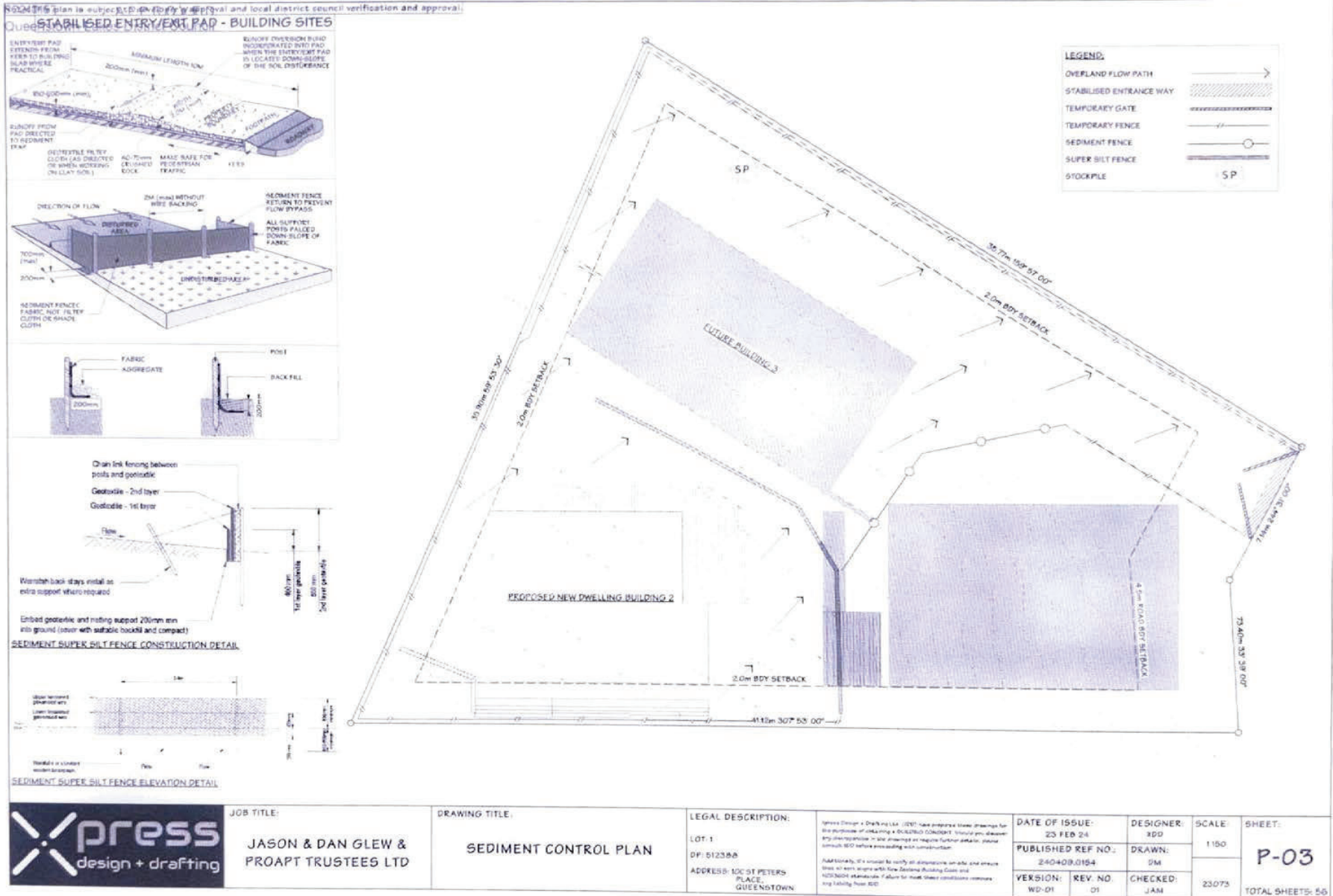
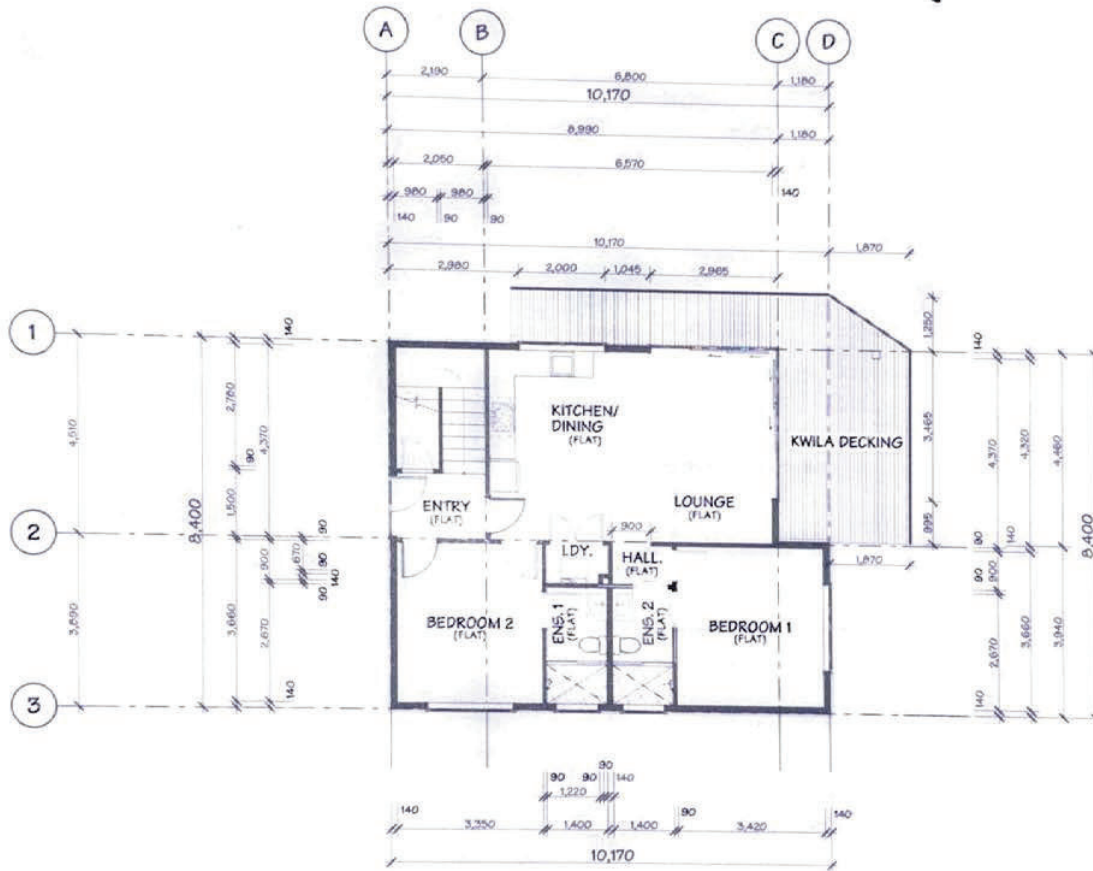


Handwritten signature/initials

512



This plan is subject to Council approval and local district council verification and approval.
 Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP: 512388
 ADDRESS: 101 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you require any amendments to these drawings or require further details, please contact PDD before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on site and ensure they all match exactly with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions renders any liability from PDD.

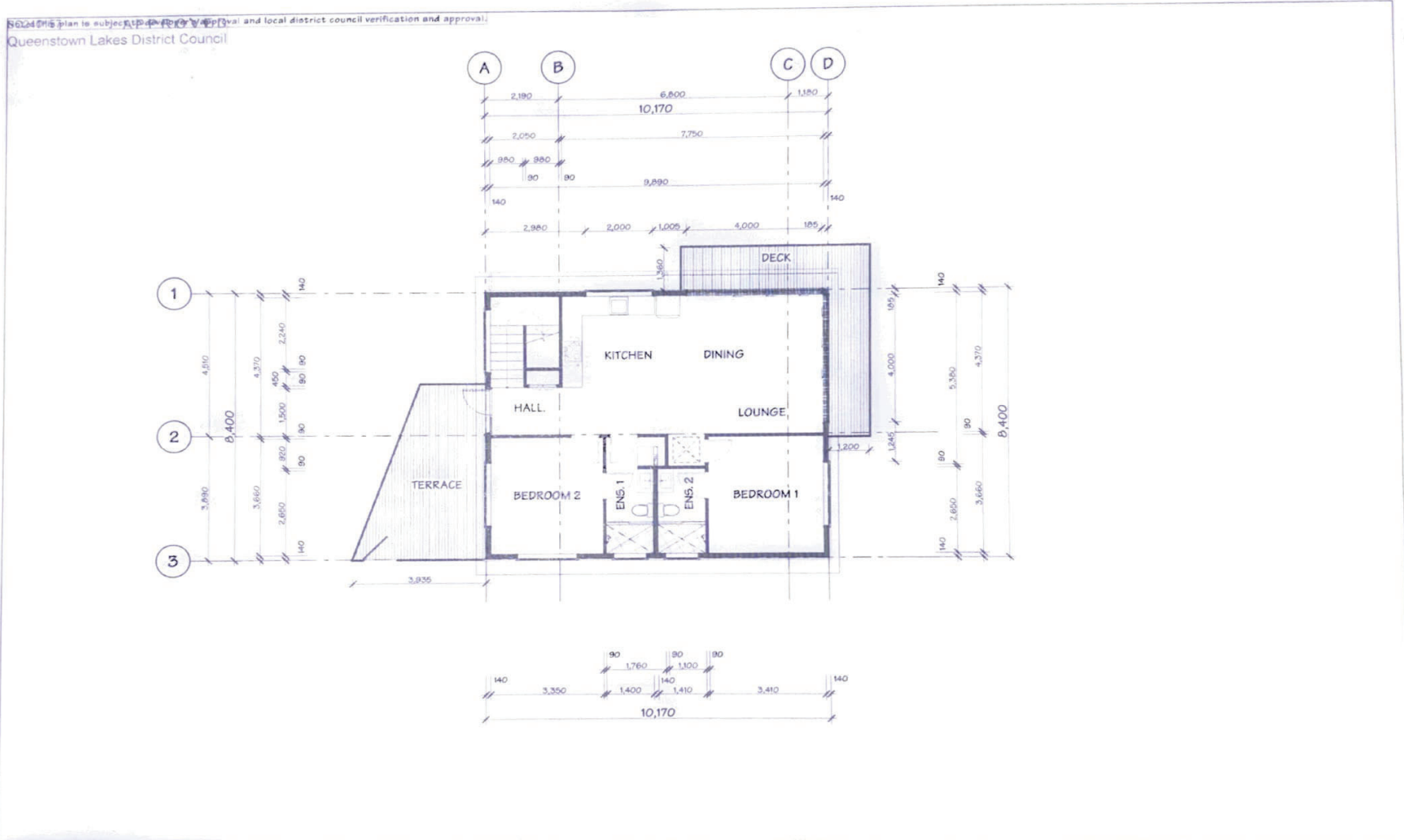
DATE OF ISSUE: 23 FEB 24		DESIGNER: ADD	SCALE: 1:100	SHEET: P-08
PUBLISHED REF NO.: 240409.0154		DRAWN: DM	JOB #:	
VERSION: WD-01	REV. NO.: 01	CHECKED: JAM	23073	TOTAL SHEETS: 56

513

[Handwritten signatures and initials]

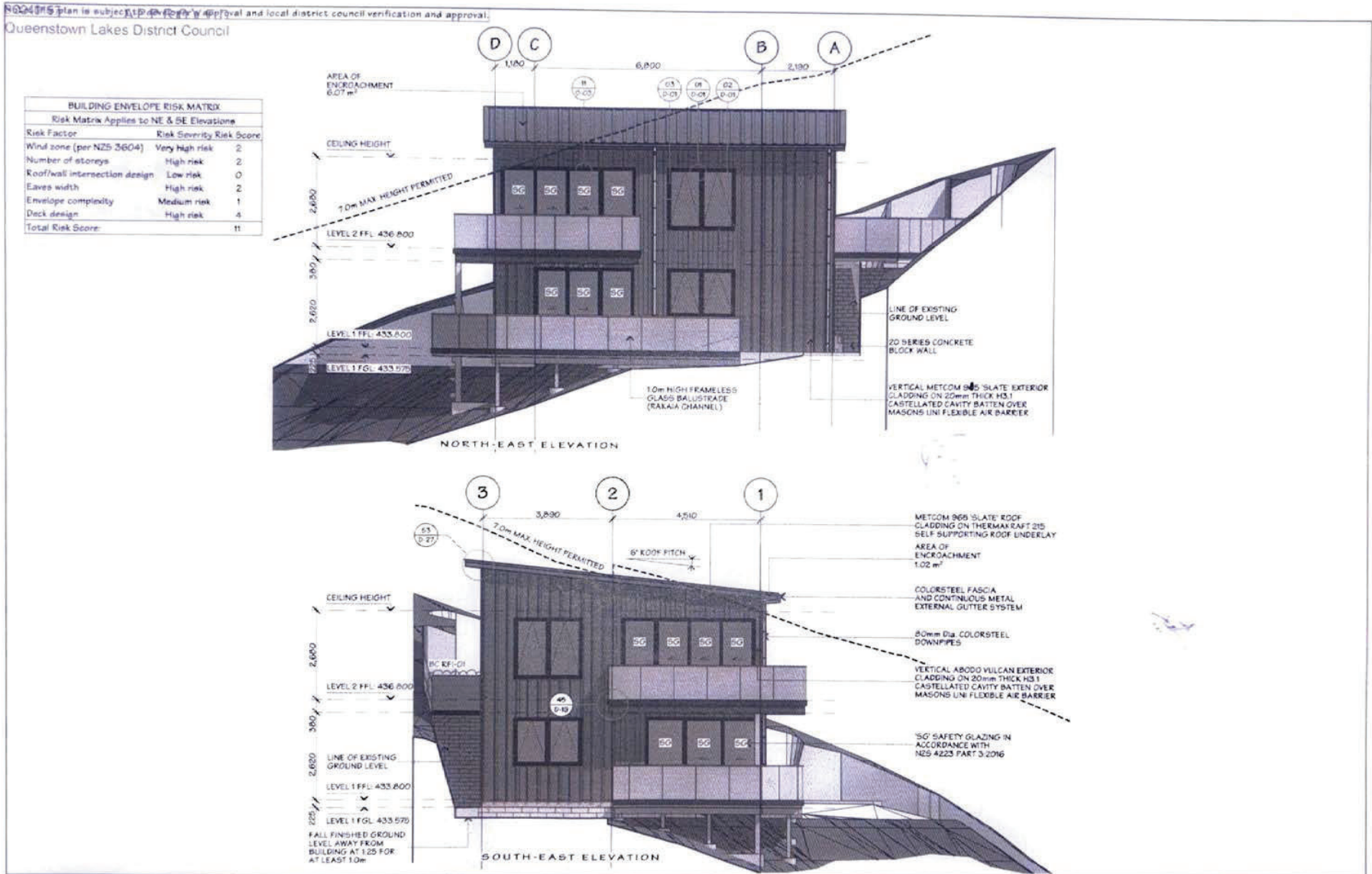
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514



	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	LEVEL 2 DIMENSION PLAN	LEGAL DESCRIPTION:	LOT 1 DP: 512388 ADDRESS: 10C ST PETERS PLACE QUEENSTOWN	<p>press design + drafting Ltd (IDD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. You should not consider any discrepancies in the drawings or require further details, please contact IDD before proceeding with construction.</p> <p>Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZMB04 standards. Failure to meet these conditions may void liability from IDD.</p>	DATE OF ISSUE:	23 FEB 24	DESIGNER:	XDD	SCALE:	1:100	SHEET:	P-10	TOTAL SHEETS: 56
								VERSION:	WD-01	REV. NO.	01	CHECKED:	JAM	JOB#:	23073	

Document Set ID: 9564573
Version: 1, Version Date: 06/05/2026



	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	ELEVATIONS - SHEET 01	LEGAL DESCRIPTION:	LOT 1 DP: 512368 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN	Approved Design + Drafting Ltd. (ADD) has prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you obtain any other approvals or that drawings require further details, please contact ADD before proceeding with construction. As a warning, it is crucial to verify all dimensions on site and ensure that all work complies with New Zealand Building Code and NZS/NZS4 materials. Failure to meet these conditions may voidify these RCD.	DATE OF ISSUE:	23 FEB 24	DESIGNER:	KDD	SCALE:	1:100	SHEET:	E-01

515

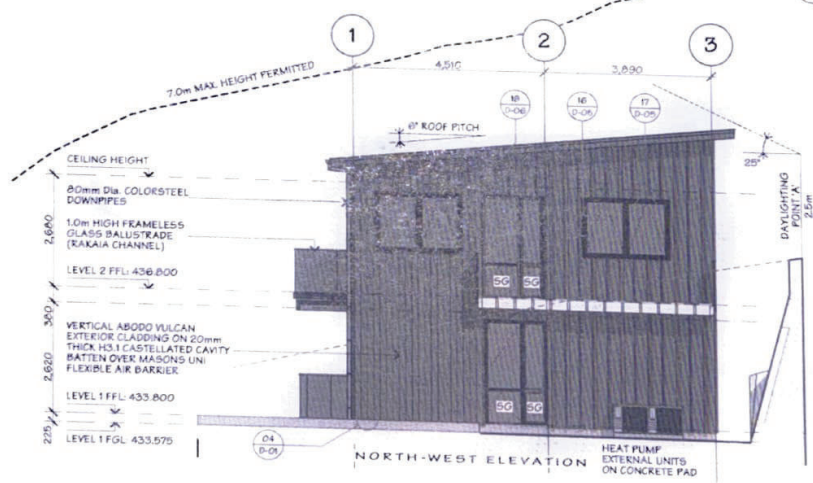
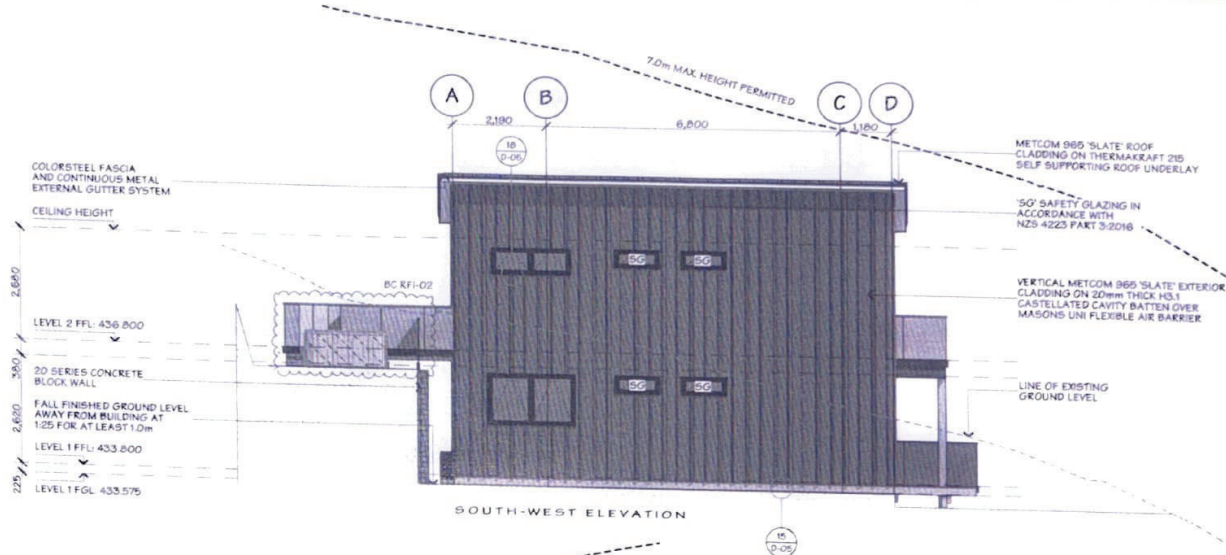
Handwritten initials/signature

Handwritten initials/signature

BCR-010 plan is subject to ~~BCR-010~~ approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



516



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT 1
DP: 512358
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

Press Design + Drafting Ltd (PDDL) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDDL before proceeding with construction.
Additionally, it is noted to verify all dimensions on-site and ensure that all work aligns with the General Building Code and NZS3604 standards. Failure to meet these compliance measures may liability from PDDL.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1100	SHEET: E-02
PUBLISHED REF NO.: 240514-14-40	DRAWN: DM	JOB#: 23073	
VERSION: BC-RFI 02	REV. NO.: 01	CHECKED: JAM	TOTAL SHEETS: 56



AFFECTED PERSON'S APPROVAL



FORM 8A

Resource Management Act 1991 Section 95

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited

PERSON AFFECTED PERSON'S DETAILS

I/We Allana Margaret Eckhold and John Raymond Eckhold
Are the owners/occupiers of
9 St Peters Place, Queenstown

☰ DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:
To undertake residential visitor accommodation for up to ~~365~~ ³⁶⁵ days per year from the residential units located at 10A, 10B and 10C St Peters Place, Queenstown
Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to ~~265~~ ³⁶⁵ nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):
10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.

📄 WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.


