords with its context and with the outcomes promoted by the ODP and PDP in relation to non-ONL landscapes.

Neighbouring properties

31 I understand that the applicant has received affected party approval from several neighbouring properties. Therefore, I have not considered the visual effects of the proposal on these neighbours. Neighbouring properties are labelled in Appendix 3, and I understand that APAs have not been obtained from 662 Ballantyne Road, 672 Ballantyne Road And 226 Mount Barker Road. As such, the visual assessment will focus on effects from these three properties.

32 662 Ballantyne Road and 672 Ballantyne Road are 4ha rural residential properties to the north of the site. The houses and outdoor areas on both properties are oriented to the north and therefore face away from the site. The proposed development will be visible from these properties but will not be located in prominent viewshafts from the existing dwellings. Additionally, planting is proposed along the northern boundary of the subject site to soften views from these properties towards the site.

33 226 Mount Barker Road is a 20ha rural living lot to the south of the site. As can be seen on Appendix 3, the dwelling that is consented for this property (RM181474) is located on a flat terrace that sits approximately 5m above proposed development, with domestication setback approximately 200m from the top of the slope that separates the upper and lower terraces. Photograph 3 of Appendix 4 is taken from within the site looking towards 226 Mount Barker Road. The photograph illustrates the change in topography between the two sites. From the dwelling and outdoor living area on the neighbouring property,

the upper reaches of the proposed sheds may be visible, while future residential buildings within the proposed building platforms that are a lower height are likely to be screened by topography. The development will be fully visible from northern parts of the neighbouring property, particularly near the edge of the terrace. This part of the neighbouring property is retained as open pastoral land and is less likely to be frequented by occupiers. Additionally, rural and some residential development is not entirely unexpected in the rural zone.

- 34 Overall, the proposed buildings will be visible from the three neighbouring sites but will not be located in prominent viewshafts. Given the recessive nature of the buildings and the proposed structural landscaping it is anticipated that the proposed buildings will not be visually prominent from inhabited areas. The views and visual amenity of nearby neighbours (where affected party approval has not been obtained) will be affected to a very low degree. The proposed built form is to be located where it is most visually inconspicuous and screened by topography, to limit views from 226 Mount Barker Road. The proposed built form is to be located behind the existing dwellings at 662 Ballantyne Road and 226 Ballantyne Road, well away from prominent views to the north from the dwellings and outdoor living area. The subject site will contribute to an increasingly treed character through the implementation of the proposed structural landscape plan, which will enable visual screening of the proposed activities from surrounding roads as well as from adjacent properties. Overall, the degree of adverse effects on views and visual amenity from neighbouring properties will be very low at most.

SUMMARY REGARDING EFFECTS ON VIEWS AND VISUAL AMENITY

- 35 The site will be visible from short stretches of public road and neighbouring sites. In relation to users of SH6; views are relatively distant, and the proposed built form will be less prominent than existing built form on the properties between the SH6 and the subject site. Ballantyne Road will also allow some visibility. In the short term, before proposed trees reach a level of maturity, the proposed sheds will be readily visible but from at least 500 metres distance. The development will also be visible from neighbouring properties but will not sit within any prominent viewshafts. The proposed development will add more human modification to the rural scene and will result in a very low degree of effect. In the longer term, proposed vegetation will reduce this further.

CONCLUSION AND RECOMMENDATIONS AND EVALUATION AGAINST RELEVANT STAUTORY CONTEXT

- 36 The proposal will result in additional sheds associated with an agricultural contracting business and human occupation in the form of agricultural workers accommodation on one of nine 20 hectare lots created by RM980306. Several of these lots already accommodate consented dwellings and associated use. Despite these dwellings, the relevant vicinity currently has an open paddock-land character, albeit increasingly treed. However, this is complicated by the fact that it is in nine separate ownerships, and, over time, its current appearance may change.

- 37 The landscape character effects of the current proposal are essentially cumulative effects; an additional instance of rural activity and associated residential workers accommodation land use will appear. On a continuum of landscape character, the current proposal will move the relevant vicinity further away from a natural character and more towards a human-modified, human-occupied character, but one that is rural in nature. A number of mitigating factors are relevant; most importantly, the site is immediately adjacent to several other sites that support rural living and within the rural zone, therefore the proposed activities are not entirely discordant with current character; they are to facilitate ongoing agricultural activity. Additionally, a landscape treatment for the site is proposed that will maintain most of the site in an open productive land use while implementing considerable tree planting. Overall, the addition of the activities to the vicinity will amount to a cumulative effect on landscape character of a relatively slight degree.
- 38 In relation to views and visual amenity, the nearby neighbour to the south will be affected to a very low degree; and the properties to the immediate north of the site will be affected to a very low degree initially and reducing to a very slight effect long-term. For observers on SH6, the proposed activities will not be visually prominent even in the short term. In the long term they will be considerably screened by vegetation. In the short term, the proposed residential activity and sheds will be fleetingly visible from a stretch of Ballantyne Road. The short stretch of visibility from Ballantyne Road will contain far more prominent dwellings in view and the proposal will only slightly detract from the amenity. The development will appear as a rural activity that sits behind an existing strip of highly visible, rural living sites. In the longer term, proposed vegetation will reduce this visual effect to a very low degree at most.
- 39 Overall, I consider the proposed development will have no more than a low degree of adverse effects on the landscape character and on the visual amenity experienced by users of the surrounding public and private places. The proposed activities will be appropriately absorbed into this existing part of the Upper Clutha Basin, which has a rural living character, and will sit comfortably within the relevant objectives, policies and assessment matters in the PDP.