3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Allana Margaret Eckhold	
	Contact Phone / Email address	
	Signature 	Date 21-1-26

B	Name (PRINT) John Raymond Eckhold	
	Contact Phone / Email address 027 511 4444	
	Signature 	Date 21-1-26

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

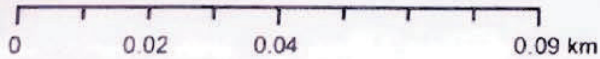


QLDC Property Map

PRINT DATE:
27/08/2025



Scale: 1:1,146



Handwritten signature/initials

The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

BC230309 APPROVED
Queenstown Lakes District Council



520

Project number 7382

**Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd
10A St Peters Place, Queenstown**

Document Set ID: 7574843
Version: 1, Version Date: 03/04/2023

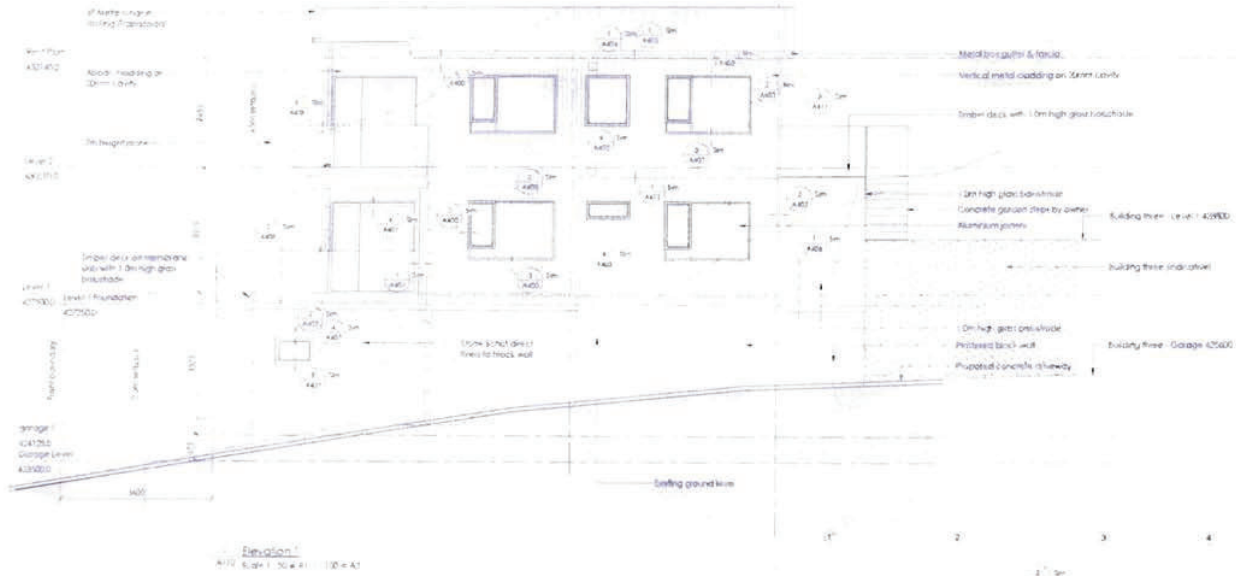
Sheet list

Sheet Number	Sheet Name	Consent Revision	Consent Revision Description	Consent Revision Date
A001	Notes sheet 1	A	Building Consent Issue	30/04/2022
A002	Notes sheet 2	A	Building Consent Issue	30/04/2022
A003	Notes sheet 3	A	Building Consent Issue	30/04/2022
A100	Site Plan	A	Building Consent Issue	30/04/2022
A110	Proposed Floor Plan - Garage	A	Building Consent Issue	30/04/2022
A111	Proposed Floor Plan	A	Building Consent Issue	30/04/2022
A112	Foundation Plan	A	Building Consent Issue	30/04/2022
A113	Level 2 and 3rd Floor Plan	A	Building Consent Issue	30/04/2022
A114	1st Floor Plan	A	Building Consent Issue	30/04/2022
A115	Subsiding Plan	A	Building Consent Issue	30/04/2022
A117	Proposed Drainage Plan	A	Building Consent Issue	30/04/2022
A120	Roofing Schedule	A	Building Consent Issue	30/04/2022
A130	Fire Alarm Installation	A	Building Consent Issue	30/04/2022
A132	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
A141	Wall Framing Plan - Garage	A	Building Consent Issue	30/04/2022
A142	Wall Framing Plan	A	Building Consent Issue	30/04/2022
A200	Foundation	A	Building Consent Issue	30/04/2022
A201	1st Floor	A	Building Consent Issue	30/04/2022
A202	2nd Floor	A	Building Consent Issue	30/04/2022
A203	3rd Floor	A	Building Consent Issue	30/04/2022
A204	Roof Deck	A	Building Consent Issue	30/04/2022
A205	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
A206	Roofing Schedule	A	Building Consent Issue	30/04/2022
A207	Fire Alarm Installation	A	Building Consent Issue	30/04/2022
A208	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
A209	Roofing Schedule	A	Building Consent Issue	30/04/2022
A210	Fire Alarm Installation	A	Building Consent Issue	30/04/2022
A211	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
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A218	Roofing Schedule	A	Building Consent Issue	30/04/2022
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A229	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
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A242	Roofing Schedule	A	Building Consent Issue	30/04/2022
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A245	Roofing Schedule	A	Building Consent Issue	30/04/2022
A246	Fire Alarm Installation	A	Building Consent Issue	30/04/2022
A247	Fire Protection Schedule	A	Building Consent Issue	30/04/2022
A248	Roofing Schedule	A	Building Consent Issue	30/04/2022
A249	Fire Alarm Installation	A	Building Consent Issue	30/04/2022
A250	Fire Protection Schedule	A	Building Consent Issue	30/04/2022

Building Consent



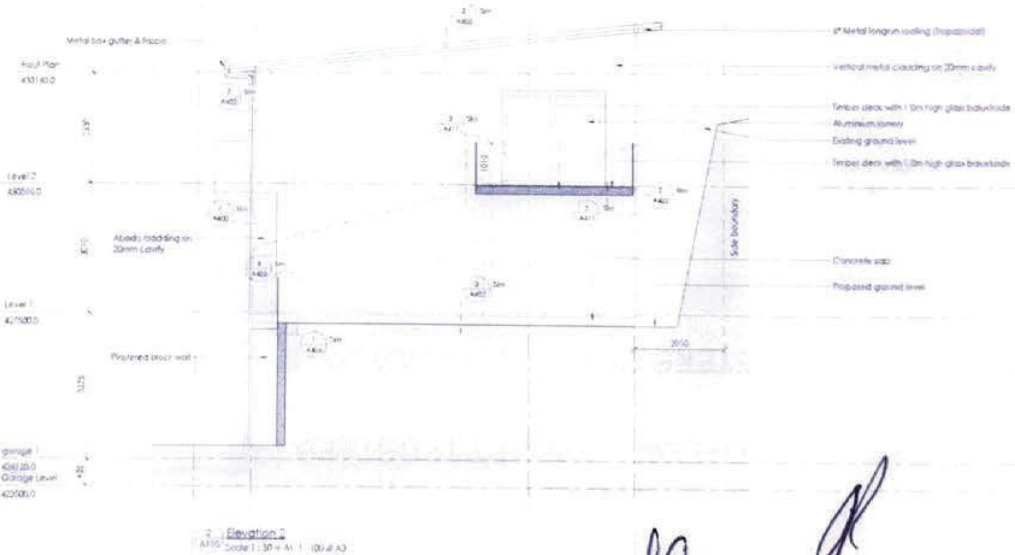
BC230309 APPROVED
Queenstown Lakes District Council



PKG MATRIX - All provided

Ref	QTY	MSQ	MSQ	MSQ	MSQ	MSQ
Wiro (one per 1000L)	0	1	1	1	1	1
Number of wires	0	1	1	1	1	1
40/2 NOT inspection device	0	1	1	1	1	1
Splice mats	0	1	1	1	1	1
Change components	0	1	1	1	1	1
Deck design	0	1	1	1	1	1

3/10/2023



Building Consent

THIS DOCUMENT IS VALID FOR THE BUILDING CONSENT ONLY. IT IS NOT VALID FOR ANY OTHER PURPOSES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSENTS AND APPROVALS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE ARCHITECT'S WORK IS SUBJECT TO THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2004. THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECT'S WRITTEN CONSENT. THE ARCHITECT'S WORK IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE ARCHITECT'S WRITTEN CONSENT. THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECT'S WRITTEN CONSENT.



Proposed Multi-unit Dwelling
 Bid 1 Stage 2 for James & Dan
 Gow & Probst Trustees Ltd
 10A St Peters Place
 Glenorchy
 Dunedin

7382 A200 A

Handwritten signatures and initials.

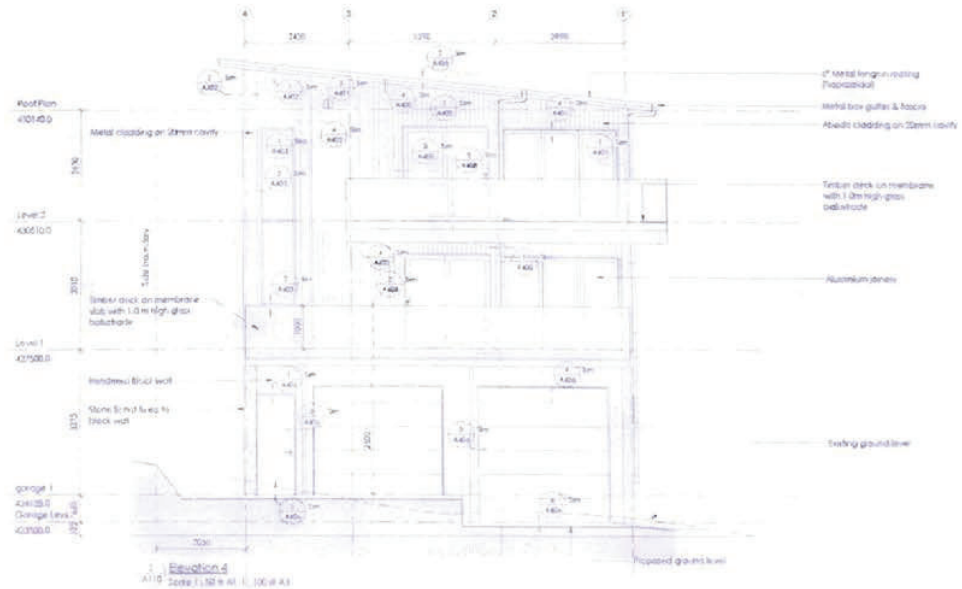
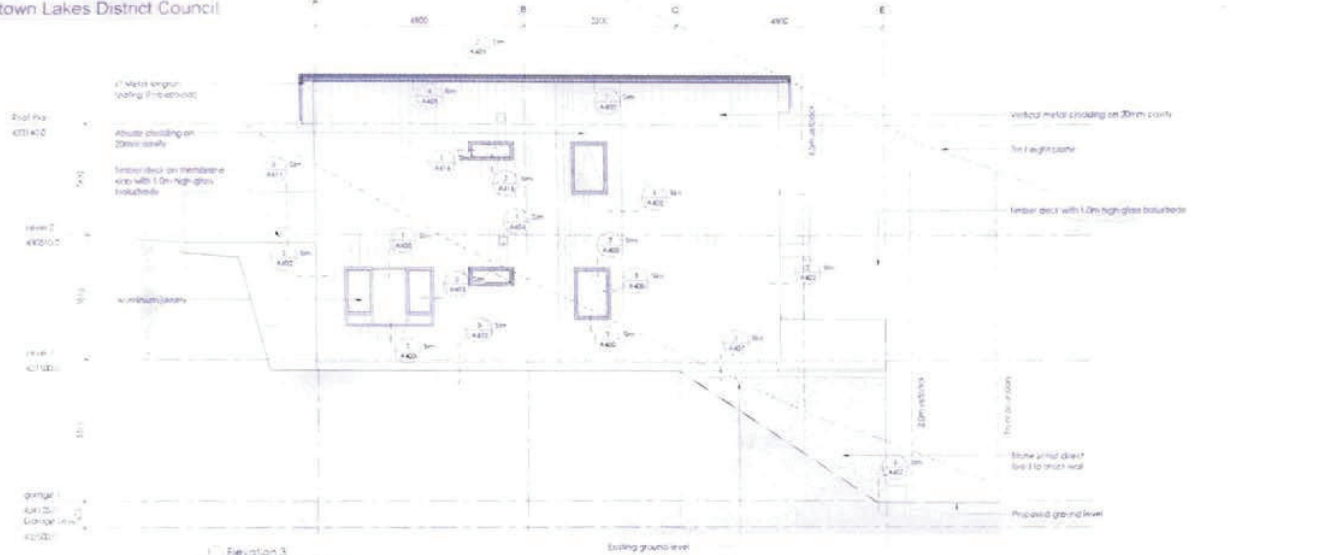
523

BC230309 APPROVED
Queenstown Lakes District Council

NO. 7382 A201 A

RFI Matrix - All (in red)

RFI No.	LOA	REQ	TRCN	Y/N	Comments
1	2	1	1	2	2
2	1	1	1	4	2
3	1	2	1	5	5
4	1	1	1	1	3
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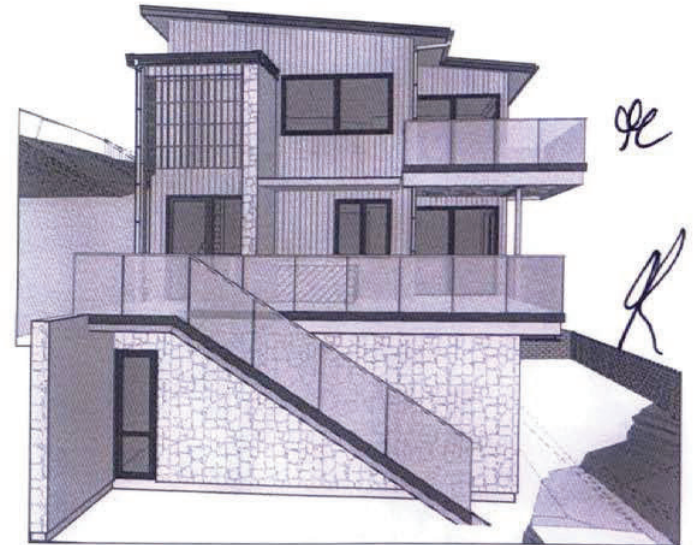
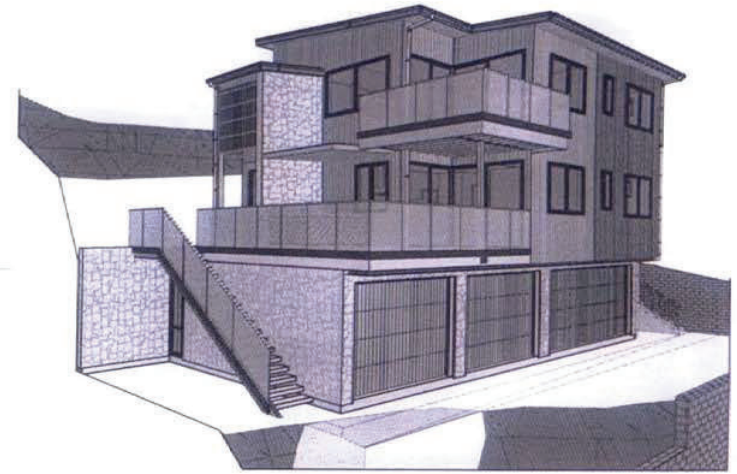
Building Consent

NO. 7382 A201 A

Proposed Multi-Level Dwelling
 881 - 1 Stage 2 for 100m & Dun
 Street & Proposed Freeway (A119)
 100 - 1000m (Proposed)
 Queenstown
 District Council

7382 A201 A

BC240156 APPROVED
 Queenstown Lakes ~~PROPOSED~~ ED MULTI-UNIT DWELLING - BLDG. 3
 FOR
 JASON & DAN GLEW & PROAPT TRUSTEES LTD
 AT
 10B ST PETERS PLACE, QUEENSTOWN

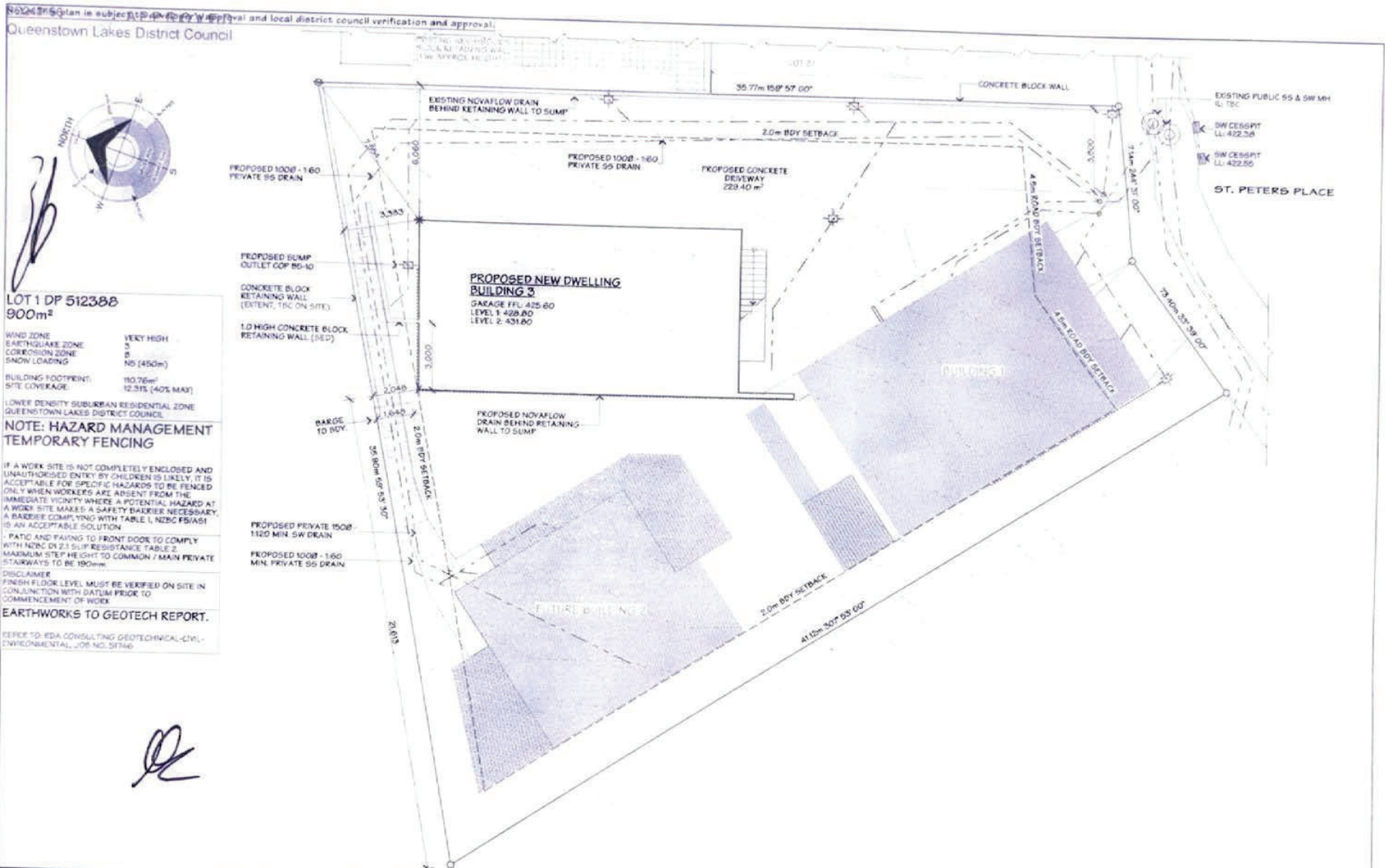


SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	E-03	WEST ELEVATION
P-02	SITE PLAN	E-04	SOUTH ELEVATION
P-03	SEDIMENT CONTROL PLAN	S-01	CROSS SECTION A-A
P-04	GARAGE DRAINAGE PLAN	S-02	CROSS SECTION B-B
P-05	LEVEL 1 DRAINAGE PLAN	S-03	CROSS SECTION C-C
P-06	LEVEL 2 DRAINAGE PLAN	S-04	SCHEDULE OF DOORS
P-07	PLUMBING SCHEMATIC	S-05	SCHEDULE OF WINDOWS
P-08	ROOF CATCHMENT PLAN	D-01	FOUNDATION DETAILS
P-09	GARAGE FLOOR PLAN	D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
P-10	GARAGE DIMENSION PLAN	D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN	D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
P-12	LEVEL 1 FLOOR PLAN	D-05	VERT. ABODO VULCAN & BASE DETAILS
P-13	LEVEL 1 DIMENSION PLAN	D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
P-15	LEVEL 2 FLOOR PLAN	D-08	VERT. ABODO VULCAN ROOF DETAILS
P-16	LEVEL 2 DIMENSION PLAN	D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
P-18	GARAGE FOUNDATION PLAN	D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
P-19	LEVEL 1 FOUNDATION PLAN	D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT	D-13	HANDRAIL/STAIRCASE DETAIL
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-15	SHOWER/WET AREA DETAILS
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-24	GARAGE BRACING PLAN	D-17	HWC & SEISMIC RESTRAINT DETAILS
P-25	LEVEL 1 BRACING PLAN	D-18	FIRE RATED WALL DETAILS - SHEET 01
P-26	LEVEL 2 BRACING PLAN	D-19	FIRE RATED WALL DETAILS - SHEET 02
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS	D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS	D-21	FIRE RATED JUNCTION DETAILS
P-29	BRACE FIXING DETAILS	D-22	FIRE RATED PENETRATION DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN	D-23	FIRE RATED ROOF DETAILS
P-31	LEVEL 1 ELECTRICAL PLAN	D-24	CONCRETE DECK DETAILS - SHEET 01
P-32	LEVEL 2 ELECTRICAL PLAN	D-25	CONCRETE DECK DETAILS - SHEET 02
E-01	NORTH ELEVATION	D-26	TIMBER DECK DETAILS
E-02	EAST ELEVATION	D-27	BOTTOM PLATE FRING, PENETRATION, ROOF TRANSITION & ORG DETAILS
		D-28	FLOOR JOIST STIFFENER



REV	COLOUR	ISSUED BY	KEYVISION	DATE OF ISSUE
1	BC 971 01	KDO	BC RFI	06.08.24
2	BC 971 02	KDO	BC RFI	06.17.24

DATE: 06 MAY 24	SHEET: P-01
JOB #: 25074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	



LOT 1 DP 512388
900m²

WIND ZONE: VERY HIGH
EARTHQUAKE ZONE: 3
CORROSION ZONE: B (450m)
SNOW LOADING: ND (450m)

BUILDING FOOTPRINT: 110.76m²
SITE COVERAGE: 12.31% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC FBA/1 IS AN ACCEPTABLE SOLUTION.

- PATIO AND FAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.3 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 100mm.

DISCLAIMER
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK.

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL JOB NO. 51746



JOB TITLE:
**JASON & DAN GLEW &
PROAPT TRUSTEES LTD**

DRAWING TITLE:
SITE PLAN

LEGAL DESCRIPTION:
LOT 1
DP: 512388
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

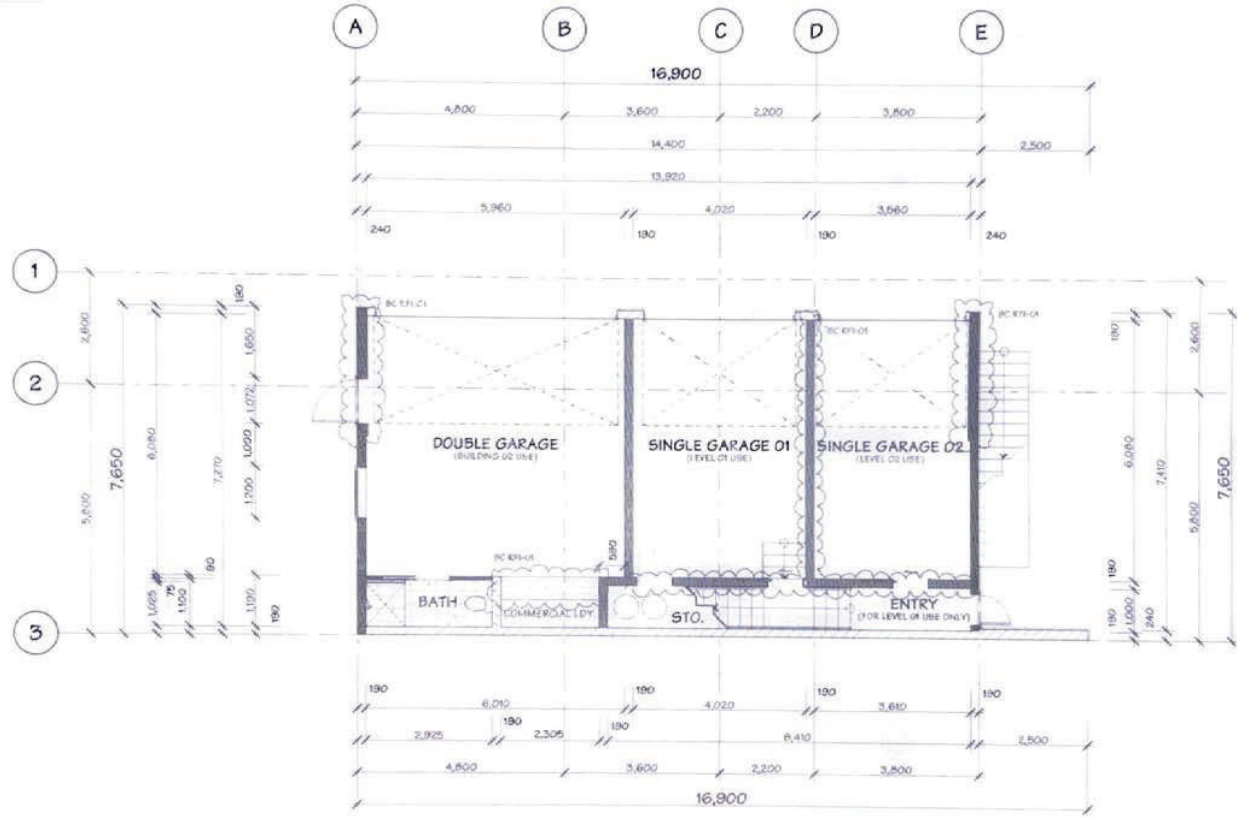
press design + drafting Ltd (PDD) has prepared these drawings for the purpose of obtaining a Resource Consent. These drawings are not to be used for any other purpose or require further details, please contact PDD before proceeding with construction.

And hereby, it is noted that all dimensions on site are checked that all work complies with New Zealand Building Code and NZS 3602 standards. Failure to mark these conditions constitute a breach of the Building Code.

DATE OF ISSUE: 23 FEB 24	DESIGNER: KDB	SCALE: 1:150	SHEET: P-02
PUBLISHED REF NO.: 2403071920	DRAWN: JAM	JOB#: 23074	TOTAL SHEETS: 70
VERSION: WD-01	REV. NO: 01	CHECKED: MS	

NOTES: This plan is subject to Council approval and local district council verification and approval.

NOTES:
1. ALL DIMENSIONS TO BE VERIFIED BY THE LOCAL DISTRICT COUNCIL BEFORE COMMENCING CONSTRUCTION.
2. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS.
3. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
4. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

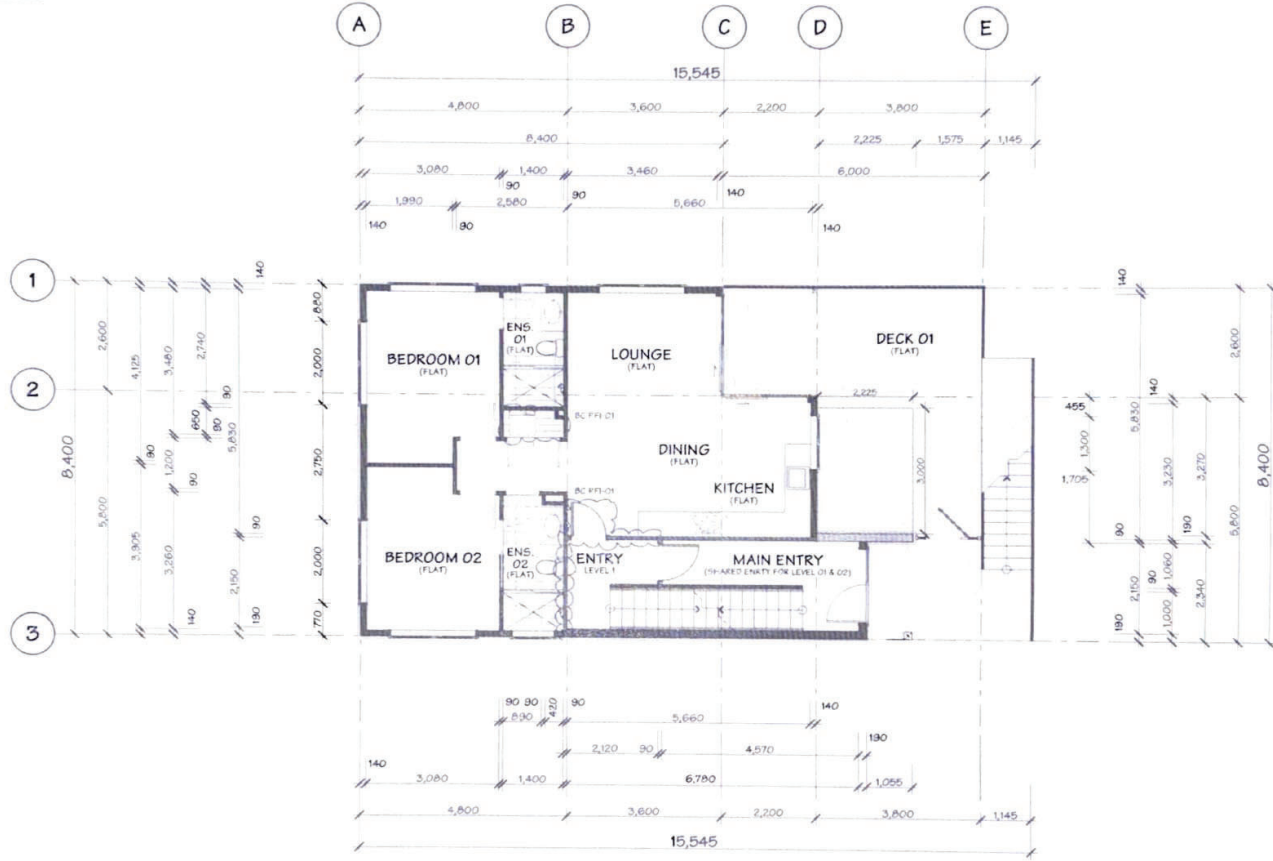
LEGAL DESCRIPTION:
LOT 1
DP: 512358
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Spence Design + Drafting Ltd (SDDL) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact SDDL before proceeding with construction.
Additionally, SDDL cannot be held responsible for any errors and omissions that may occur despite our diligent efforts to ensure the accuracy of these drawings.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO: 2405061520	DRAWN: JAM	JOB#:	
VERSION: BC KF1-01	REV. NO: 01	CHECKED: MS	TOTAL SHEETS: 70

NOTES: This plan is subject to Council approval and local district council verification and approval.

NOTES:
 QUEENSTOWN-LAKES District Council
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE




JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP: 512358
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

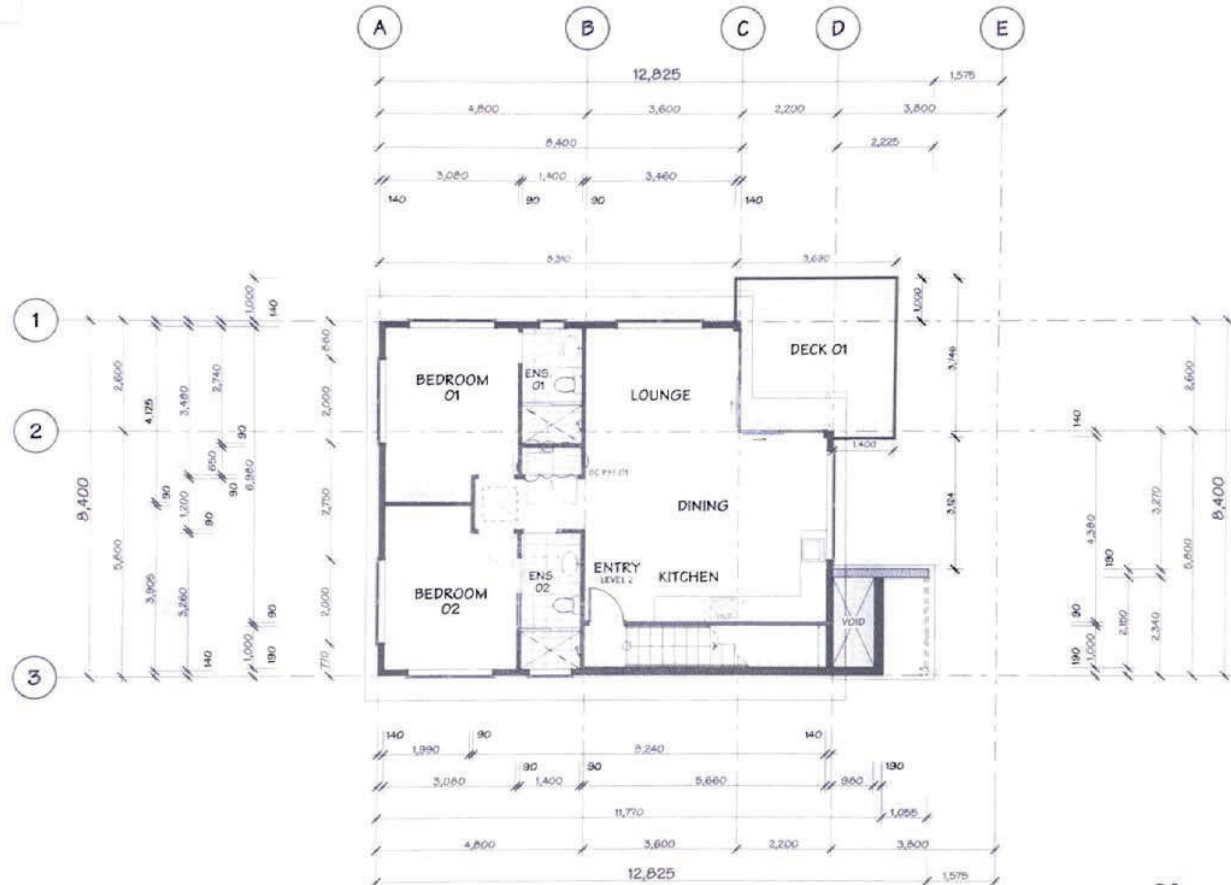
press design + drafting Ltd (IDD) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any omissions in the drawings or require further details, please consult IDD before proceeding with construction.
 Additionally, it is vital to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS/NZS4223 standards. Failure to meet these conditions removes any liability from IDD.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1100
PUBLISHED REF NO.: 2405081520	DRAWN: JAM	JOB#: 23074
VERSION: BC KF1-01	REV. NO: 01	CHECKED: MS

SHEET:
P-13
 TOTAL SHEETS: 70

Notes: This plan is subject to Council approval and local district council verification and approval.

NOTES:
 1. THIS PLAN IS SUBJECT TO COUNCIL APPROVAL AND LOCAL DISTRICT COUNCIL VERIFICATION AND APPROVAL.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. BEFORE COMMENCING CONSTRUCTION.
 4. ALL GLAZING TO COMPLY WITH NZS 4225 INCLUDING SAFETY GLASS TO SHOWER DOORS.
 5. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
 6. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.

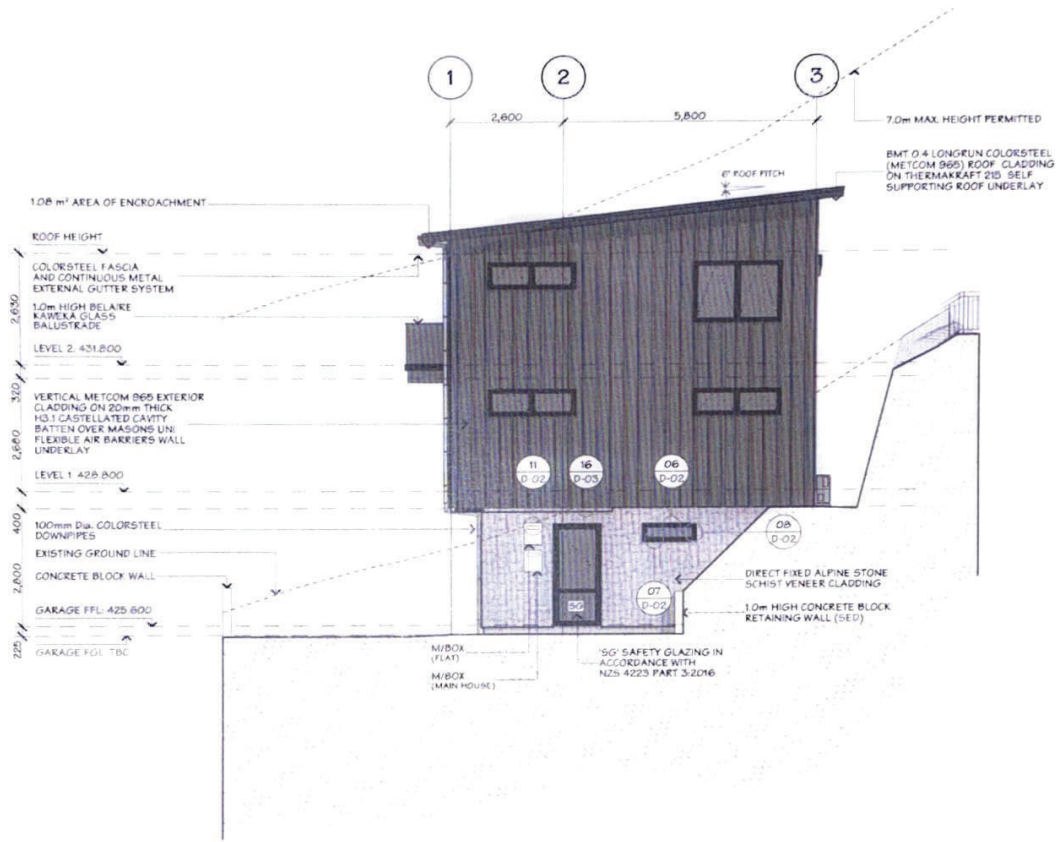


[Handwritten signatures]

	JOB TITLE:	DRAWING TITLE:	LEGAL DESCRIPTION:	DATE OF ISSUE:	DESIGNER:	SCALE:	SHEET:
	JASON & DAN GLEW & PROAPT TRUSTEES LTD	LEVEL 2 DIMENSION PLAN	LOT 1	23 FEB 24	XDD	1:100	P-16
			OP: 512388	PUBLISHED REF NO.:	DRAWN:	JOB#:	
			ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN	Xpress Design + Drafting Ltd. (XDD) takes professional liability insurance for the purpose of obtaining a BUILDING CONTRACT. Should you discover any irregularities in this drawing or require further details, please contact XDD before proceeding with construction. As a licensee, it is your responsibility to verify all information on site and ensure that all work complies with New Zealand Building Code and NZS/NZS4101 standards. Failure to meet these conditions releases any liability from XDD.	240500-1520	JAM	25074
				VERSION: BC KPI-01	REV. NO. 01	CHECKED: MS	

Plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		14



530



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

LEGAL DESCRIPTION:
LOT 1
DP: 512368
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd. (2001) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact XDD before proceeding with construction.
Additionally, it is essential to verify all dimensions on-site and ensure they align with the New Zealand Building Code and AS/NZS 2204 standards. Failure to meet these standards may result in any liability from XDD.

DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
2403071920

DESIGNER:
XDD
DRAWN:
JAM
CHECKED:
MB

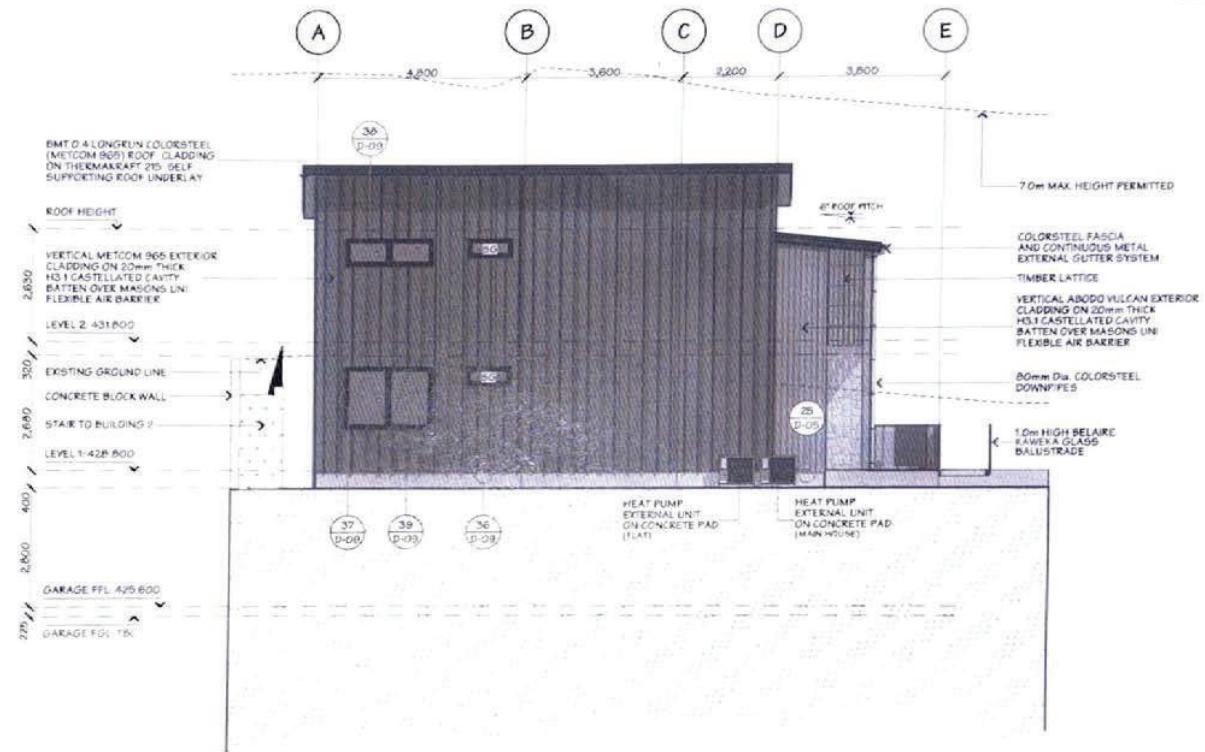
SCALE:
1:100
JOB#:
23074
TOTAL SHEETS: 70

E-01

Note: This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High Risk	3
Deck design	Medium risk	2
Total Risk Score:		13

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532



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

LEGAL DESCRIPTION:
LOT 1
DP: 512388
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (2020) have prepared these drawings for the purpose of obtaining a BUILDING PERMIT. You are advised that any modifications to this drawing or request for further details, please contact us before proceeding with construction.
Additionally, it is advised to verify all dimensions on-site and check that all work complies with New Zealand Building Code and ALL NZBC requirements. Failure to mark these conditions imposed may result in fines.

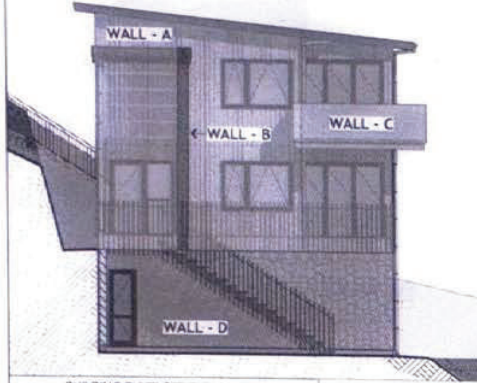
DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
2403071920
VERSION:
WP-01

DESIGNER:
KDO
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB#:
23074
SHEET:
E-03
TOTAL SHEETS: 70

NOT TO SCALE. This plan is subject to Council approval and local district council verification and approval.

Queenstown Lakes District Council

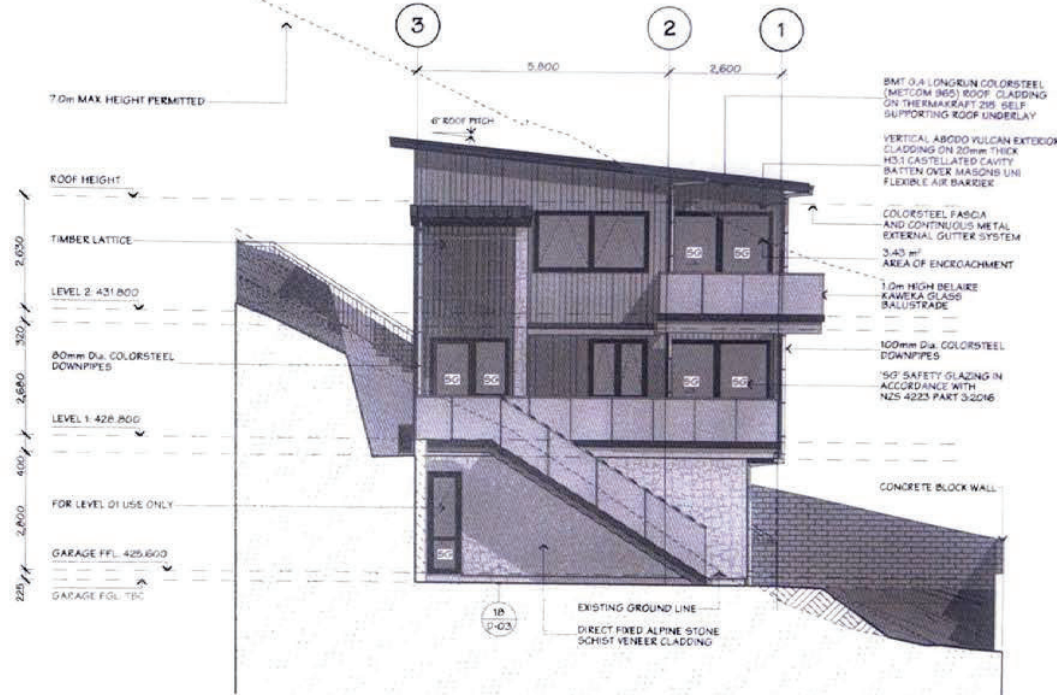


BUILDING ENVELOPE RISK MATRIX			
SOUTH ELEVATION (WALL - A)			
Risk Factor	Risk	Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	High risk	2	
Roof/wall intersection design	Medium risk	1	
Eaves width	Very high risk	5	
Envelope complexity	Medium risk	1	
Deck design	Very high risk	6	
Total Risk Score:			17

BUILDING ENVELOPE RISK MATRIX			
SOUTH ELEVATION (WALL - B)			
Risk Factor	Risk	Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	High risk	2	
Roof/wall intersection design	Medium risk	1	
Eaves width	Very high risk	5	
Envelope complexity	Low risk	0	
Deck design	Medium risk	2	
Total Risk Score:			12

BUILDING ENVELOPE RISK MATRIX			
SOUTH ELEVATION (WALL - C)			
Risk Factor	Risk	Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	High risk	2	
Roof/wall intersection design	Low risk	0	
Eaves width	High risk	2	
Envelope complexity	Low risk	0	
Deck design	Very high risk	6	
Total Risk Score:			12

BUILDING ENVELOPE RISK MATRIX			
SOUTH ELEVATION (WALL - D)			
Risk Factor	Risk	Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2	
Number of storeys	High risk	2	
Roof/wall intersection design	Medium risk	1	
Eaves width	Very high risk	5	
Envelope complexity	Low risk	0	
Deck design	Low risk	0	
Total Risk Score:			10



[Handwritten signatures]



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SOUTH ELEVATION

LEGAL DESCRIPTION:
LOT 1
BP: 912388
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (PDD) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. You must ensure any requirements in the planning or regulatory details, unless advised otherwise in writing, are followed.

Additionally, it is crucial to verify all dimensions on site and ensure that all work complies with the Building Code and NZS3604 standards. Failure to do so may result in some or all work being rejected.