Jess McKenzie

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20 August 2021

Reviewed by Ben Espie

APPENDIX 1: EVALUATION AGAINST RELEVANT STATUTORY CONTEXT		
QUEENSTOWN LAKES PROPOSED DISTRICT PLAN ASSESSMENT MATTERS RELATING TO ACTIVITIES IN A RURAL CHARACTER LANDSCAPE		
HEADING	ASSESSMENT MATTERS	ASSESSED AFFECTS
21.21.2.1	<p>Existing vegetation that:</p> <ul style="list-style-type: none"> a. was either planted after, or, self seeded and less than 1 metre in height at 28 September 2002; and, b. obstructs or substantially interferes with views of the proposed development from roads or other public places, shall not be considered: <ul style="list-style-type: none"> i. as beneficial under any of the following assessment matters unless the Council considers the vegetation (or some of it) is appropriate for the location in the context of the proposed development; and ii. as part of the permitted baseline 	No existing vegetation that obstructs views from the road is considered beneficial in terms of mitigation.
21.21.2.2 Effects on landscape quality and character	The following shall be taken into account:	
	a. where the site is adjacent to an Outstanding Natural Feature or Landscape, whether and the extent to which the proposed development will adversely affect the quality and character of the adjacent Outstanding Natural Feature or Landscape;	The site is not adjacent to a ONF or ONL. The Mount Barker ONF is located approximately 1.9km southwest of the site and the ONL that encompasses the Criffel Range begins approximately 2km south of the site.
	b. whether and the extent to which the scale and nature of the proposed development will degrade the quality and character of the surrounding Rural Character Landscape;	The proposal is for two 750m ² building platforms and two sheds to allow for the expansion of the contracting business and workers accommodation on the site. Residential building platforms in the surrounding area are generally of a similar scale. The proposed sheds and workers accommodation are ancillary to the functioning of the agricultural contracting business. The development sits within a triangle of large-scale rural living development that

		retains a relatively rural character. However, the proposal is to serve a slightly different purpose that the rural living development surrounding the site.
	c. whether the design and any landscaping would be compatible with or would enhance the quality and character of the Rural Character Landscape	<p>The proposed structural landscaping is consistent with the rural landscape, both in form and species choice, with shelterbelts and boundary planting throughout the site and the wider rural zone.</p> <p>The proposed sheds are perhaps larger than those anticipated for general rural use. However, they are recessive and rural in nature, such that they are not conspicuous or visually prominent in a rural setting.</p> <p>Residential buildings associated with rural activities are anticipated in the rural zone. Although, not necessarily residential developments of this scale or form. The proposed development is multiple small residential units rather than a large single dwelling that is typical in the rural zone. Despite this, the proposal is not inconsistent with the character of the rural environment in the Queenstown Lakes District. It is not uncommon for several staff members to reside on a single rural property.</p>
21.21.2.3 Effects on visual amenity	Whether the development will result in a loss of the visual amenity of the Rural Character Landscape, having regard to whether and the extent to which:	
	a. the visual prominence of the proposed development from any public places will reduce the visual amenity of the Rural Character Landscape. In the case of proposed development which is visible from unformed legal roads, regard shall be had to the frequency and intensity of the present use and, the practicalities and likelihood of potential use of these unformed legal roads as access;	Glimpses of the development will be visible from public road including SH6 and Ballantyne Road. The current views towards the site from SH6 comprise a mix of open paddocks, shelter belts, domestic and rural buildings, and amenity planting. The proposed sheds and building platforms will be setback over 500m from the SH6 with a buffer of open space and structural landscaping inbetween. As discussed above, the sheds are to be recessive and rural in nature and will not be visually prominent within the landscape. The sheds will screen the residential building platforms and domestication will not be visible from SH6. The development will also be visible in the peripheral view of users of Ballantyne Road. The proposed development is setback more than 400m from Ballantyne Road with a buffer of rural residential development separating the road and the site. Structural landscaping is proposed along the northern boundary of the site to soften views towards the built form.
	b. the proposed development is likely to be visually prominent such that it detracts from private views;	<p>I understand Affected Party Approvals have been obtained from the majority of the neighbouring properties (details can be found in the application).</p> <p>Structural landscaping is proposed along the northern boundary to soften views of the rural residential, properties to the north. It is noted that these dwellings are generally orientated to the face in a north and the dwellings and outdoor areas generally face away from the proposed development.</p>