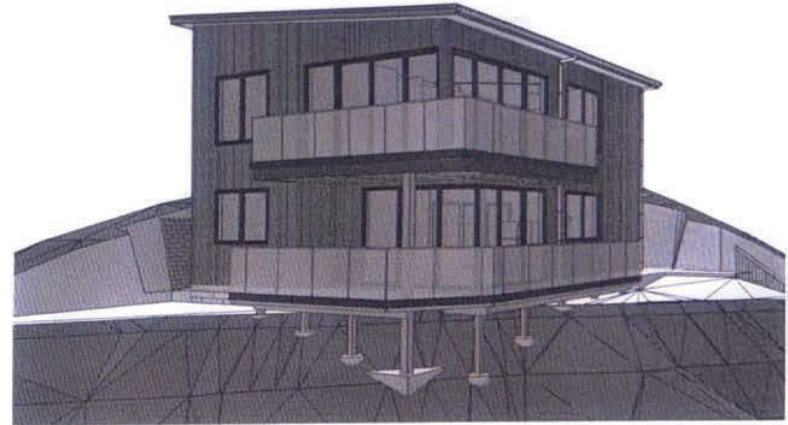
DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
2403071920
VERSION:
WD-01

DESIGNER:
KDU
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB#:
23074
SHEET:
E-04
TOTAL SHEETS: 70

BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN

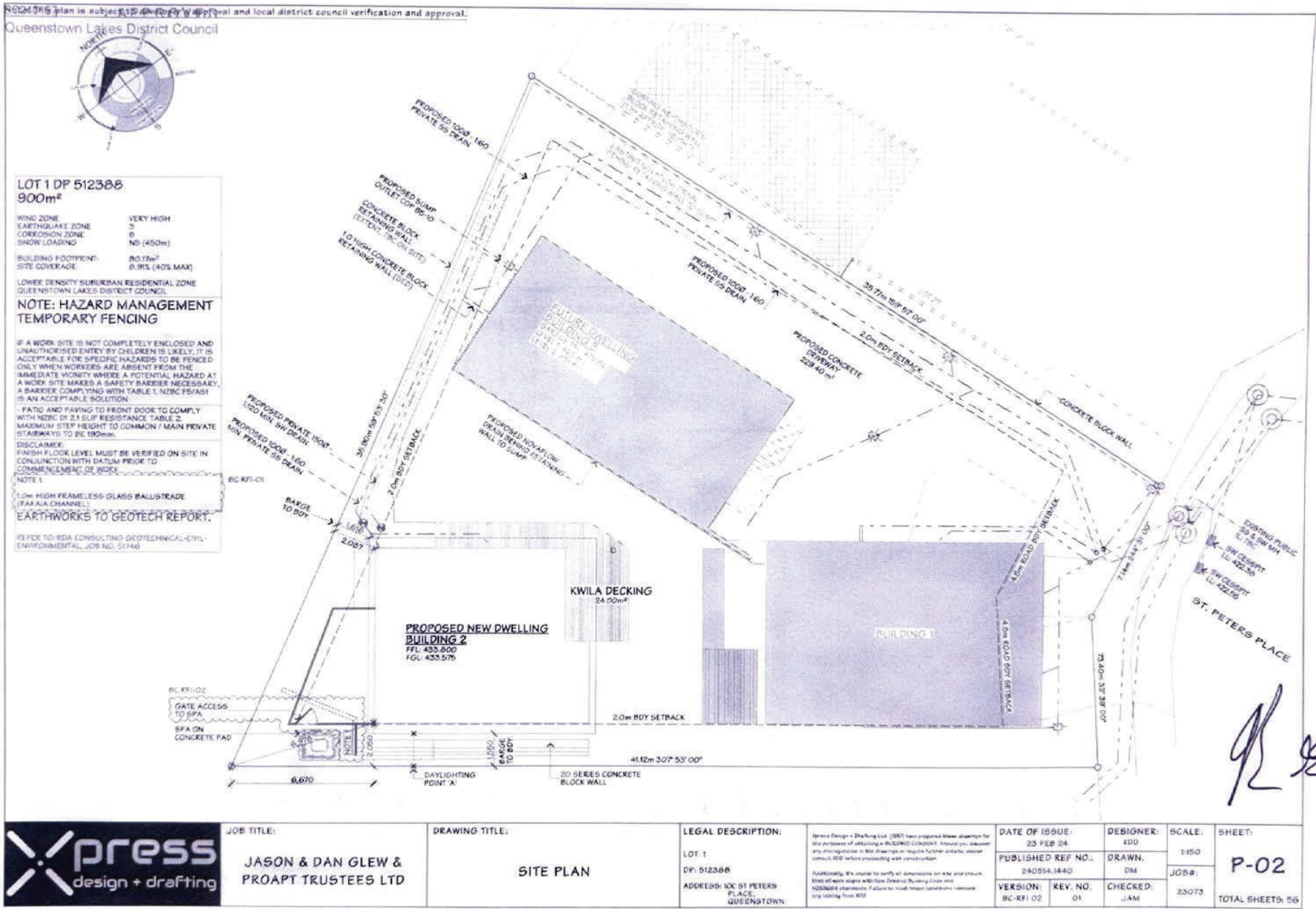


534

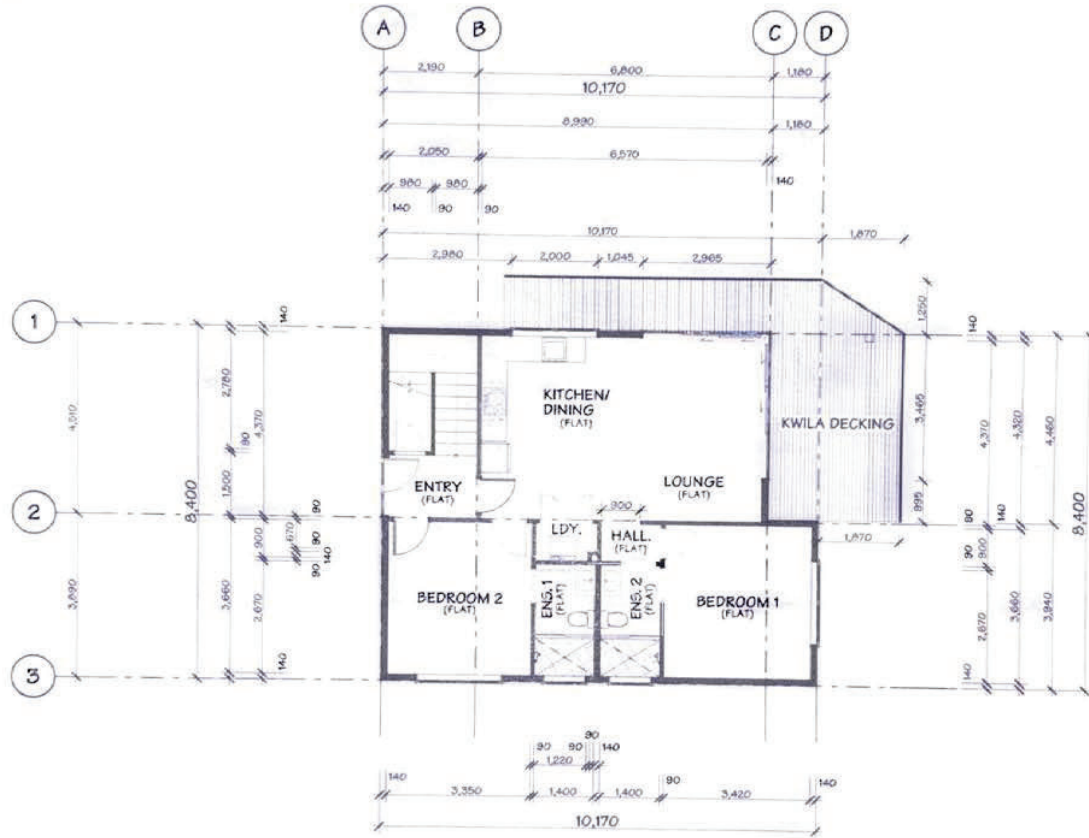
SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWC & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS



REV	ISSUED BY	REVISION	DATE OF ISSUE	DATE:	23 FEB 24	SHEET:	P-01
1	XDD	BC RF1-01	05 08 24	JOB #:	23073	TOTAL SHEETS:	56
2	XDD	BC RF1-02	05 14 24	COVER PAGE			
3	XDD	BC RF1-03	05 20 24				
SCALE: NOT TO SCALE							



This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council




JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

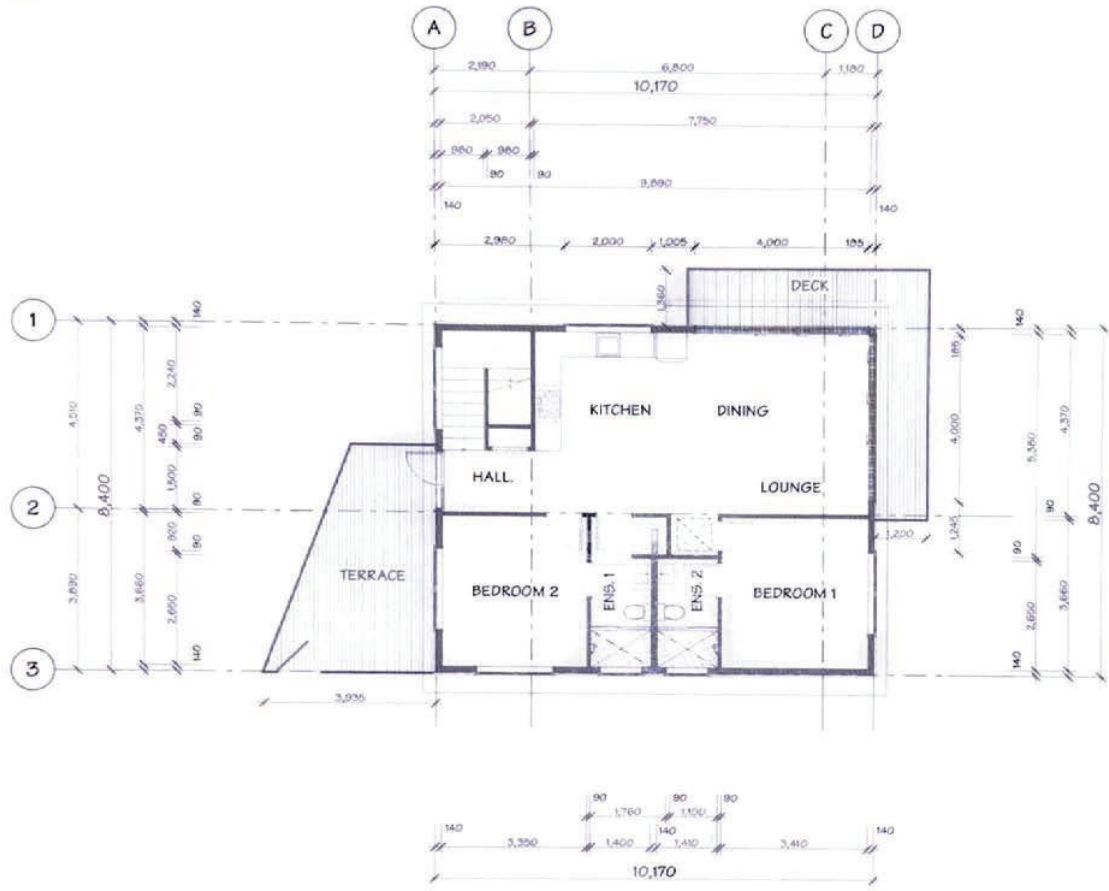
LEGAL DESCRIPTION:
LOT 1
DP: D12388
ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd. (PDDL) has prepared these drawings for the purpose of offering a BUILDING CONTRACT. Should you discover any discrepancies in the drawings or require further details, please contact PDDL before proceeding with construction.
Additionally, it is noted by all dimensions on site and ensure that all work is in accordance with New Zealand Building Code and NZS3604 standards. Failure to meet these standards may result in liability from MSD.

DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: P-08
PUBLISHED REF NO.: 240409.0154		DRAWN: DM	JOB#:	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	23073	TOTAL SHEETS: 56

Not to scale. This plan is subject to Council approval and local district council verification and approval.
 Queenstown Lakes District Council

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[Handwritten signature]



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP: 5125000
 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (2005) have prepared these drawings for the purpose of obtaining a RESOURCE CONSENT. It is not to be used for any other purpose without the prior written consent of the designer. It is the responsibility of the client to ensure that all necessary consents are obtained before proceeding with construction.

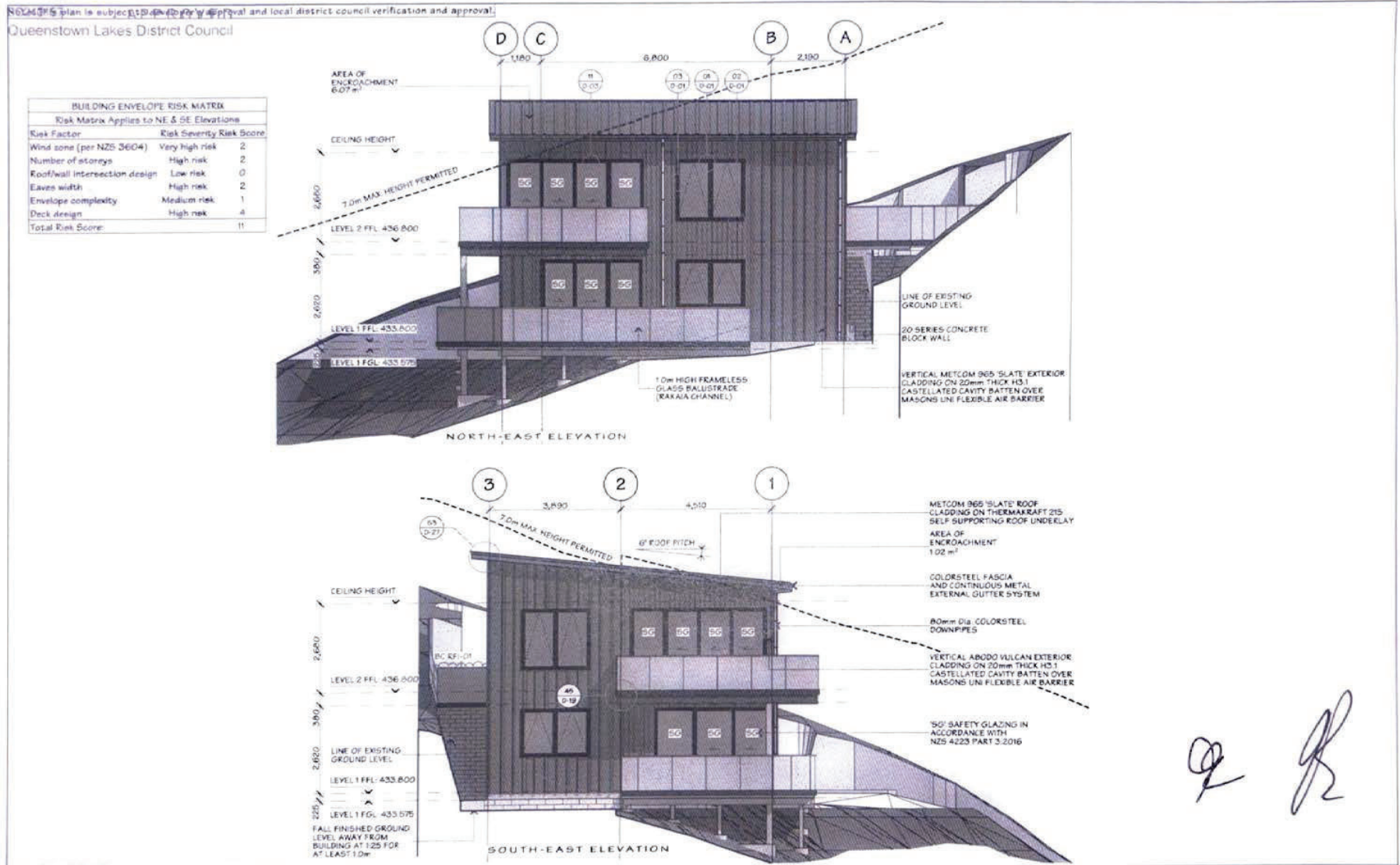
Additionally, it is noted for every all dimensions comply and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these standards may result in a stop order from the Council.

DATE OF ISSUE:
 23 FEB 24
 PUBLISHED REF NO.:
 240400 D154
 VERSION:
 WP-01

DESIGNER:
 XDD
 DRAWN:
 SM
 CHECKED:
 JAN

SCALE:
 1:100
 JOB #:
 22073

SHEET:
P-10
 TOTAL SHEETS: 56

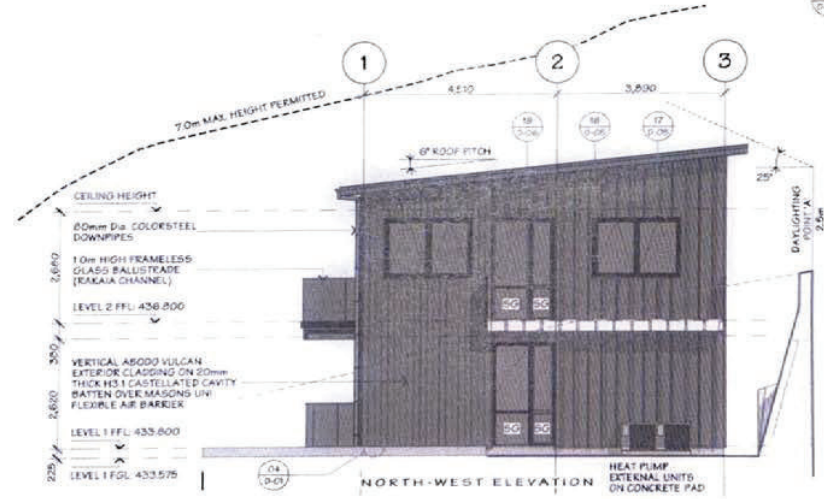
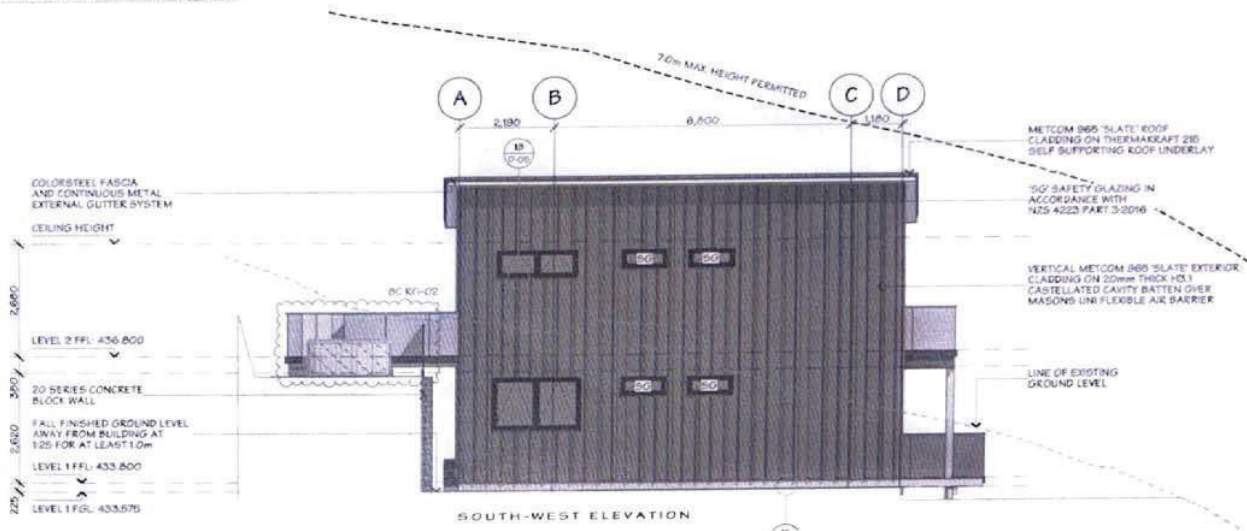


	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	ELEVATIONS - SHEET 01	LEGAL DESCRIPTION:	LOT 1 DP: 512366 ADDRESS: 101 ST PETERS PLACE, QUEENSTOWN	Agree Press & Drafting Ltd (D/D) have prepared these drawings for the purpose of obtaining a Resource Consent. Revised drawings may be required in the future or require further details, please consult D/D before proceeding with construction. Additionally, it is noted to verify all dimensions on site and ensure that all work complies with the Building Code and NZS 3604 standards. Failure to mark these conditions correctly may result in a stop order.	DATE OF ISSUE:	23 FEB 24	DESIGNER:	XDD	SCALE:	1:100	SHEET:	E-01
													TOTAL SHEETS: 56		

Not to scale. This plan is subject to the approval of the Council and local district council verification and approval.
 Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
 LOT 1
 DP: 51238A
 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

Version Control + Drafting Ltd (VCL) have prepared these drawings for the purpose of obtaining a Resource Consent. Client and drafter agree to be responsible for the drawings and require further details, please contact VCL before proceeding with construction.
 Add Nameplate. It's crucial to verify all dimensions on-site and ensure work on-site aligns with New Zealand Building Code and NORMAN standards. Follow for meet these standards otherwise liability issue \$\$\$

DATE OF ISSUE:
 23 FEB 24
 PUBLISHED REF NO.:
 2405141640
 VERSION:
 BC-RF1 02

DESIGNER:
 KGD
 DRAWN:
 DM
 CHECKED:
 JAM

SCALE:
 1:100
 JOB#:
 23073
 SHEET:
E-02
 TOTAL SHEETS: 56

AFFECTED PERSON'S APPROVAL

FORM 8A

Resource Management Act 1991 Section 95

#

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited



AFFECTED PERSON'S DETAILS

I/We George Lucas and Maree Patricia Lucas in care of Vukaduk Limited

Are the owners/occupiers of
11A St Peters Place, Queenstown



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A, 10B and 10C St Peters Place, Queenstown

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):

10A, 10B, 10C St Peters Place, Queenstown



PLEASE TICK

I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



PLEASE TICK

I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED




PLEASE TICK


I/We have sighted and initialled ALL plans dated and approve them.

3 April 2023 (10A Site Plans/Elevations), 8 May 2



The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) George Lucas	
	Contact Phone / Email address geolucass@hotmail.com 0211321843	
	Signature 	Date 26.1.26

B	Name (PRINT) Maree Patricia Lucas	
	Contact Phone / Email address maree@mfactorevents.co.nz. 021776864	
	Signature 	Date 26.1.26

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.
 There is no obligation to sign this form, and no reasons need to be given.
 If this form is not signed, the application may be notified with an opportunity for submissions.
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



Scale: 1:1,146

Document Set ID: 9564569
Version: 1, Version Date: 06/05/2026

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Garth



Sheet List				
Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A001	Notes sheet 1	A	Building Consent Issue	30/03/2022
A002	Notes sheet 2	A	Building Consent Issue	30/03/2022
A003	Notes sheet 3	A	Building Consent Issue	30/03/2022
A100	Site Plan	A	Building Consent Issue	30/03/2022
A110	Proposed Floor Plan - Garage	A	Building Consent Issue	30/03/2022
A111	Proposed Floor Plans	A	Building Consent Issue	30/03/2022
A120	Foundation Plans	A	Building Consent Issue	30/03/2022
A122	Level 2 Midfloor Plan	A	Building Consent Issue	30/03/2022
A125	Roof Plans	A	Building Consent Issue	30/03/2022
A126	Bracing Plans	A	Building Consent Issue	30/03/2022
A127	Proposed Drainage Plans	A	Building Consent Issue	30/03/2022
A128	Plumbing Schematic	A	Building Consent Issue	30/03/2022
A130	Fire Protection Plans	A	Building Consent Issue	30/03/2022
A133	Fire Protection Elevations	A	Building Consent Issue	30/03/2022
A141	Wall Framing Plan - Garage	A	Building Consent Issue	30/03/2022
A142	Wall Framing Plan	A	Building Consent Issue	30/03/2022
A200	Elevations	A	Building Consent Issue	30/03/2022
A201	Elevations	A	Building Consent Issue	30/03/2022
A300	Sections	A	Building Consent Issue	30/03/2022
A301	Sections	A	Building Consent Issue	30/03/2022
A302	Sections Deck	A	Building Consent Issue	30/03/2022
A303	Fire Protection Sections	A	Building Consent Issue	30/03/2022
A400	Abado Cladding Details	A	Building Consent Issue	30/03/2022
A401	Abado Cladding Details	A	Building Consent Issue	30/03/2022
A402	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A403	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A404	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A405	Metalcraft ESPAN Roofing	A	Building Consent Issue	30/03/2022
A406	Masonry Block - Schist	A	Building Consent Issue	30/03/2022
A407	Masonry Block - Schist	A	Building Consent Issue	30/03/2022
A408	Deck - Nuroply Details	A	Building Consent Issue	30/03/2022
A409	Deck - Nuroply Details	A	Building Consent Issue	30/03/2022
A410	Deck - Nuroply Details	A	Building Consent Issue	30/03/2022
A411	Timber Deck Details	A	Building Consent Issue	30/03/2022
A412	Fire & Acoustic Details	A	Building Consent Issue	30/03/2022
A413	Fire & Acoustic Details	A	Building Consent Issue	30/03/2022
A414	Lintel Fixings	A	Building Consent Issue	30/03/2022
A415	Retaining Wall Waterproofing	A	Building Consent Issue	30/03/2022
A416	Shower Waterproofing details	A	Building Consent Issue	30/03/2022
A420	Internal Details	A	Building Consent Issue	30/03/2022
A421	Internal Moisture Details	A	Building Consent Issue	30/03/2022
A530	Ensuite plans L1	A	Building Consent Issue	30/03/2022
A531	Ensuite plans L2	A	Building Consent Issue	30/03/2022
A611	Door Schedule - Garage	A	Building Consent Issue	30/03/2022
A612	Door Schedule - L1	A	Building Consent Issue	30/03/2022
A613	Door Schedule - L2	A	Building Consent Issue	30/03/2022
A711	Window Schedule - Garage	A	Building Consent Issue	30/03/2022
A712	Window Schedule - L1	A	Building Consent Issue	30/03/2022
A713	Window Schedule - L2	A	Building Consent Issue	30/03/2022

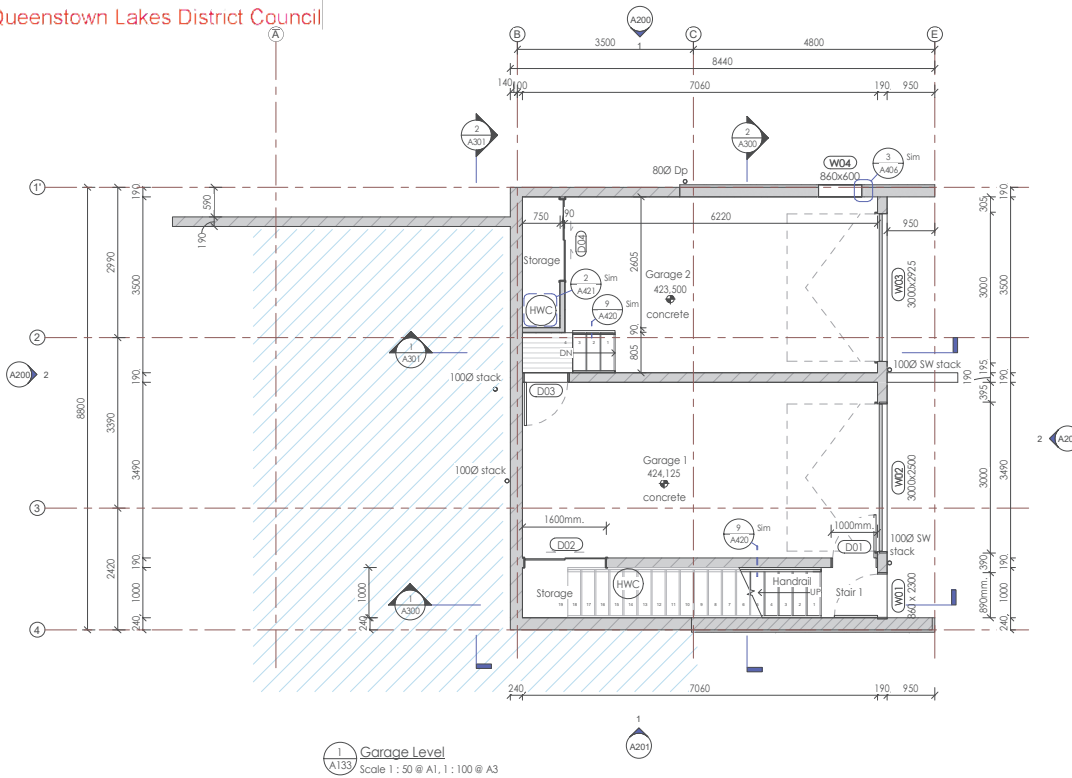
Project number 7382

Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown

Building Consent



76 / 331 Rosedale Road - Albany - Auckland
PO Box 301 935 - Albany - Auckland 0752
P: +64 9 915 5345 - W: fatparrot.co.nz



Building one foundation
and block walls completed
as part of stage 1 -
BC221652

REV	DATE	DESCRIPTION
A	03/03/2023	Building Consent Issue
B	14/04/2023	RFI

FLOOR AREAS:
Garage Level
O/A Foundation: - 66.30m²
Level 1: (GFA unit - 70m²) - 83.65m²
Level 2: (GFA unit - 79m²) - 86.40m²
Total Floor area: 236.35m²
excludes patios and porches

Interior Stair 1
19 risers: 178 mm
Treads: 280 mm
incl. 20mm nosing

Interior Stair 2
17 risers: 188 mm
Treads: 280 mm
incl. 20mm nosing

Exterior Stair
Max riser: 190 mm
Min treads: 300 mm

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Building Consent

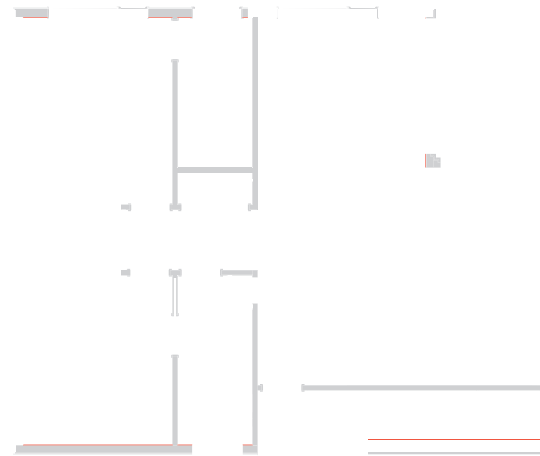
NOTE: All work to comply with the NZ Building Code. Contractor must verify all dimensions, levels and angles on site before commencing work. Read in conjunction with specifications plus other consultants and manufacturers documents. Refer any discrepancies to the Architect. Do not scale. No system or material substitutions without written approval. These drawings are Copyrighted and are only to be used for the projects and purposes for which they were supplied by Fat Parrot Architecture.



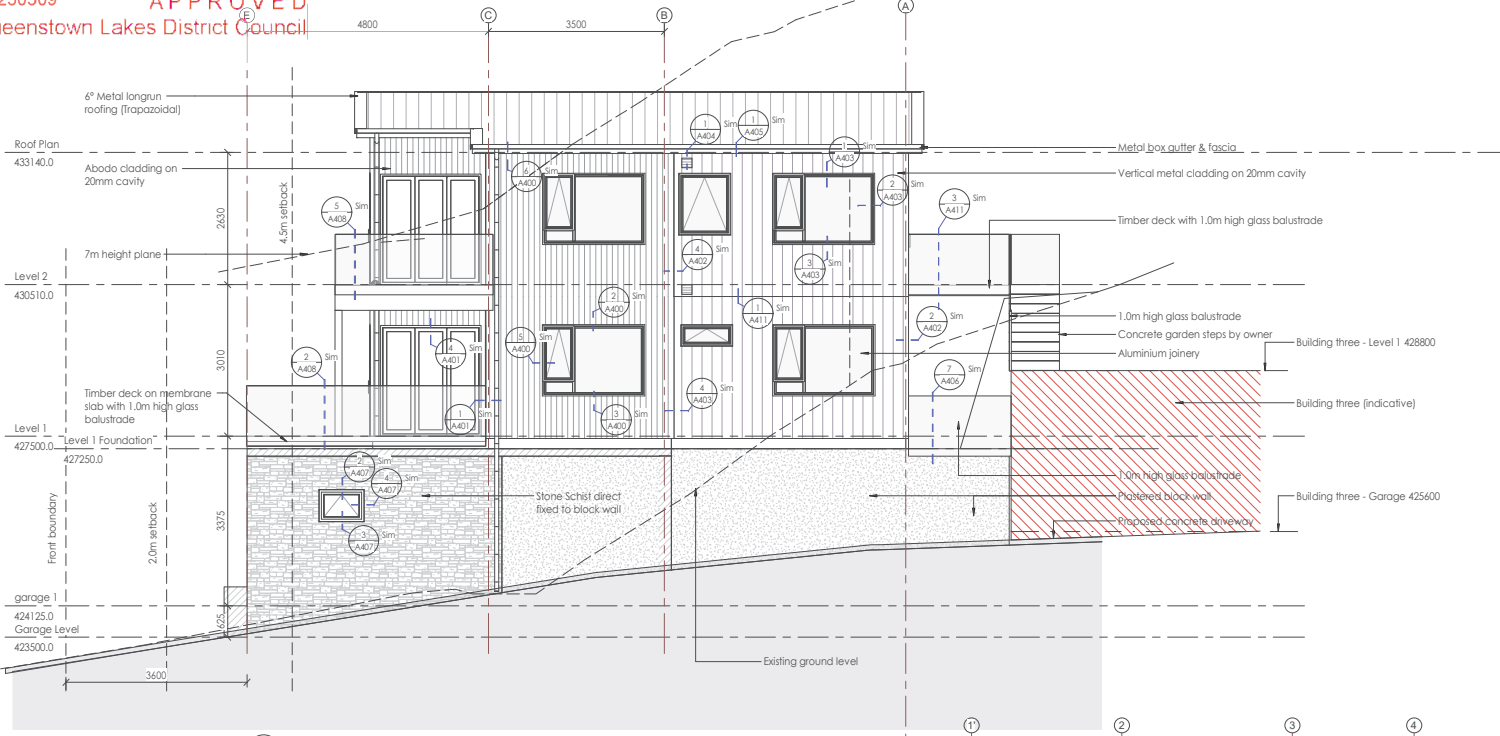
7b / 331 Rosedale Road - Albany - Auckland
PO Box 301 935 - Albany - Auckland 0702
P: +64 9 915 5345 - W: fatparrot.co.nz

PROJECT
Proposed Multi-Unit Dwelling -
Bld. 1 Stage 2 for Jason & Dan
Glew & Proappt Trustees Ltd
10A St Peters Place,
Queenstown

Proposed Floor Plan - Garage	
SCALE @ A1: 1:50	DATE: 2021
SCALE @ A3:	
PROJECT No:	REVISION
7382	A110 B



REV	DATE	DESCRIPTION
A	03/04/2023	Building Consent Issue



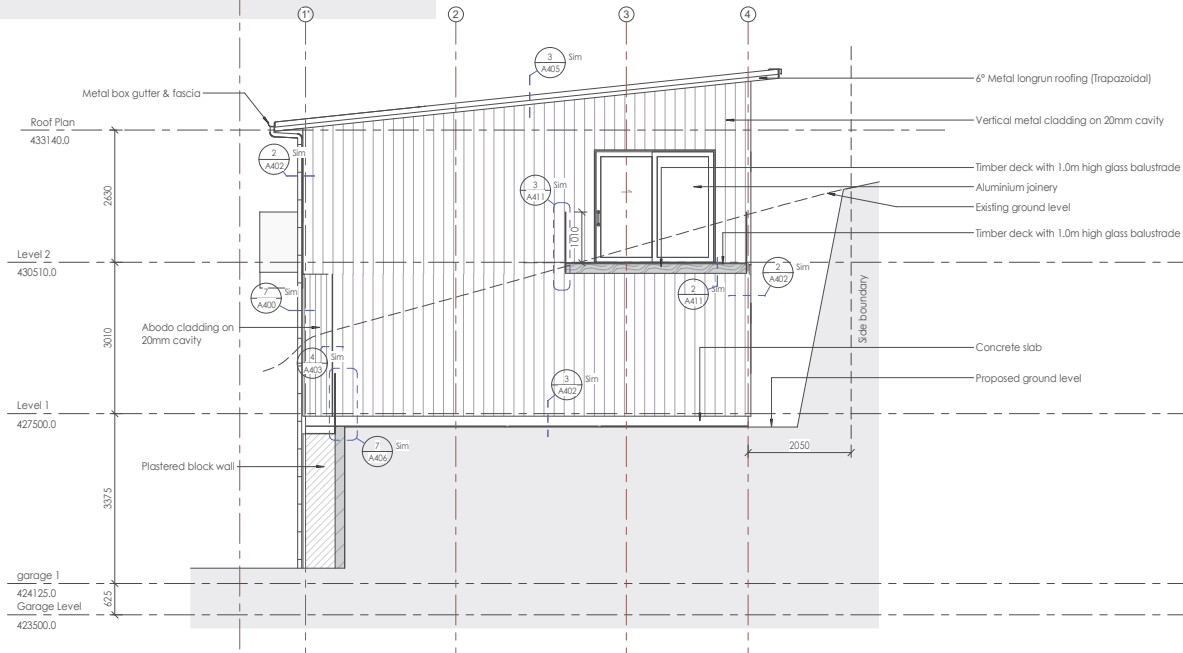
RISK MATRIX - All Elevations

Risk factor	LOW	MED	HIGH	V.H.	Subtotals
Wind Zone (per NZS3604)	0	0	1	2	2
Number of storeys	0	1	2	4	2
Roof/Wall intersection design	0	1	3	5	0
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	3
Deck design	0	2	4	6	6
Total risk score					18

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1 Elevation 1
Scale 1:50 @ A1, 1:100 @ A3



Building Consent

NOTE: All work to comply with the NZ Building Code. Contractor must verify all dimensions, levels and angles on site before commencing work. Read in conjunction with specifications plus other consultants and manufacturers documents. Refer any discrepancies to the Architect. Do not scale. No system or material substitutions without written approval. These drawings are Copyrighted and are only to be used for the projects and purposes for which they were supplied by Fat Parrot Architecture.



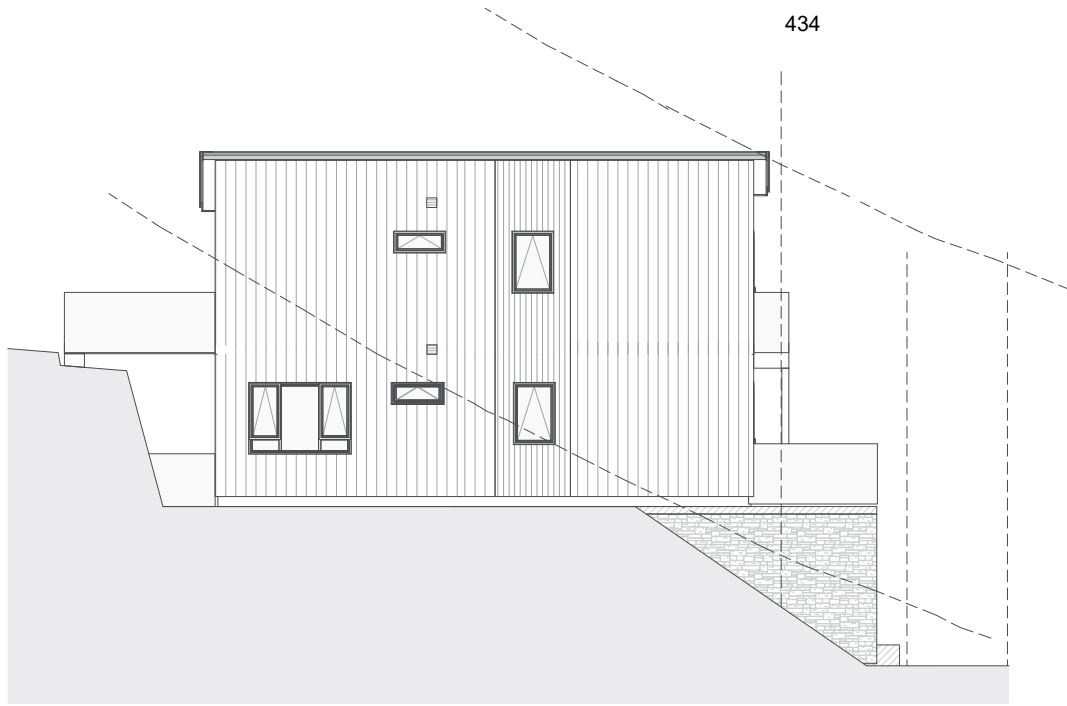
7b / 331 Rosedale Road - Albany - Auckland
PO Box 301 935 - Albany - Auckland 0702
P: +64 9 915 5345 - W: fatparrot.co.nz

PROJECT
Proposed Multi-Unit Dwelling -
Bld. 1 Stage 2 for Jason & Dan
-Glew & Proopt Trustees Ltd
10A St Peters Place,
Queenstown

SCALE @ A1:	DATE:	
As Indicated	2021	
PROJECT No:	SHEET No:	REVISION
7382	A200	A

2 Elevation 2
Scale 1:50 @ A1, 1:100 @ A3

434



PROPOSED MULTI-UNIT DWELLING - BLDG. 3
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN



SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	E-03	WEST ELEVATION
P-02	SITE PLAN	E-04	SOUTH ELEVATION
P-03	SEDIMENT CONTROL PLAN	S-01	CROSS SECTION A-A
P-04	GARAGE DRAINAGE PLAN	S-02	CROSS SECTION B-B
P-05	LEVEL 1 DRAINAGE PLAN	S-03	CROSS SECTION C-C
P-06	LEVEL 2 DRAINAGE PLAN	S-04	SCHEDULE OF DOORS
P-07	PLUMBING SCHEMATIC	S-05	SCHEDULE OF WINDOWS
P-08	ROOF CATCHMENT PLAN	D-01	FOUNDATION DETAILS
P-09	GARAGE FLOOR PLAN	D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
P-10	GARAGE DIMENSION PLAN	D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN	D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
P-12	LEVEL 1 FLOOR PLAN	D-05	VERT. ABODO VULCAN & BASE DETAILS
P-13	LEVEL 1 DIMENSION PLAN	D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
P-15	LEVEL 2 FLOOR PLAN	D-08	VERT. ABODO VULCAN ROOF DETAILS
P-16	LEVEL 2 DIMENSION PLAN	D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
P-18	GARAGE FOUNDATION PLAN	D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
P-19	LEVEL 1 FOUNDATION PLAN	D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT	D-13	HANDRAIL/STAIRCASE DETAIL
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-15	SHOWER/WET AREA DETAILS
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-24	GARAGE BRACING PLAN	D-17	HWC & SEISMIC RESTRAINT DETAILS
P-25	LEVEL 1 BRACING PLAN	D-18	FIRE RATED WALL DETAILS - SHEET 01
P-26	LEVEL 2 BRACING PLAN	D-19	FIRE RATED WALL DETAILS - SHEET 02
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS	D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS	D-21	FIRE RATED JUNCTION DETAILS
P-29	BRACE FIXING DETAILS	D-22	FIRE RATED PENETRATION DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN	D-23	FIRE RATED ROOF DETAILS
P-31	LEVEL 1 ELECTRICAL PLAN	D-24	CONCRETE DECK DETAILS - SHEET 01
P-32	LEVEL 2 ELECTRICAL PLAN	D-25	CONCRETE DECK DETAILS - SHEET 02
E-01	NORTH ELEVATION	D-26	TIMBER DECK DETAILS
E-02	EAST ELEVATION	D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
		D-28	FLOOR JOIST STIFFENER

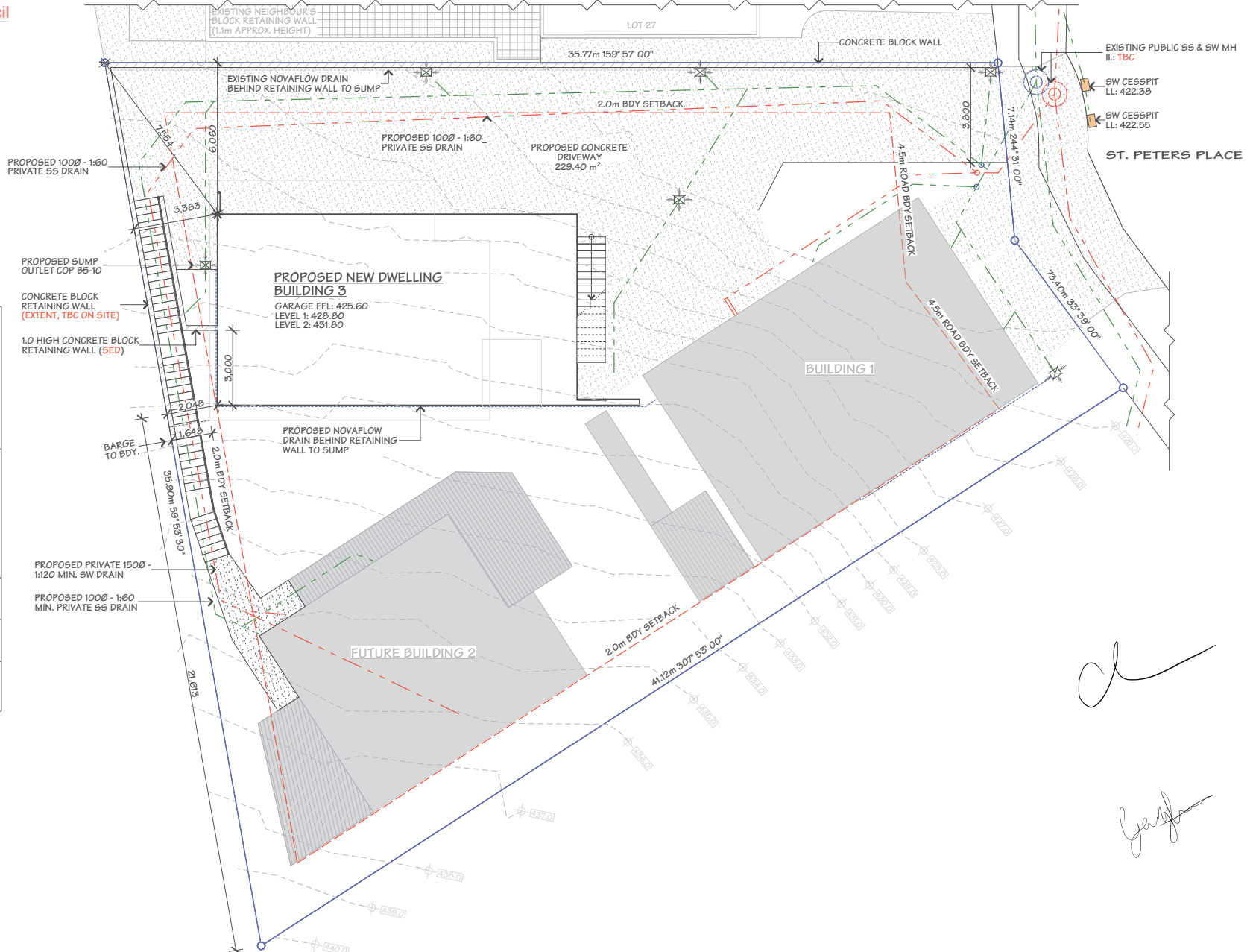
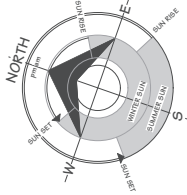