		The topography and proposed structural landscaping will also soften views from properties to the south. The proposed structures are at the base of a slope, therefore, the topography provides considerable screening.
	c. any screening or other mitigation by any proposed method such as earthworks and/or new planting will detract from or obstruct views of the Rural Character Landscape from both public and private locations;	Planting and earthworks are proposed to screen and soften views towards the development. The mounding will be a gradual gradient and will tie in with the existing varied topography of the site and its vicinity. The proposed structural landscaping is also in keeping with linear shelterbelts and boundary planting seen throughout the rural areas of the Queenstown Lakes District. Neither the earthworks of the planting will detract from or obstruct views of the rural character.
	d. the proposed development is enclosed by any confining elements of topography and/or vegetation and the ability of these elements to reduce visibility from public and private locations;	The site sits with a natural depression in the landscape with terraces rising to the south and a gentle incline to the north of the site. The existing topography of the provides considerable screening, particularly from Mount Barker Road and the rural living sites adjacent to it.
	e. any proposed roads, boundaries and associated planting, lighting, earthworks and landscaping will reduce visual amenity, with particular regard to elements which are inconsistent with the existing natural topography and patterns;	No additional road or boundaries are proposed as part of this proposal.
	f. boundaries follow, wherever reasonably possible and practicable, the natural lines of the landscape or landscape units.	No new boundaries are proposed.
21.21.2.4 Design and density of development	In considering the appropriateness of the design and density of the proposed development, whether and to what extent:	
	a. opportunity has been taken to aggregate built development to utilise common access ways including roads, pedestrian linkages, services and open space (i.e. open space held in one title whether jointly or otherwise);	The development is unique in that it is a commercial business that services the rural community with a base in the rural zone. Pedestrian linkages are not relevant to the proposal and the majority of the site will be retained as open rural land. All built form is confined to a small part of the site and accessed via one access road.
	b. there is merit in clustering the proposed building(s) or building platform(s) having regard to the overall density and intensity of the proposed development and whether this would exceed the ability of the landscape to absorb change;	As discussed above, all built form is confined to a small part of the site with the remainder of the site remaining open rural land, that can continue being used for productive agriculture such as growing crops for hay or silage.

	c. development, including access, is located within the parts of the site where they will be least visible from public and private locations;	The site itself is relatively flat but has gentle rolling topography and the proposed sheds and building platforms are located at a low point in the landscape to reduce visibility. The proposed building platforms are located behind the existing shed when viewed from SH6 and will not be seen by road users.
	d. development, including access, is located in the parts of the site where they will have the least impact on landscape character.	The character of the site will remain very largely rural. The proposed buildings and platforms are confined to a small area of the site ensuring the remained of the site is retained as open, productive rural landscape. The sheds are rural in nature and will not be particularly conspicuous in a rural setting despite their size. The proposed building platforms are located behind the sheds and structural landscaping, that is in keeping with planting in the rural zone, and is proposed to ensure the rural character of the site is maintained.
21.21.2.5 Tangata Whenua, biodiversity and geological values:	a. whether and to what extent the proposed development will degrade Tangata Whenua values including Tōpuni or nohoanga, indigenous biodiversity, geological or geomorphological values or features and, the positive effects any proposed or existing protection or regeneration of these values or features will have.	I have no knowledge of Tangata Whenua cultural and spiritual values or other heritage values associated with the site.
21.21.2.6 Cumulative effects of development on the landscape:	Taking into account whether and to what extent any existing, consented or permitted development (including unimplemented but existing resource consent or zoning) has degraded landscape quality, character, and visual amenity values. The Council shall be satisfied;	
	a. the proposed development will not further degrade landscape quality, character and visual amenity values, with particular regard to situations that would result in a loss of valued quality, character and openness due to the prevalence of residential or non-farming activity within the Rural Landscape.	The site is within a triangle of nine 20-hectare rural living sites. At the time of the consent being granted it was anticipated that each would eventually be developed for rural living. As such, the rural landscape in the vicinity of the site comprises several instances of rural living development characterised by domestic activity surrounded by paddocks large enough for productive agricultural activities.
	b. where in the case resource consent may be granted to the proposed development but it represents a threshold to which the landscape could absorb any further development, whether any further cumulative adverse effects would be avoided by way of imposing a covenant, consent notice or other legal instrument that maintains open space.	No covenants, consent notices or other legal instruments are proposed.