REV.	COLOUR	ISSUED BY	REVISION	DATE OF ISSUE
1	BC RFI-01	XDD	BC RFI	05.08.24
2	BC RFI-02	XDD	BC RFI	05.17.24

DATE: 08 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	

Not this plan is subject to RDA approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE VERY HIGH
EARTHQUAKE ZONE 3
CORROSION ZONE B
SNOW LOADING N5 (450m)

BUILDING FOOTPRINT: 110.76m²
SITE COVERAGE: 12.31% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY, A BARRIER COMPLYING WITH TABLE 1, NZBC F5/AS1 IS AN ACCEPTABLE SOLUTION

- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1.2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL, JOB NO. 51746

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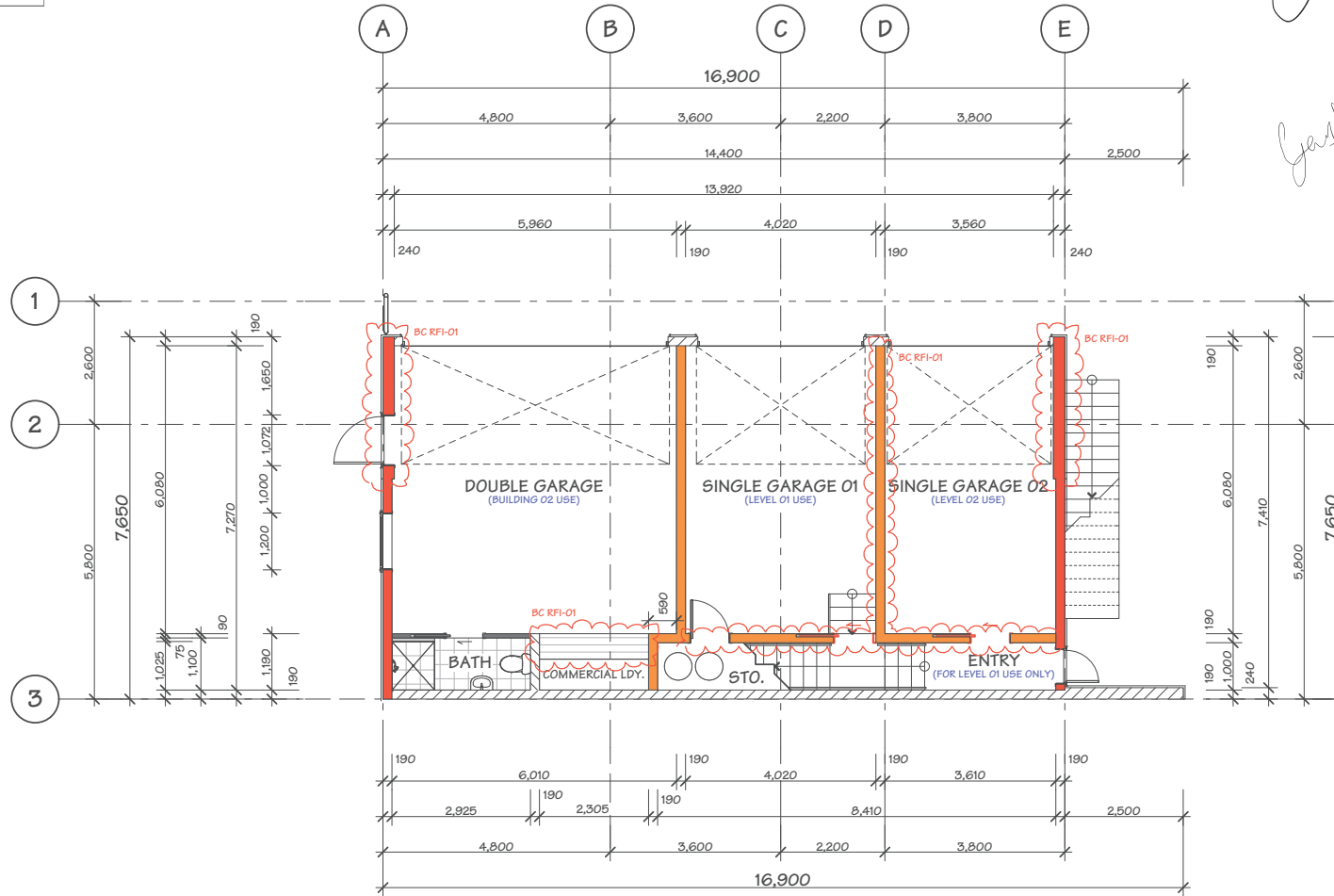


JOB TITLE: JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE: SITE PLAN	LEGAL DESCRIPTION: LOT: 1 DP: 512388 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN	Xpress Design + Drafting Ltd. (XDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult XDD before proceeding with construction. Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions removes any liability from XDD.	DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:150	SHEET: P-02
				PUBLISHED REF NO.: 240307.1920	DRAWN: JAM		
			VERSION: WD-01	REV. NO.: 01	CHECKED: MS	TOTAL SHEETS: 70	

Not a final plan is subject to developer approval and local district council verification and approval.

NOTES
 1. BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 2. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 3. DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 4. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE

Handwritten signatures and initials



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

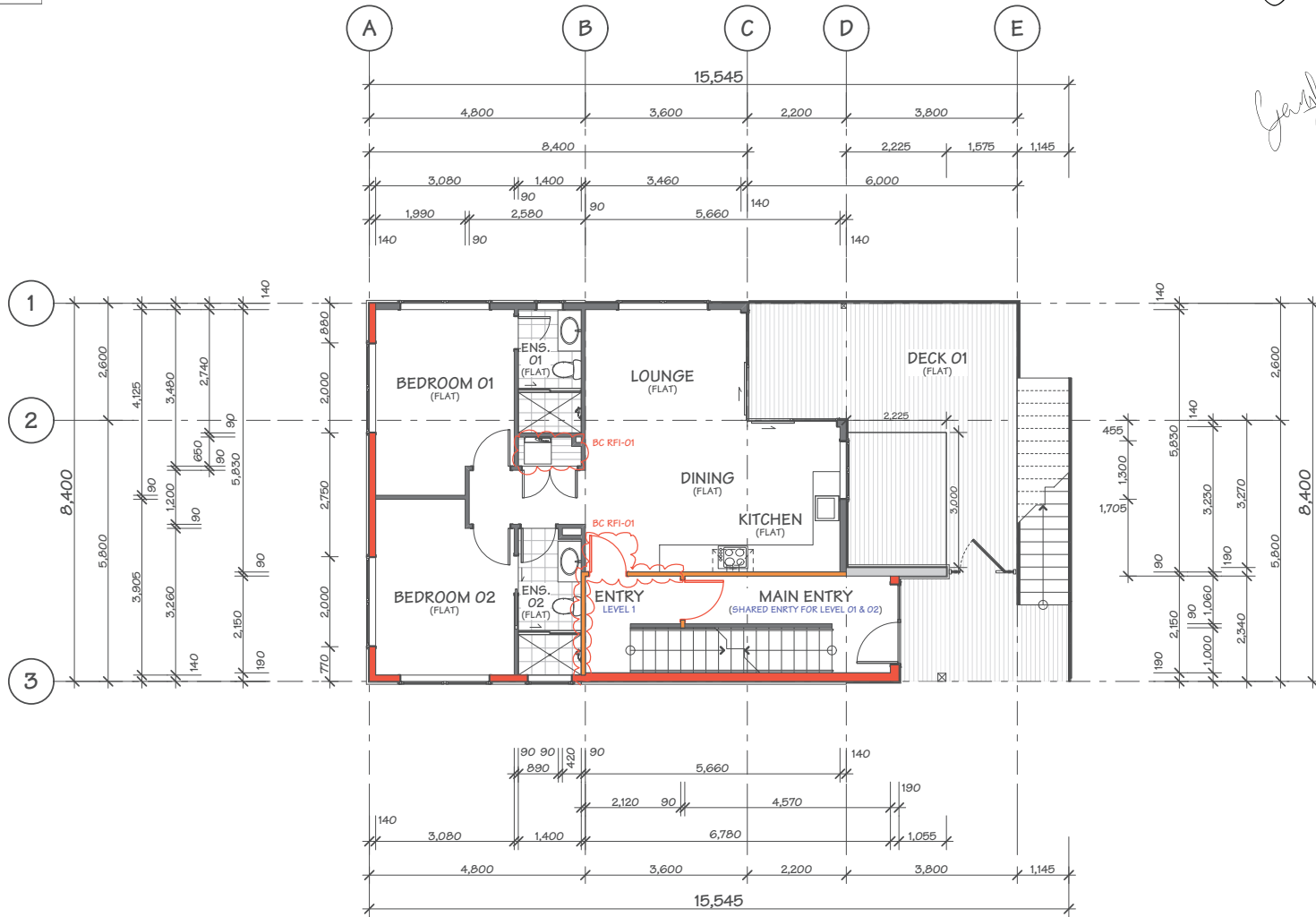
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

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PUBLISHED REF NO.: 240508.1520	DRAWN: JAM	JOB#:	
VERSION: BC RFI-01	REV. NO. 01	CHECKED: MS	

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NOTES
 BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

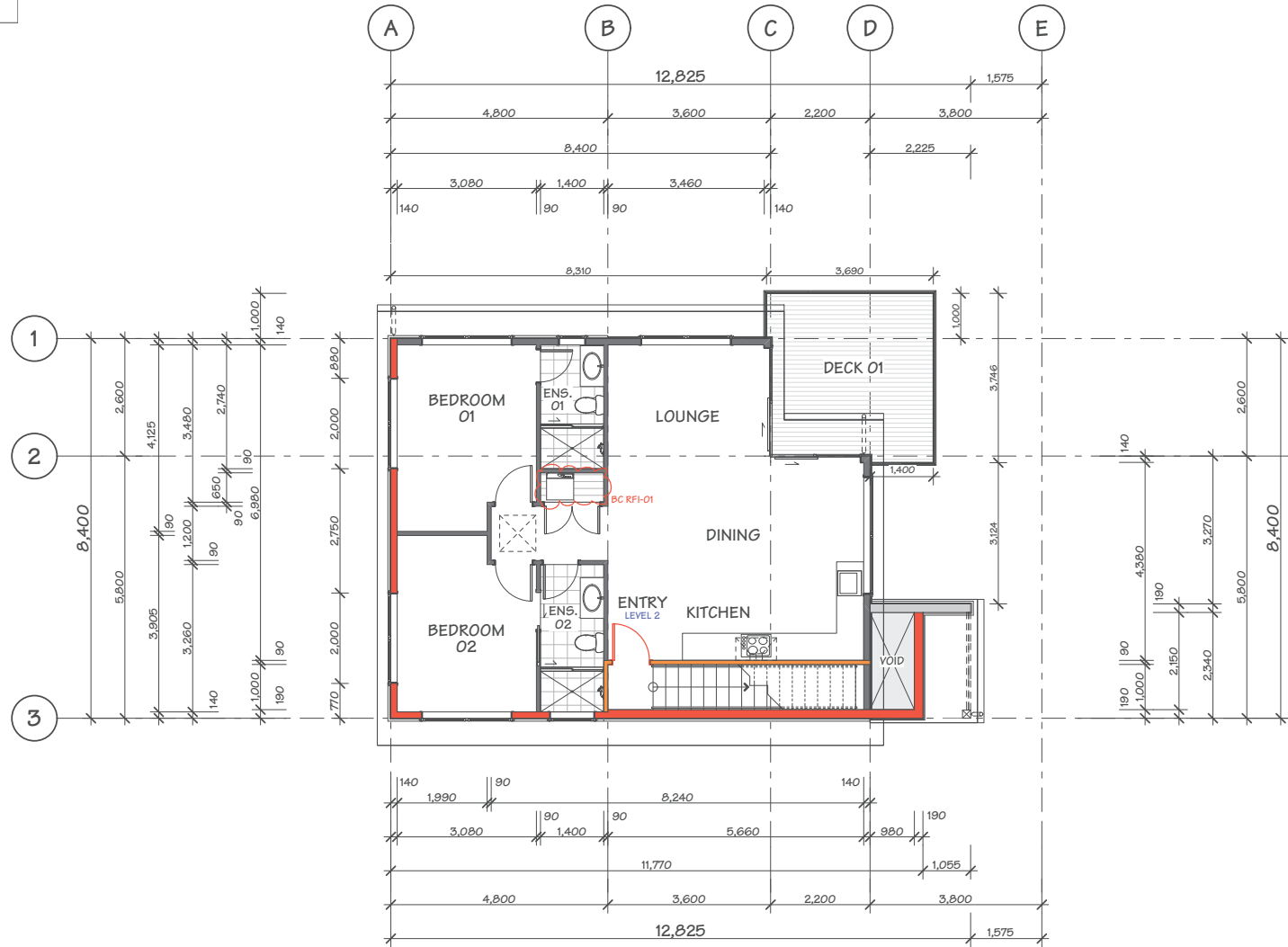
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

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PUBLISHED REF NO.: 240508.1520		DRAWN: JAM		
VERSION: BC RFI-01	REV. NO. 01	CHECKED: MS	JOB#: 23074	TOTAL SHEETS: 70

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NOTES
 BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

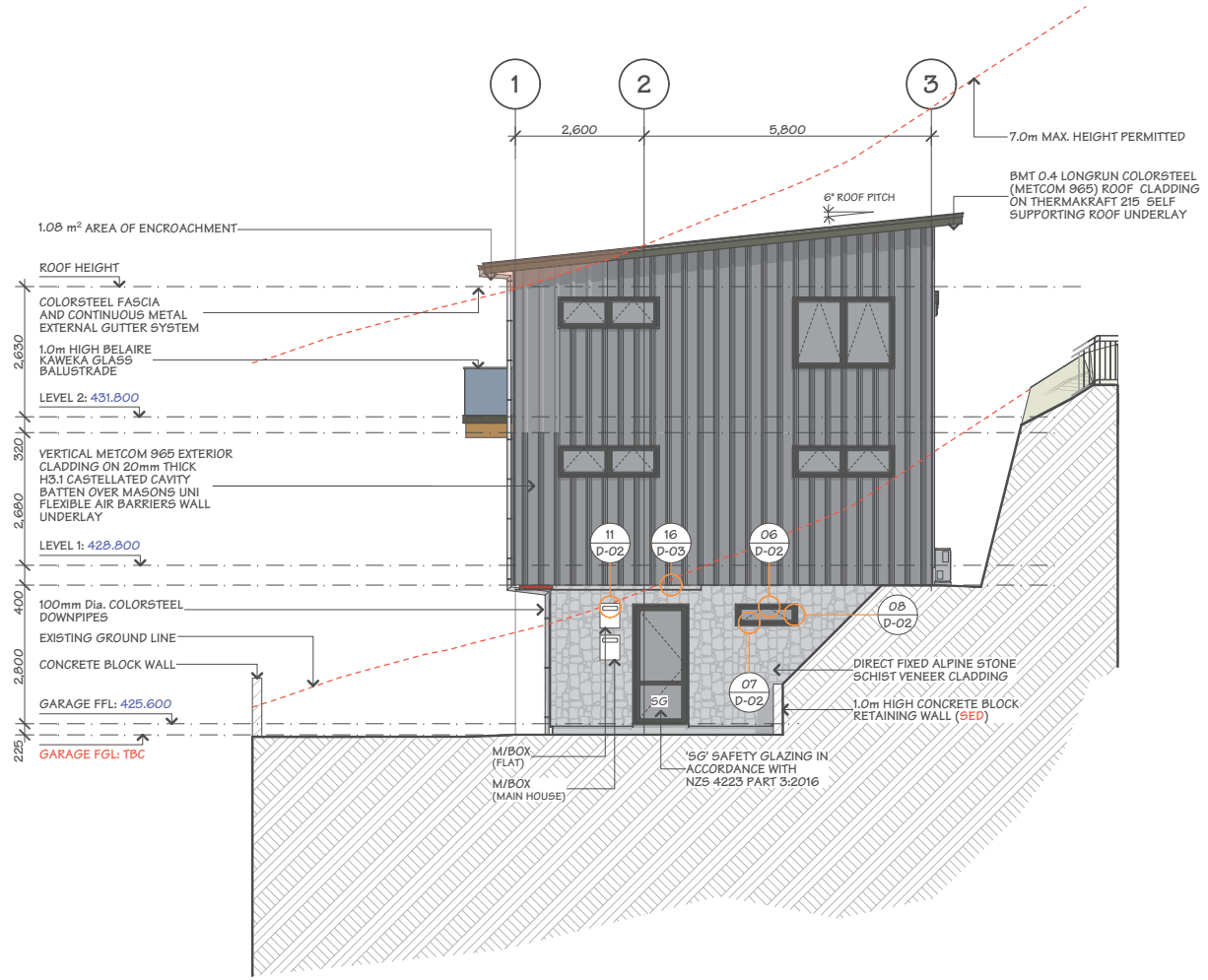
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PUBLISHED REF NO.: 240508.1520		DRAWN: JAM		
VERSION: BC RFI-01	REV. NO. 01	CHECKED: MS	JOB#: 23074	TOTAL SHEETS: 70

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Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		14



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Gardner



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

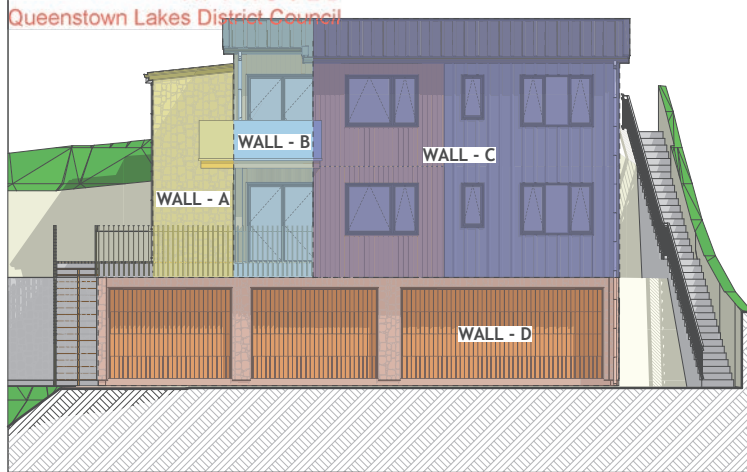
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

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PUBLISHED REF NO.: 240307.1920	DRAWN: JAM	JOB#: 23074	
VERSION: WD-01	REV. NO. 01	CHECKED: MS	TOTAL SHEETS: 70

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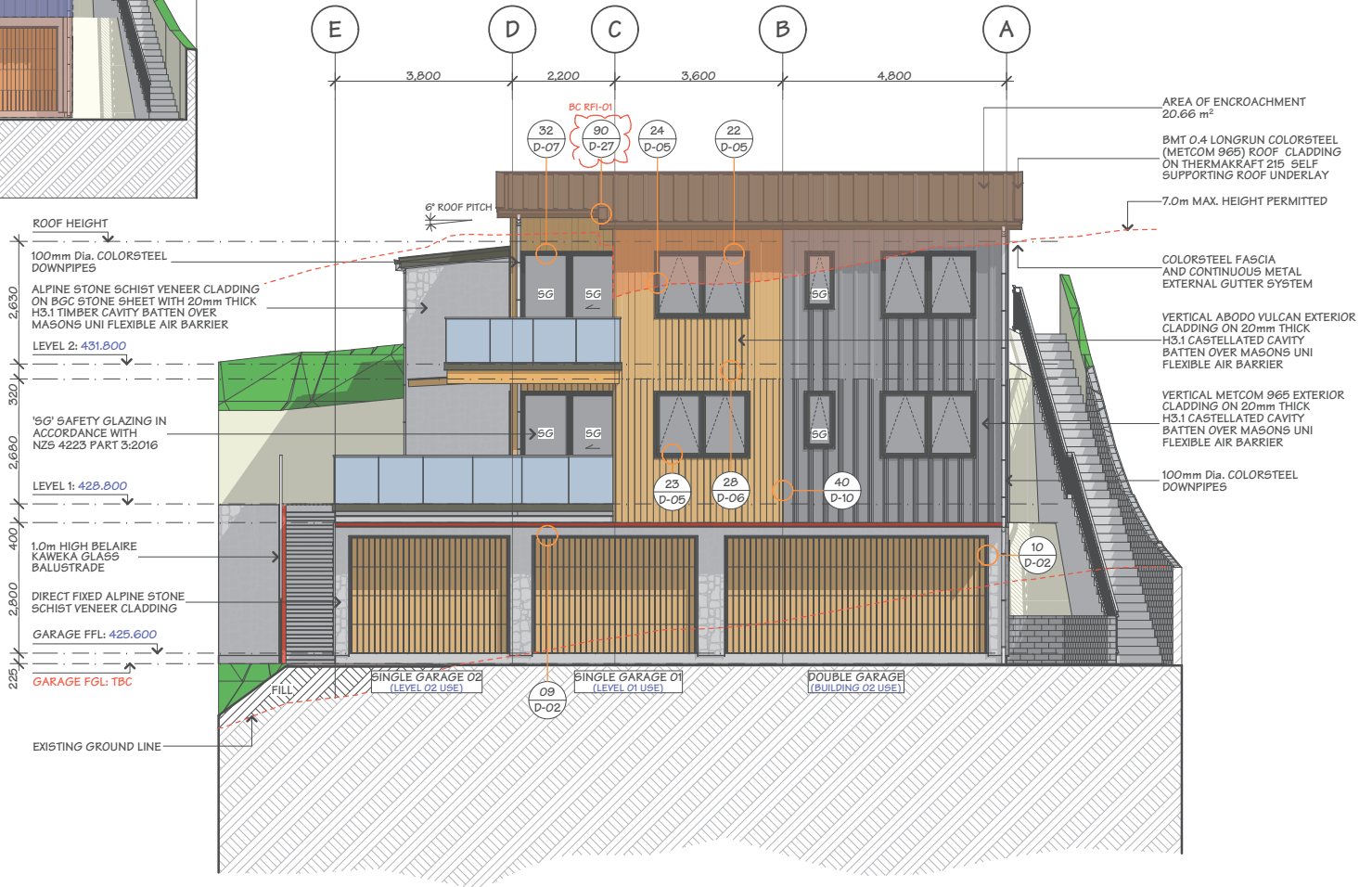
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BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		7

BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
EAST ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

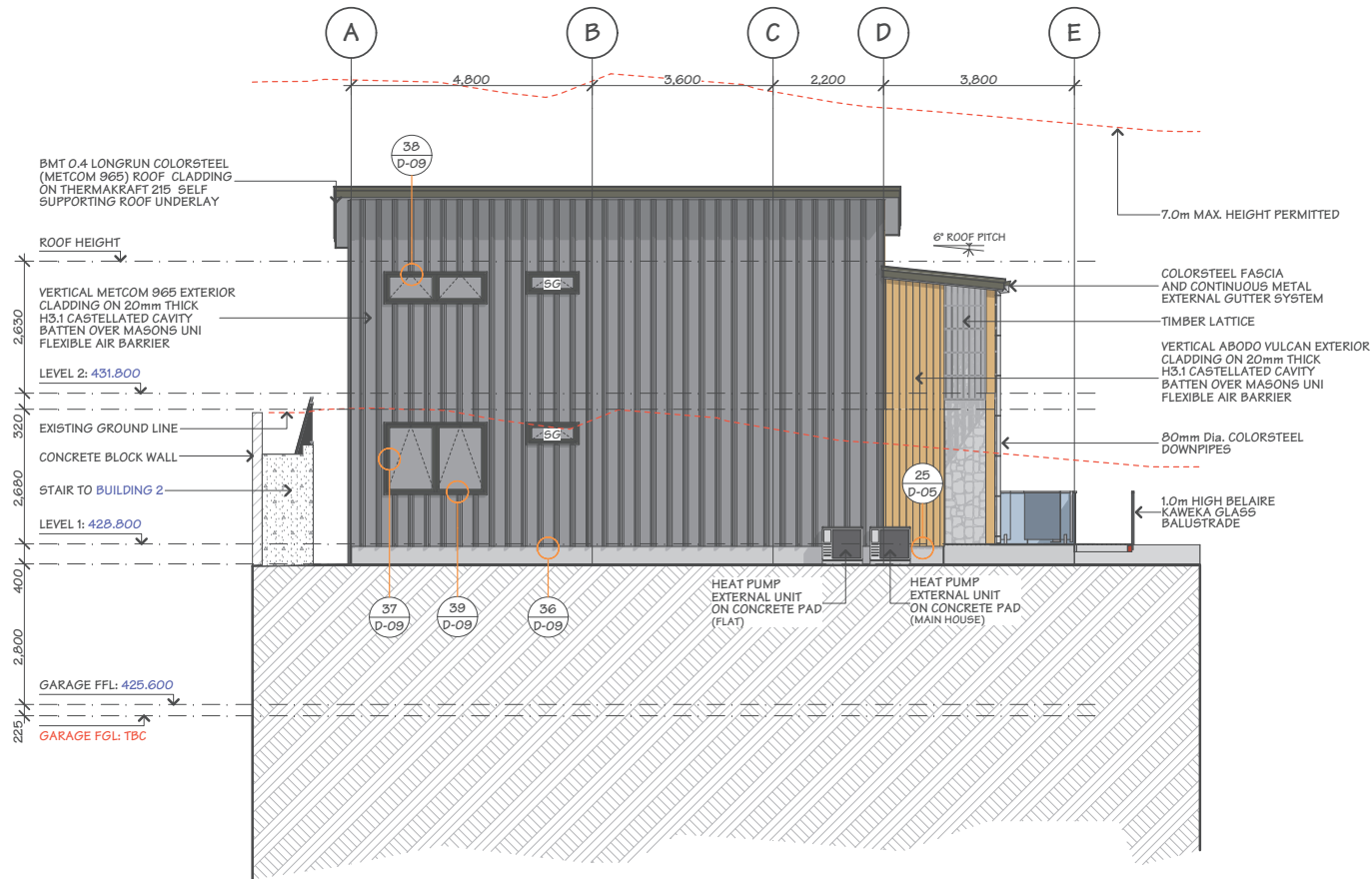
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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: E-02
PUBLISHED REF NO.: 240508.1520	DRAWN: JAM	JOB#: 23074	
VERSION: BC RFI-01	REV. NO. 01	CHECKED: MS	TOTAL SHEETS: 70

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Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High risk	3
Deck design	Medium risk	2
Total Risk Score:		13



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

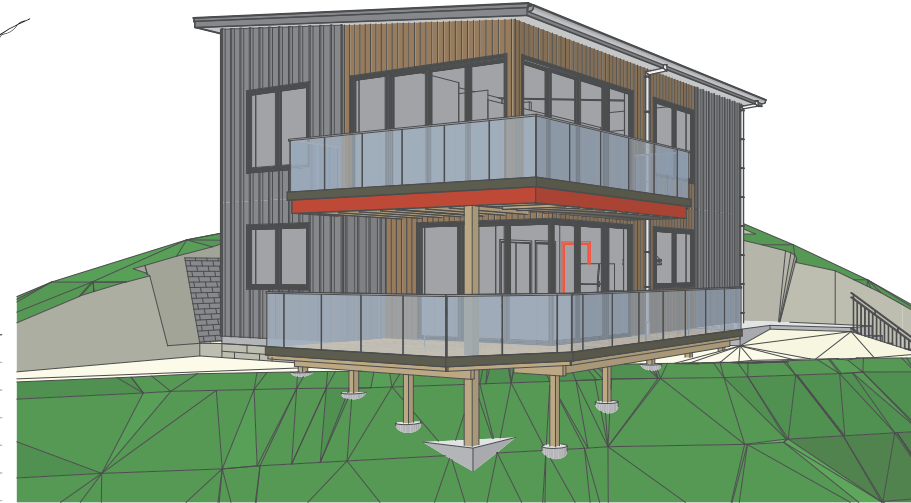
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

Xpress Design + Drafting Ltd. (XDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult XDD before proceeding with construction.
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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: E-03
PUBLISHED REF NO.: 240307.1920	DRAWN: JAM	JOB#: 23074	
VERSION: WD-01	REV. NO. 01	CHECKED: MS	TOTAL SHEETS: 70

558

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN



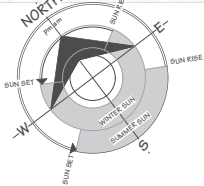
SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWC & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS



REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE:	DATE:	23 FEB 24	SHEET:	P-01
	XDD	BC RFI-01	05.09.24	JOB #:	23073	TOTAL SHEETS:	56
	XDD	BC RFI-02	05.14.24	COVER PAGE			
	XDD	BC RFI-03	05.20.24				
SCALE: NOT TO SCALE							

This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE VERY HIGH
EARTHQUAKE ZONE 3
CORROSION ZONE B
SNOW LOADING N5 (450m)

BUILDING FOOTPRINT: 80.17m²
SITE COVERAGE: 8.91% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F5/A51 IS AN ACCEPTABLE SOLUTION

- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

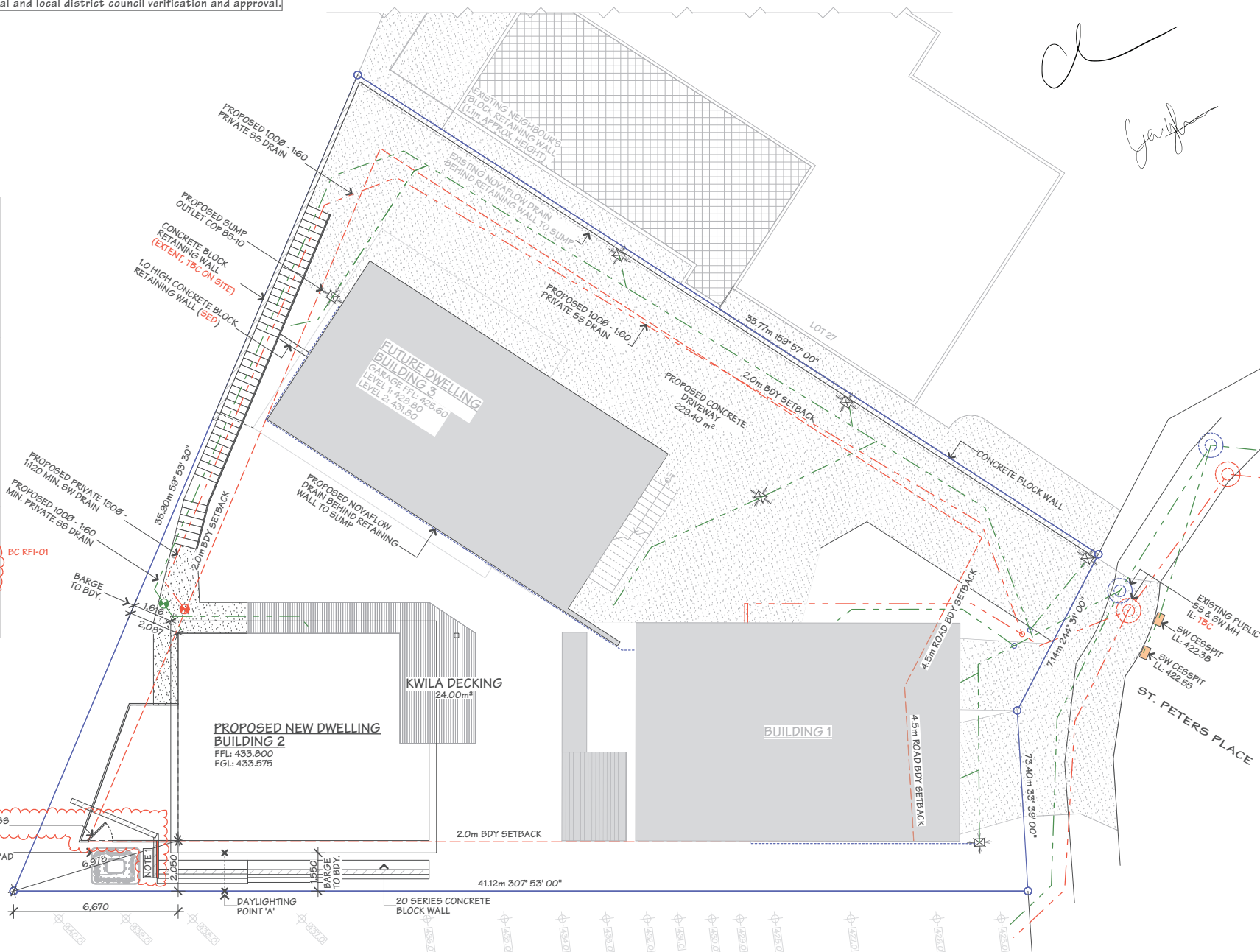
DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK

NOTE 1:

1.0m HIGH FRAMELESS GLASS BALUSTRADE (RAKAIA CHANNEL)

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL, JOB NO. 51746



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SITE PLAN

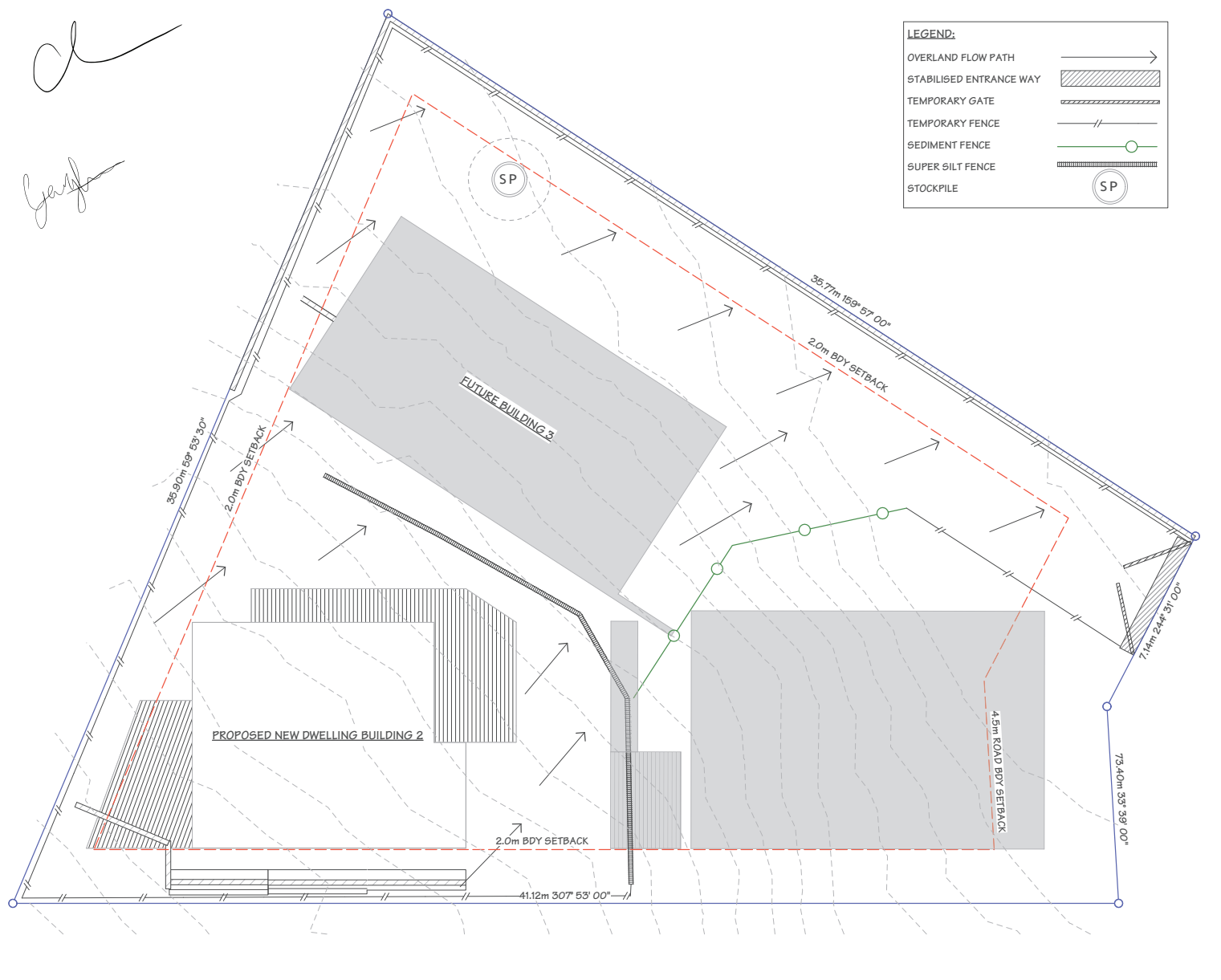
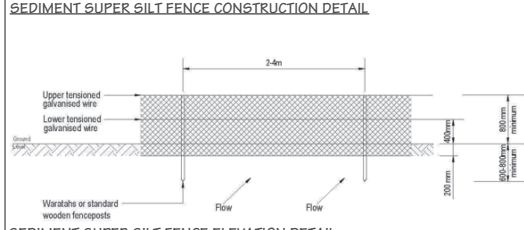
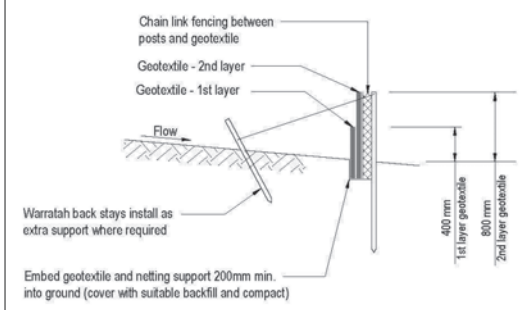
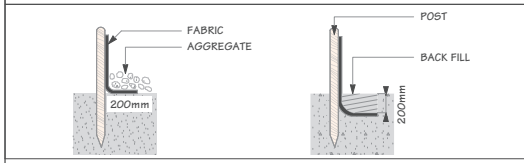
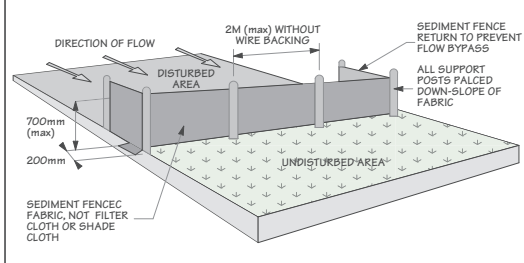
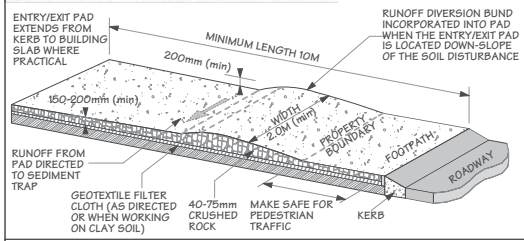
LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:150	SHEET: P-02
PUBLISHED REF NO.: 240514.1440		DRAWN: DM		
VERSION: BC-RFI 02	REV. NO. 01	CHECKED: JAM	23073	TOTAL SHEETS: 56

NOTES: This plan is subject to developer approval and local district council verification and approval.

STABILISED ENTRY/EXIT PAD - BUILDING SITES



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

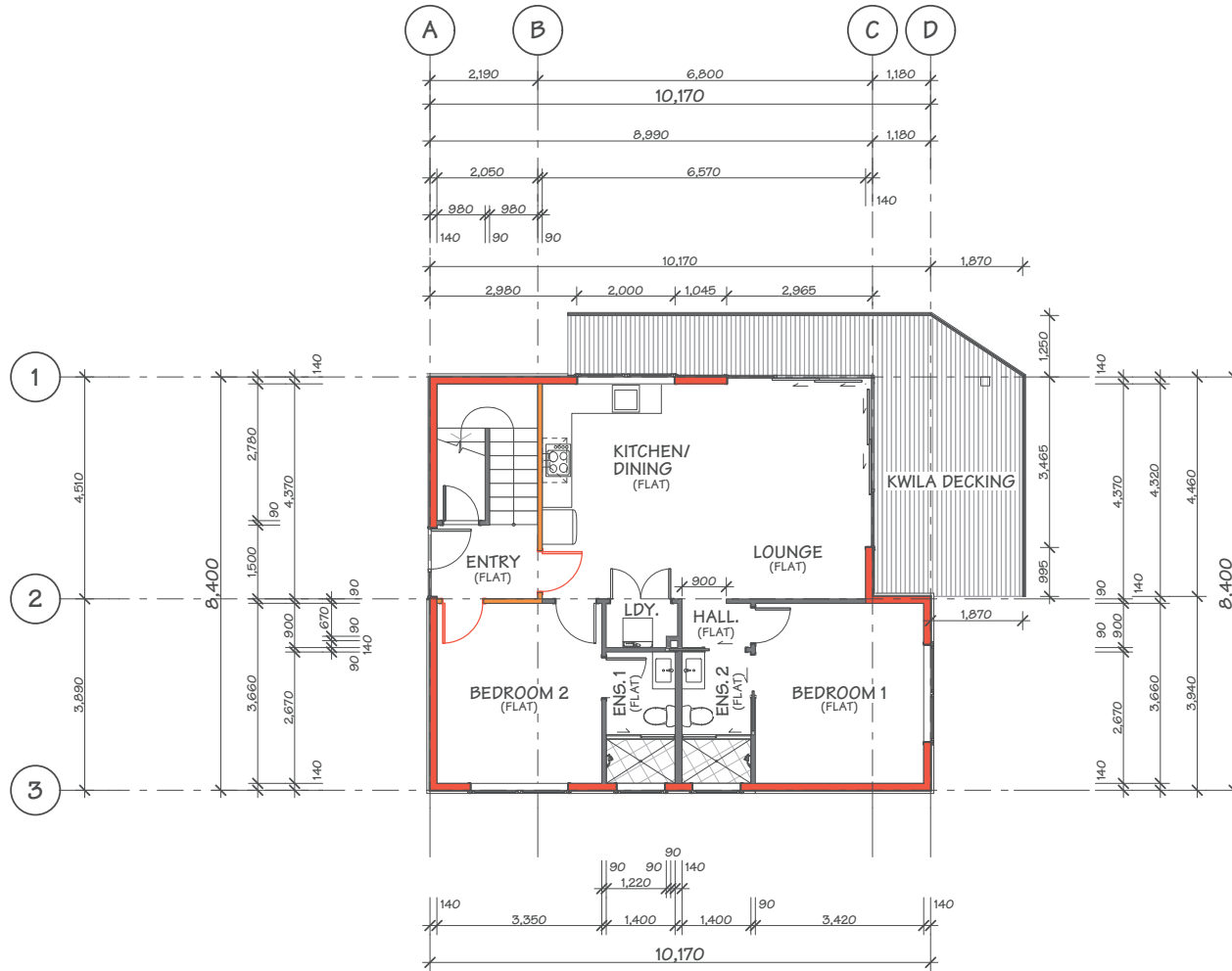
DRAWING TITLE:
SEDIMENT CONTROL PLAN

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:150	SHEET: P-03
PUBLISHED REF NO.: 240409.0154		DRAWN: DM		
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	23073	TOTAL SHEETS: 56

Note: This plan is subject to Resource Management Act approval and local district council verification and approval.

Queenstown Lakes District Council



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

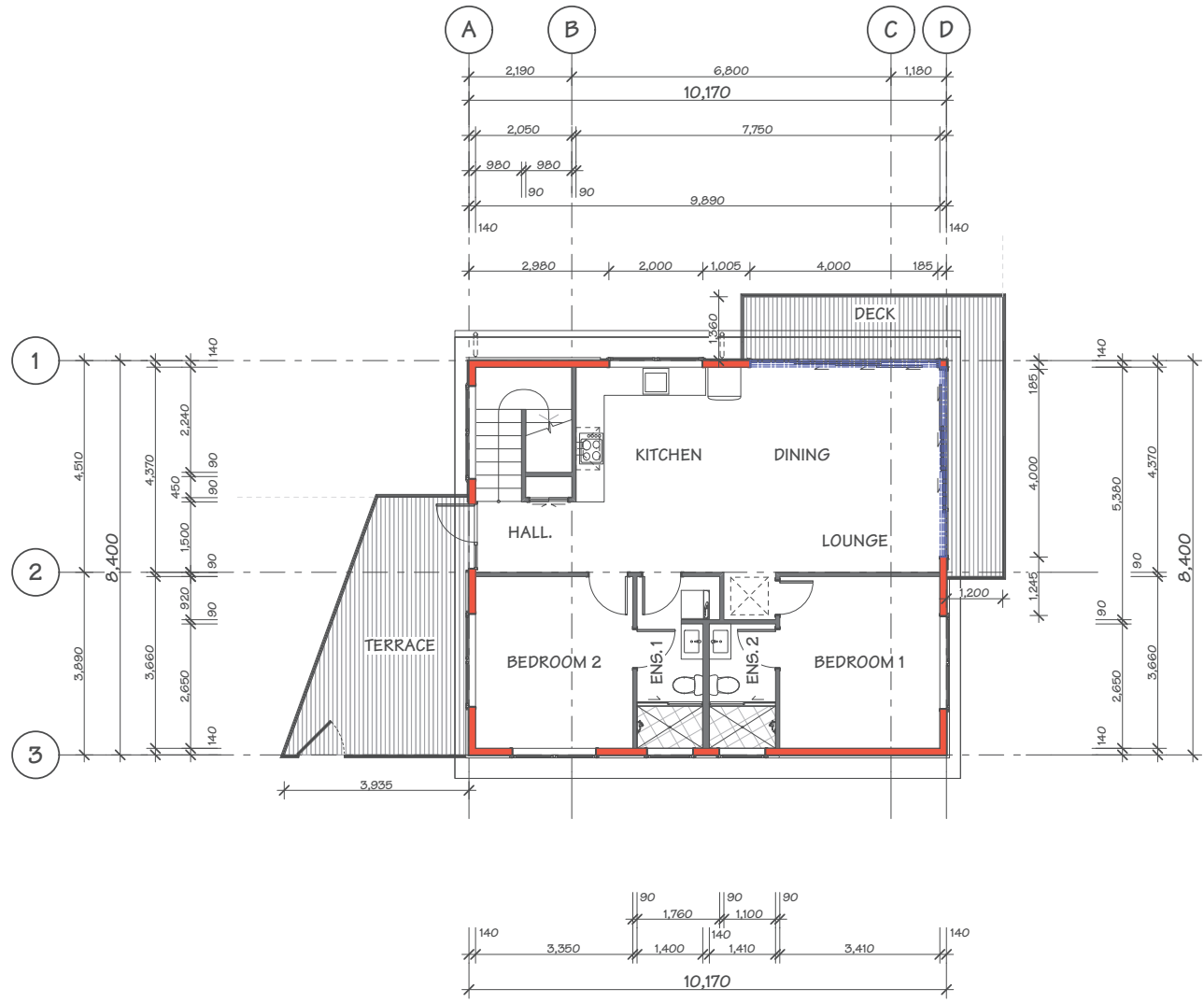
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

Xpress Design + Drafting Ltd. (XDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult XDD before proceeding with construction.
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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-08
PUBLISHED REF NO.: 240409.0154	DRAWN: DM	JOB#: 23073	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56

This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

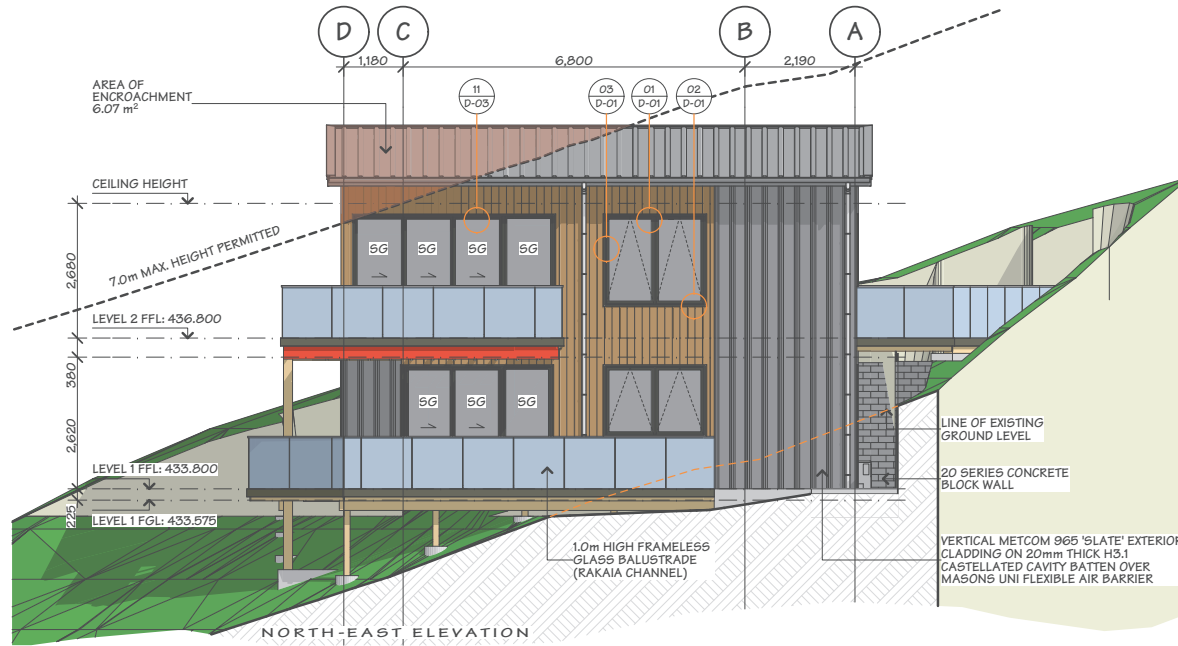
Xpress Design + Drafting Ltd. (XDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult XDD before proceeding with construction.
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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 240409.0154	DRAWN: DM	JOB#: 23073	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56

This plan is subject to developer approval and local district council verification and approval.