QUEENSTOWN LAKES PROPOSED DISTRICT PLAN ASSESSMENT MATTERS 21.21.3 OTHER FACTORS AND POSITIVE EFFECTS, APPLICABLE IN ALL THE LANDSCAPE CATEGORIES (ONF, ONL AND RCL)		
HEADING	ASSESSMENT MATTERS	ASSESSED AFFECTS
21.21.3.1	In the case of a proposed residential activity or specific development, whether a specific building design, rather than nominating a building platform, helps demonstrate whether the proposed development is appropriate	A specific design has been submitted for the sheds. In terms of residential development, each unit is a specific design, and a potential layout plan has been submitted with the application. To demonstrate the units can be positioned in a way that the development will not appear overly utilitarian and compromise the existing relatively rural aesthetic.
21.21.3.2	Other than where the proposed development is a subdivision and/or residential activity, whether the proposed development, including any buildings and the activity itself, are consistent with rural activities or the rural resource and would maintain or enhance the quality and character of the landscape.	The proposed activity is a rural contracting activity. All buildings are important to the day to day running of a business that provides a service that is vital to successful agricultural practises in the rural zone.
21.21.3.3	In considering whether there are any positive effects in relation to the proposed development, or remedying or mitigating the continuing adverse effects of past subdivision or development, the Council shall take the following matters into account:	
	a. whether the proposed subdivision or development provides an opportunity to protect the landscape from further development and may include open space covenants or esplanade reserves;	No open space covenants or esplanade reserves are proposed.
	b. whether the proposed subdivision or development would enhance the character of the landscape, or protects and enhances indigenous biodiversity values, in particular the habitat of any threatened species, or land environment identified as chronically or acutely threatened on the Land Environments New Zealand (LENZ) threatened environment status;	The proposed development would support a business that is integral to successful agriculture in the Queenstown Lakes District. Enabling this development helps ensure the productive agricultural properties that make up much of the bucolic rural zone have access to rural contracting services.
	c. any positive effects including environmental compensation, easements for public access such as walking, cycling or bridleways or access to lakes, rivers or conservation areas;	No compensation is proposed.

	d. any opportunities to retire marginal farming land and revert it to indigenous vegetation;	No farmland is to be retired and reverted to indigenous vegetation.
	e. where adverse effects cannot be avoided, mitigated or remedied, the merits of any compensation;	Adverse effects are to be avoided, mitigated and remedied.
	f. whether the proposed development assists in retaining the land use in low intensity farming where that activity maintains the valued landscape character.	The development assists in a large part of the site being retained as productive agricultural land.

APPENDIX 1: EVALUATION AGAINST RELEVANT STATUTORY CONTEXT		
QUEENSTOWN LAKES PROPOSED DISTRICT PLAN ASSESSMENT MATTERS RELATING TO ACTIVITIES IN A RURAL CHARACTER LANDSCAPE		
HEADING	ASSESSMENT MATTERS	ASSESSED AFFECTS
21.21.2.1	<p>Existing vegetation that:</p> <ul style="list-style-type: none"> a. was either planted after, or, self seeded and less than 1 metre in height at 28 September 2002; and, b. obstructs or substantially interferes with views of the proposed development from roads or other public places, shall not be considered: <ul style="list-style-type: none"> i. as beneficial under any of the following assessment matters unless the Council considers the vegetation (or some of it) is appropriate for the location in the context of the proposed development; and ii. as part of the permitted baseline 	No existing vegetation that obstructs views from the road is considered beneficial in terms of mitigation.
21.21.2.2 Effects on landscape quality and character	The following shall be taken into account:	
	a. where the site is adjacent to an Outstanding Natural Feature or Landscape, whether and the extent to which the proposed development will adversely affect the quality and character of the adjacent Outstanding Natural Feature or Landscape;	The site is not adjacent to a ONF or ONL. The Mount Barker ONF is located approximately 1.9km southwest of the site and the ONL that encompasses the Criffel Range begins approximately 2km south of the site.
	b. whether and the extent to which the scale and nature of the proposed development will degrade the quality and character of the surrounding Rural Character Landscape;	The proposal is for two 750m ² building platforms and two sheds to allow for the expansion of the contracting business and workers accommodation on the site. Residential building platforms in the surrounding area are generally of a similar scale. The proposed sheds and workers accommodation are ancillary to the functioning of the agricultural contracting business. The development sits within a triangle of large-scale rural living development that

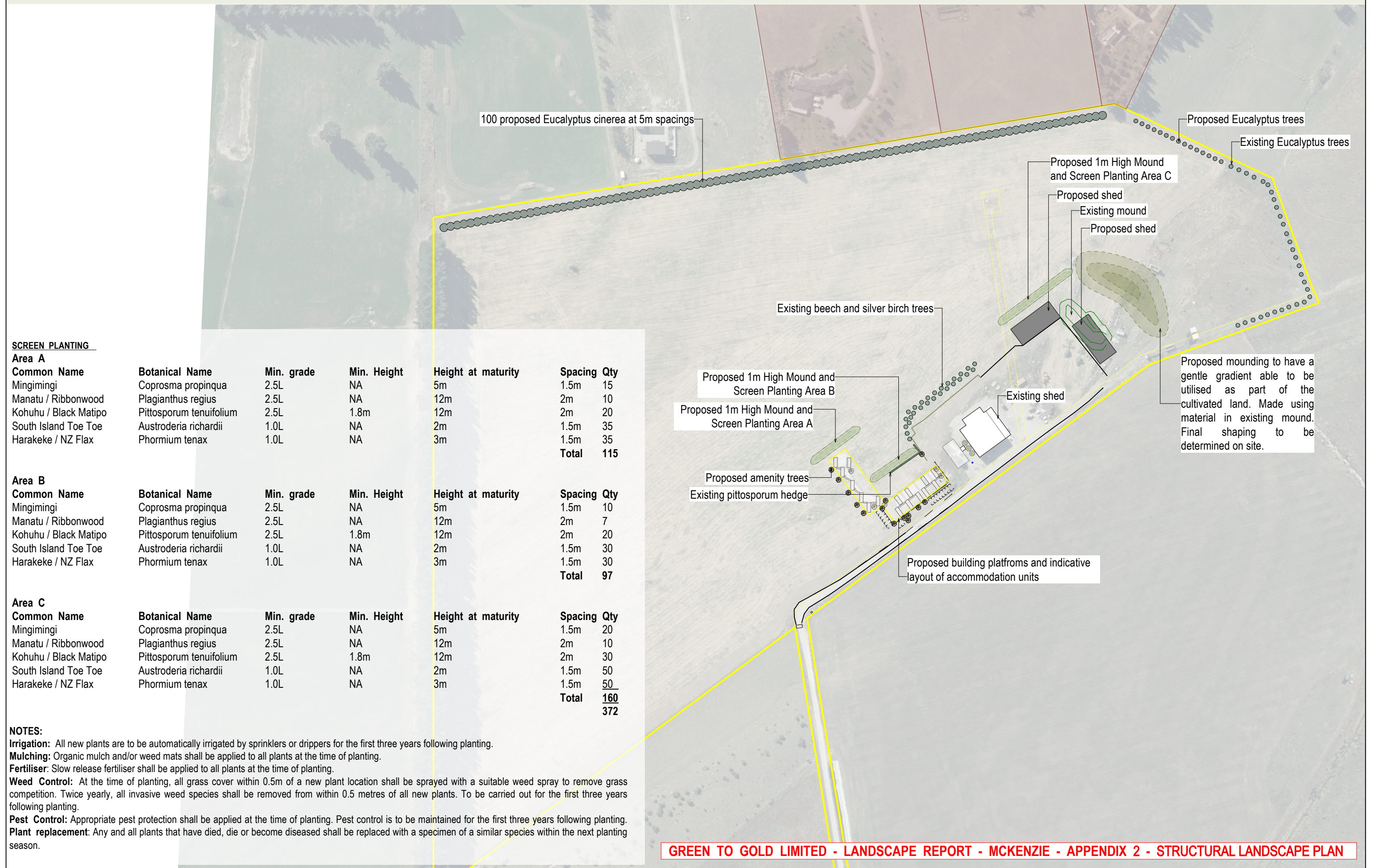
		retains a relatively rural character. However, the proposal is to serve a slightly different purpose that the rural living development surrounding the site.
	c. whether the design and any landscaping would be compatible with or would enhance the quality and character of the Rural Character Landscape	<p>The proposed structural landscaping is consistent with the rural landscape, both in form and species choice, with shelterbelts and boundary planting throughout the site and the wider rural zone.</p> <p>The proposed sheds are perhaps larger than those anticipated for general rural use. However, they are recessive and rural in nature, such that they are not conspicuous or visually prominent in a rural setting.</p> <p>Residential buildings associated with rural activities are anticipated in the rural zone. Although, not necessarily residential developments of this scale or form. The proposed development is multiple small residential units rather than a large single dwelling that is typical in the rural zone. Despite this, the proposal is not inconsistent with the character of the rural environment in the Queenstown Lakes District. It is not uncommon for several staff members to reside on a single rural property.</p>
21.21.2.3 Effects on visual amenity	Whether the development will result in a loss of the visual amenity of the Rural Character Landscape, having regard to whether and the extent to which:	
	a. the visual prominence of the proposed development from any public places will reduce the visual amenity of the Rural Character Landscape. In the case of proposed development which is visible from unformed legal roads, regard shall be had to the frequency and intensity of the present use and, the practicalities and likelihood of potential use of these unformed legal roads as access;	Glimpses of the development will be visible from public road including SH6 and Ballantyne Road. The current views towards the site from SH6 comprise a mix of open paddocks, shelter belts, domestic and rural buildings, and amenity planting. The proposed sheds and building platforms will be setback over 500m from the SH6 with a buffer of open space and structural landscaping inbetween. As discussed above, the sheds are to be recessive and rural in nature and will not be visually prominent within the landscape. The sheds will screen the residential building platforms and domestication will not be visible from SH6. The development will also be visible in the peripheral view of users of Ballantyne Road. The proposed development is setback more than 400m from Ballantyne Road with a buffer of rural residential development separating the road and the site. Structural landscaping is proposed along the northern boundary of the site to soften views towards the built form.
	b. the proposed development is likely to be visually prominent such that it detracts from private views;	<p>I understand Affected Party Approvals have been obtained from the majority of the neighbouring properties (details can be found in the application).</p> <p>Structural landscaping is proposed along the northern boundary to soften views of the rural residential, properties to the north. It is noted that these dwellings are generally orientated to the face in a north and the dwellings and outdoor areas generally face away from the proposed development.</p>

		The topography and proposed structural landscaping will also soften views from properties to the south. The proposed structures are at the base of a slope, therefore, the topography provides considerable screening.
	c. any screening or other mitigation by any proposed method such as earthworks and/or new planting will detract from or obstruct views of the Rural Character Landscape from both public and private locations;	Planting and earthworks are proposed to screen and soften views towards the development. The mounding will be a gradual gradient and will tie in with the existing varied topography of the site and its vicinity. The proposed structural landscaping is also in keeping with linear shelterbelts and boundary planting seen throughout the rural areas of the Queenstown Lakes District. Neither the earthworks of the planting will detract from or obstruct views of the rural character.
	d. the proposed development is enclosed by any confining elements of topography and/or vegetation and the ability of these elements to reduce visibility from public and private locations;	The site sits with a natural depression in the landscape with terraces rising to the south and a gentle incline to the north of the site. The existing topography of the provides considerable screening, particularly from Mount Barker Road and the rural living sites adjacent to it.
	e. any proposed roads, boundaries and associated planting, lighting, earthworks and landscaping will reduce visual amenity, with particular regard to elements which are inconsistent with the existing natural topography and patterns;	No additional road or boundaries are proposed as part of this proposal.
	f. boundaries follow, wherever reasonably possible and practicable, the natural lines of the landscape or landscape units.	No new boundaries are proposed.
21.21.2.4 Design and density of development	In considering the appropriateness of the design and density of the proposed development, whether and to what extent:	
	a. opportunity has been taken to aggregate built development to utilise common access ways including roads, pedestrian linkages, services and open space (i.e. open space held in one title whether jointly or otherwise);	The development is unique in that it is a commercial business that services the rural community with a base in the rural zone. Pedestrian linkages are not relevant to the proposal and the majority of the site will be retained as open rural land. All built form is confined to a small part of the site and accessed via one access road.
	b. there is merit in clustering the proposed building(s) or building platform(s) having regard to the overall density and intensity of the proposed development and whether this would exceed the ability of the landscape to absorb change;	As discussed above, all built form is confined to a small part of the site with the remainder of the site remaining open rural land, that can continue being used for productive agriculture such as growing crops for hay or silage.

	c. development, including access, is located within the parts of the site where they will be least visible from public and private locations;	The site itself is relatively flat but has gentle rolling topography and the proposed sheds and building platforms are located at a low point in the landscape to reduce visibility. The proposed building platforms are located behind the existing shed when viewed from SH6 and will not be seen by road users.
	d. development, including access, is located in the parts of the site where they will have the least impact on landscape character.	The character of the site will remain very largely rural. The proposed buildings and platforms are confined to a small area of the site ensuring the remained of the site is retained as open, productive rural landscape. The sheds are rural in nature and will not be particularly conspicuous in a rural setting despite their size. The proposed building platforms are located behind the sheds and structural landscaping, that is in keeping with planting in the rural zone, and is proposed to ensure the rural character of the site is maintained.
21.21.2.5 Tangata Whenua, biodiversity and geological values:	a. whether and to what extent the proposed development will degrade Tangata Whenua values including Tōpuni or nohoanga, indigenous biodiversity, geological or geomorphological values or features and, the positive effects any proposed or existing protection or regeneration of these values or features will have.	I have no knowledge of Tangata Whenua cultural and spiritual values or other heritage values associated with the site.
21.21.2.6 Cumulative effects of development on the landscape:	Taking into account whether and to what extent any existing, consented or permitted development (including unimplemented but existing resource consent or zoning) has degraded landscape quality, character, and visual amenity values. The Council shall be satisfied;	
	a. the proposed development will not further degrade landscape quality, character and visual amenity values, with particular regard to situations that would result in a loss of valued quality, character and openness due to the prevalence of residential or non-farming activity within the Rural Landscape.	The site is within a triangle of nine 20-hectare rural living sites. At the time of the consent being granted it was anticipated that each would eventually be developed for rural living. As such, the rural landscape in the vicinity of the site comprises several instances of rural living development characterised by domestic activity surrounded by paddocks large enough for productive agricultural activities.
	b. where in the case resource consent may be granted to the proposed development but it represents a threshold to which the landscape could absorb any further development, whether any further cumulative adverse effects would be avoided by way of imposing a covenant, consent notice or other legal instrument that maintains open space.	No covenants, consent notices or other legal instruments are proposed.

QUEENSTOWN LAKES PROPOSED DISTRICT PLAN ASSESSMENT MATTERS 21.21.3 OTHER FACTORS AND POSITIVE EFFECTS, APPLICABLE IN ALL THE LANDSCAPE CATEGORIES (ONF, ONL AND RCL)		
HEADING	ASSESSMENT MATTERS	ASSESSED AFFECTS
21.21.3.1	In the case of a proposed residential activity or specific development, whether a specific building design, rather than nominating a building platform, helps demonstrate whether the proposed development is appropriate	A specific design has been submitted for the sheds. In terms of residential development, each unit is a specific design, and a potential layout plan has been submitted with the application. To demonstrate the units can be positioned in a way that the development will not appear overly utilitarian and compromise the existing relatively rural aesthetic.
21.21.3.2	Other than where the proposed development is a subdivision and/or residential activity, whether the proposed development, including any buildings and the activity itself, are consistent with rural activities or the rural resource and would maintain or enhance the quality and character of the landscape.	The proposed activity is a rural contracting activity. All buildings are important to the day to day running of a business that provides a service that is vital to successful agricultural practises in the rural zone.
21.21.3.3	In considering whether there are any positive effects in relation to the proposed development, or remedying or mitigating the continuing adverse effects of past subdivision or development, the Council shall take the following matters into account:	
	a. whether the proposed subdivision or development provides an opportunity to protect the landscape from further development and may include open space covenants or esplanade reserves;	No open space covenants or esplanade reserves are proposed.
	b. whether the proposed subdivision or development would enhance the character of the landscape, or protects and enhances indigenous biodiversity values, in particular the habitat of any threatened species, or land environment identified as chronically or acutely threatened on the Land Environments New Zealand (LENZ) threatened environment status;	The proposed development would support a business that is integral to successful agriculture in the Queenstown Lakes District. Enabling this development helps ensure the productive agricultural properties that make up much of the bucolic rural zone have access to rural contracting services.
	c. any positive effects including environmental compensation, easements for public access such as walking, cycling or bridleways or access to lakes, rivers or conservation areas;	No compensation is proposed.

	d. any opportunities to retire marginal farming land and revert it to indigenous vegetation;	No farmland is to be retired and reverted to indigenous vegetation.
	e. where adverse effects cannot be avoided, mitigated or remedied, the merits of any compensation;	Adverse effects are to be avoided, mitigated and remedied.
	f. whether the proposed development assists in retaining the land use in low intensity farming where that activity maintains the valued landscape character.	The development assists in a large part of the site being retained as productive agricultural land.



SCREEN PLANTING

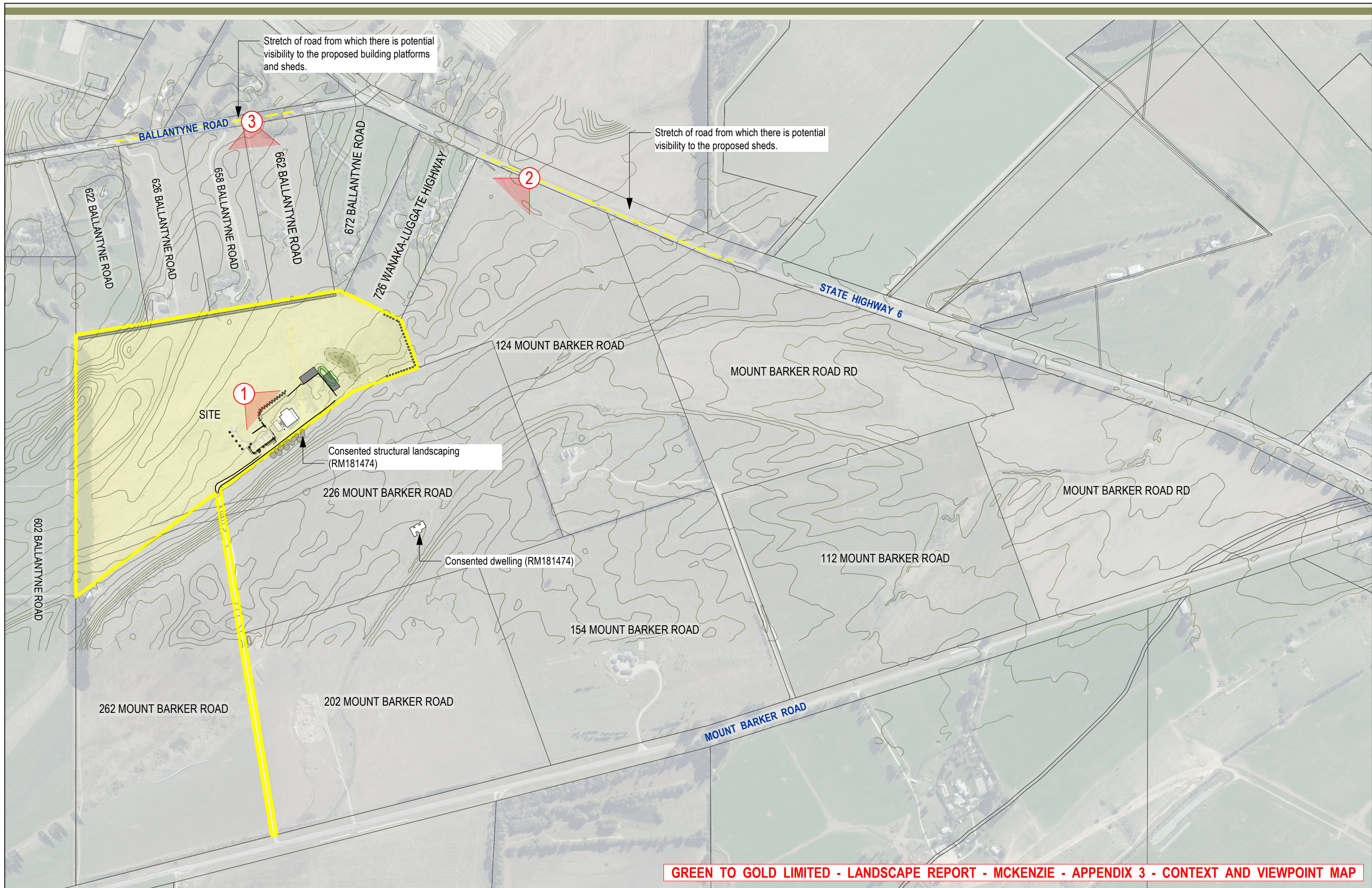
Area A						
Common Name	Botanical Name	Min. grade	Min. Height	Height at maturity	Spacing	Qty
Mingimingi	Coprosma propinqua	2.5L	NA	5m	1.5m	15
Manatu / Ribbonwood	Plagianthus regius	2.5L	NA	12m	2m	10
Kohuhu / Black Matipo	Pittosporum tenuifolium	2.5L	1.8m	12m	2m	20
South Island Toe Toe	Austroderia richardii	1.0L	NA	2m	1.5m	35
Harakeke / NZ Flax	Phormium tenax	1.0L	NA	3m	1.5m	35
					Total	115

Area B						
Common Name	Botanical Name	Min. grade	Min. Height	Height at maturity	Spacing	Qty
Mingimingi	Coprosma propinqua	2.5L	NA	5m	1.5m	10
Manatu / Ribbonwood	Plagianthus regius	2.5L	NA	12m	2m	7
Kohuhu / Black Matipo	Pittosporum tenuifolium	2.5L	1.8m	12m	2m	20
South Island Toe Toe	Austroderia richardii	1.0L	NA	2m	1.5m	30
Harakeke / NZ Flax	Phormium tenax	1.0L	NA	3m	1.5m	30
					Total	97

Area C						
Common Name	Botanical Name	Min. grade	Min. Height	Height at maturity	Spacing	Qty
Mingimingi	Coprosma propinqua	2.5L	NA	5m	1.5m	20
Manatu / Ribbonwood	Plagianthus regius	2.5L	NA	12m	2m	10
Kohuhu / Black Matipo	Pittosporum tenuifolium	2.5L	1.8m	12m	2m	30
South Island Toe Toe	Austroderia richardii	1.0L	NA	2m	1.5m	50
Harakeke / NZ Flax	Phormium tenax	1.0L	NA	3m	1.5m	50
					Total	160
						372

NOTES:
Irrigation: All new plants are to be automatically irrigated by sprinklers or drippers for the first three years following planting.
Mulching: Organic mulch and/or weed mats shall be applied to all plants at the time of planting.
Fertiliser: Slow release fertiliser shall be applied to all plants at the time of planting.
Weed Control: At the time of planting, all grass cover within 0.5m of a new plant location shall be sprayed with a suitable weed spray to remove grass competition. Twice yearly, all invasive weed species shall be removed from within 0.5 metres of all new plants. To be carried out for the first three years following planting.
Pest Control: Appropriate pest protection shall be applied at the time of planting. Pest control is to be maintained for the first three years following planting.
Plant replacement: Any and all plants that have died, die or become diseased shall be replaced with a specimen of a similar species within the next planting season.

GREEN TO GOLD LIMITED - LANDSCAPE REPORT - MCKENZIE - APPENDIX 2 - STRUCTURAL LANDSCAPE PLAN



REF: 1687-03
DATE: 22.07.21
SCALE: 1:6500 @ A3

Context and Viewpoint Map

Green to Gold, Wanaka

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resource management and landscape planning

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Viewpoint 1 - Looking towards the proposed building platforms and sheds from within the site

GREEN TO GOLD LIMITED - LANDSCAPE REPORT – MCKENZIE – APPENDIX 4: PHOTOGRAPHS

All photographs were taken with a fixed focal length of 50mm. Photographs are intended to illustrate points made in this report. If this sheet is printed at A3 size, the photographs are not at full size so as to replicate the full-scale field of view as taken in by the human eye.



Viewpoint 2 - Looking toward the site from State Highway 6. The proposed sheds will be visible in front of the existing shed.

GREEN TO GOLD LIMITED - LANDSCAPE REPORT – MCKENZIE – APPENDIX 4: PHOTOGRAPHS

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Viewpoint 3 - Looking toward the site from the entrance to 662 Ballantyne Road. The proposed building platforms will be visible to the right of the existing shed.

GREEN TO GOLD LIMITED - LANDSCAPE REPORT – MCKENZIE – APPENDIX 4: PHOTOGRAPHS

All photographs were taken with a fixed focal length of 50mm. Photographs are intended to illustrate points made in this report. If this sheet is printed at A3 size, the photographs are not at full size so as to replicate the full-scale field of view as taken in by the human eye.