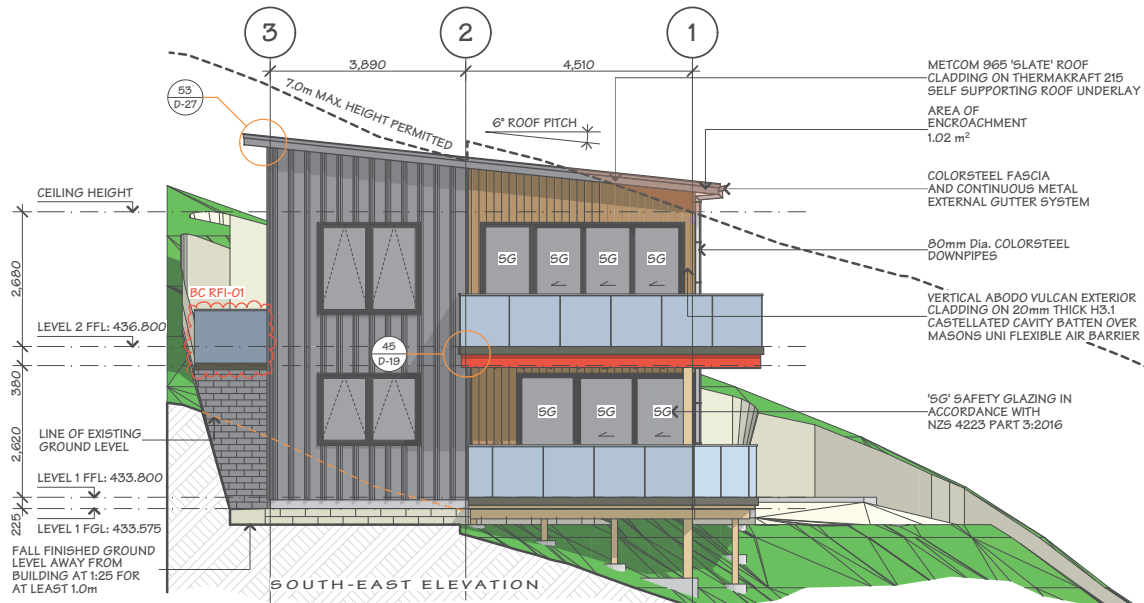
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 01

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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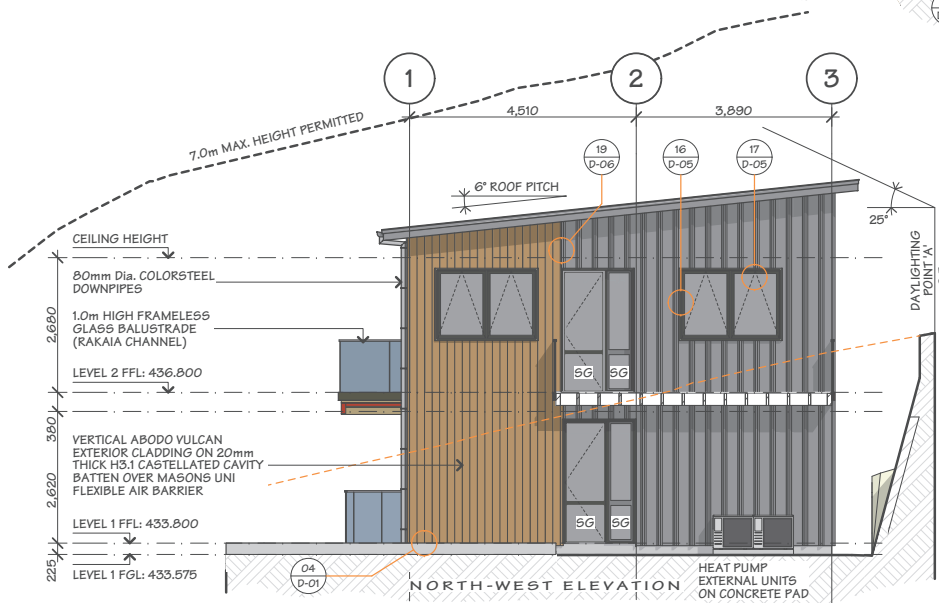
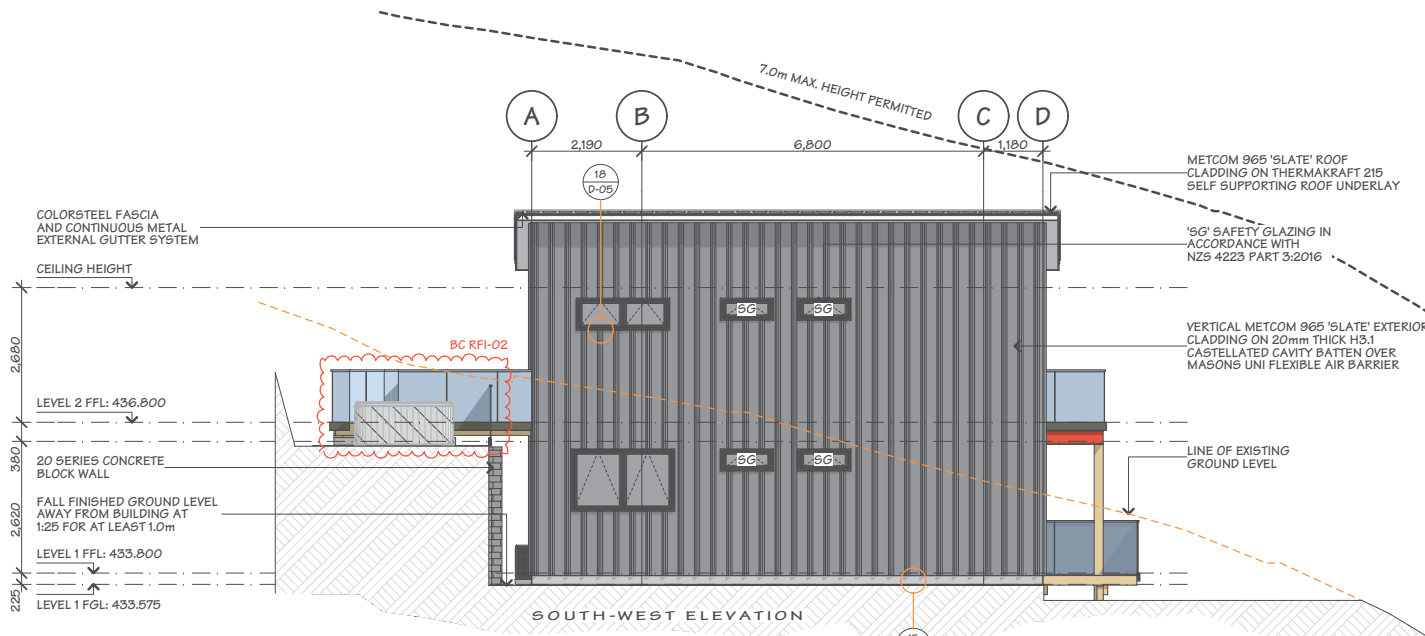
DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: E-01
PUBLISHED REF NO.: 240509.1050		DRAWN: DM		
VERSION: BC-RFI 01	REV. NO. 02	CHECKED: JAM	JOB#: 23073	TOTAL SHEETS: 56

This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: E-02
PUBLISHED REF NO.: 240514.1440		DRAWN: DM		
VERSION: BC-RFI 02	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56	



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited



AFFECTED PERSON'S DETAILS

I/We Natalie Kay Sharples In Care Of (Ariki Trustee Company 2017 Limited)

Are the owners/occupiers of

4 St Peters Place, Queenstown



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A, 10B and 10C St Peters Place, Queenstown

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):

10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.


3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)

NS



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Natalie Kay Sharples	
	Contact Phone / Email address <i>021 02 770013 natalie.ksharples@gmail.com</i>	
	Signature 	Date <i>16/01/26</i>

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.
 There is no obligation to sign this form, and no reasons need to be given.
 If this form is not signed, the application may be notified with an opportunity for submissions.
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



Queenstown Lakes District Council
 Private Bag 50072, Queenstown 9348
 Gorge Road, Queenstown 9300

P: 03 441 0499
 E: resourceconsent@qldc.govt.nz
 www.qldc.govt.nz

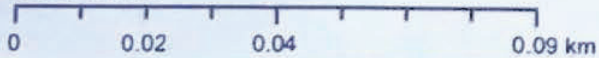


QLDC Property Map

PRINT DATE:
27/08/2025



Scale: 1:1,146



NS

The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

8C230308 APPROVED
Queenstown Lakes District Council



Project number 7382

Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown

Document Set ID: 7574843
Version: 1, Version Date: 03/04/2023

Sheet list

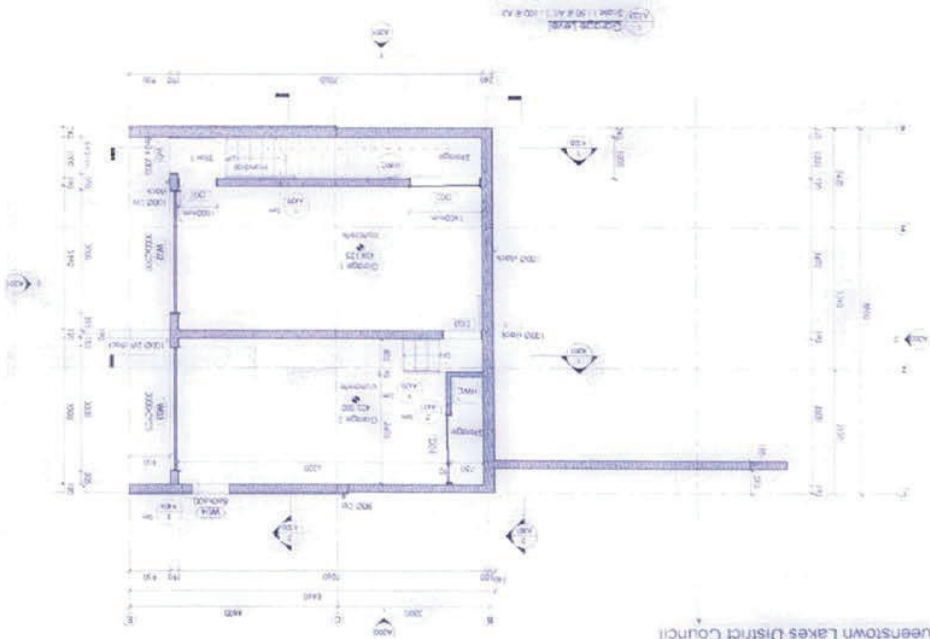
Sheet Number	Sheet Name	Control Position	Control Revision/Drawn/Date	Control Revision/Date
A001	Notes sheet 1	A	Building Consent Issue	16/03/2022
A002	Notes sheet 2	A	Building Consent Issue	16/03/2022
A003	Notes sheet 3	A	Building Consent Issue	16/03/2022
A100	Top Plan	A	Building Consent Issue	26/03/2022
A110	Proposed Floor Plan - Garage	A	Building Consent Issue	16/03/2022
A111	Proposed Floor Plan - Garage	A	Building Consent Issue	16/03/2022
A120	Foundation Plans	A	Building Consent Issue	16/03/2022
A122	Level 2 MidFloor Plan	A	Building Consent Issue	20/03/2022
A125	Roof Plans	A	Building Consent Issue	16/03/2022
A126	Roofing Plans	A	Building Consent Issue	05/04/2022
A127	Proposed Drainage Plans	A	Building Consent Issue	05/04/2022
A128	Plumbing Schedule	A	Building Consent Issue	05/04/2022
A130	Top Floor Plan Plan	A	Building Consent Issue	26/03/2022
A132	Fire Protection Details	A	Building Consent Issue	16/03/2022
A141	Wall Framing Plan - Garage	A	Building Consent Issue	26/03/2022
A142	Wall Framing Plan	A	Building Consent Issue	16/03/2022
A200	Firewalls	A	Building Consent Issue	26/03/2022
A201	Firewalls	A	Building Consent Issue	16/03/2022
A202	Firewalls	A	Building Consent Issue	16/03/2022
A203	Firewalls	A	Building Consent Issue	16/03/2022
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A250	Firewalls	A	Building Consent Issue	16/03/2022

568

NS



BC230308
APPROVED
Queenstown Lakes District Council



Building one foundation
and block walls completed
as part of stage 1 -
BC221652

NS

7382 A110 B

Proposed Multi-Unit Dwelling
Cons: 2 Storey Terrace Unit
Site 1 Stage 1 by Jason R. Day
Conservation
Proposed Multi-Unit Dwelling
Conservation

FAT PARROT ARCHITECTURE

Building Consent

FLOOR AREAS

Conservation
Level 1: 204.1m² (2041.0m²)
Level 2: 204.1m² (2041.0m²)
Total Floor Area: 408.2m²

Proposed Multi-Unit Dwelling
Level 1: 174.0m² (1740.0m²)
Level 2: 174.0m² (1740.0m²)
Total Floor Area: 348.0m²

Proposed Multi-Unit Dwelling
Level 1: 174.0m² (1740.0m²)
Level 2: 174.0m² (1740.0m²)
Total Floor Area: 348.0m²



Building Consent

2022 A111 B

Project: [illegible]
 Proposed Floor Plans
 Development
 Site: [illegible]
 Proposed to be used for:
 Site: [illegible]
 Proposed to be used for:
 Site: [illegible]

REMARKS:

- 1. All work to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 2. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 3. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 4. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 5. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 6. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 7. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 8. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 9. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.
- 10. The proposed work is to be done in accordance with the Building Act 2022 and the Building Regulations 2022.

FLOOR & WALL:

1. All work to be done in accordance with the Building Act 2022 and the Building Regulations 2022.

ROOF & WALL:

1. All work to be done in accordance with the Building Act 2022 and the Building Regulations 2022.

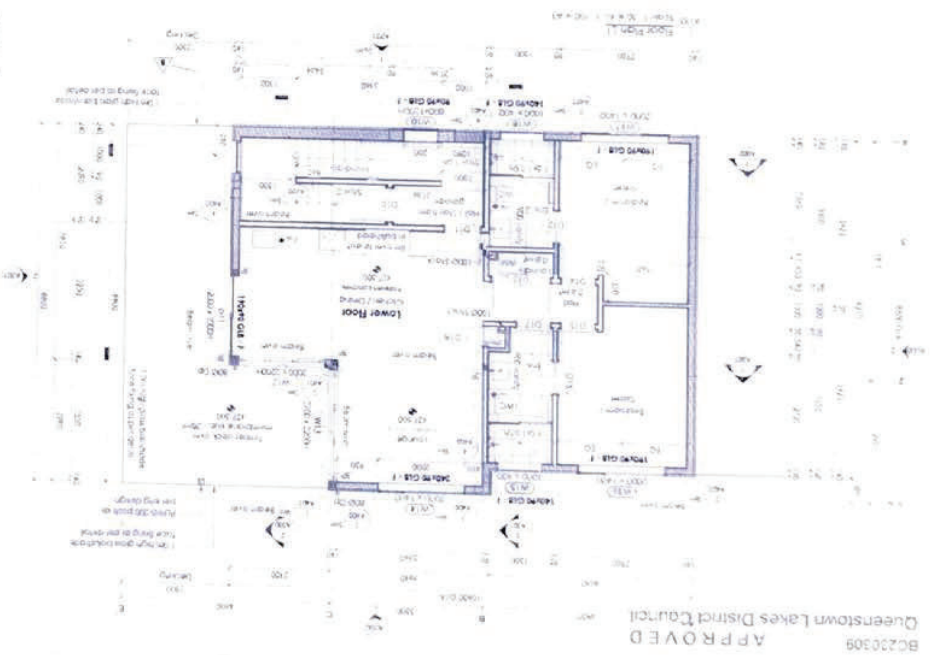
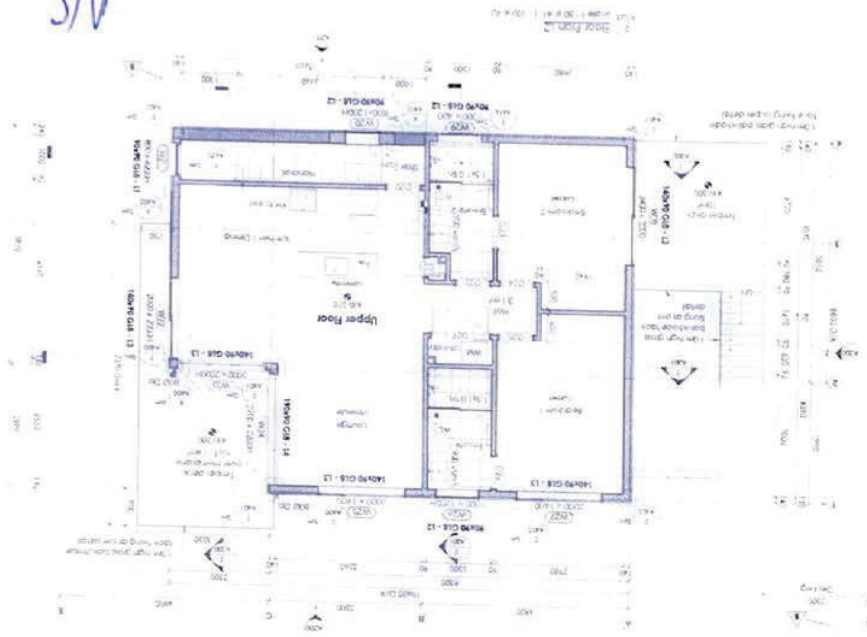
ROOF & WALL:

1. All work to be done in accordance with the Building Act 2022 and the Building Regulations 2022.

ROOF & WALL:

1. All work to be done in accordance with the Building Act 2022 and the Building Regulations 2022.

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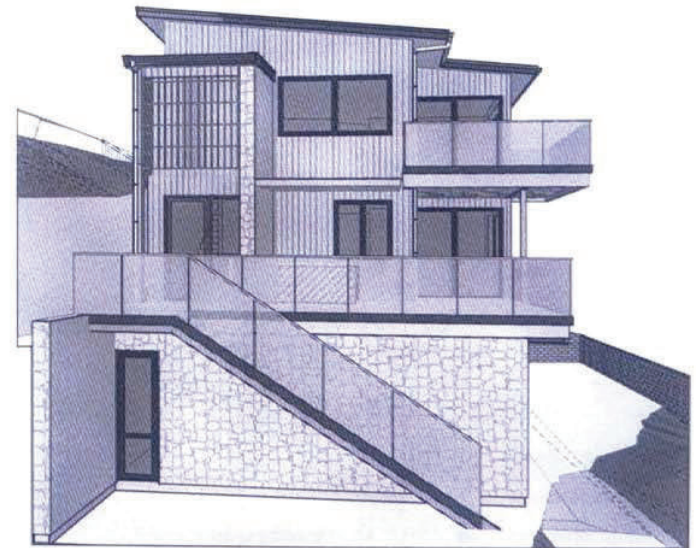
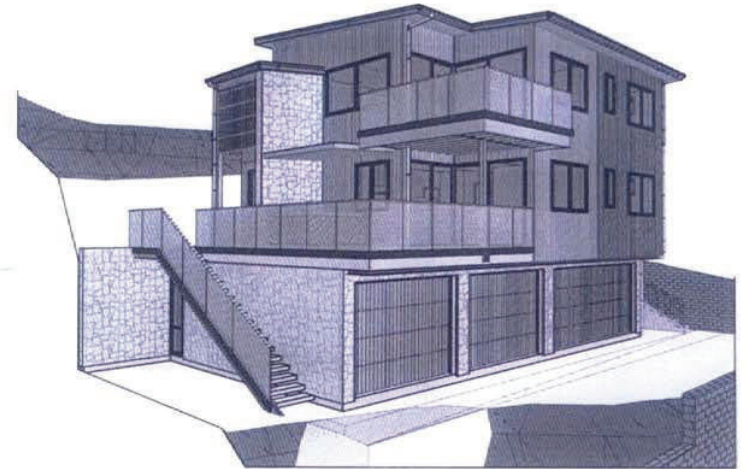


APPROVED
Queenstown Lakes District Council

BC240156
Queenstown Lakes District Council

APPROVED

~~PROPOSED~~ **PROPOSED MULTI-UNIT DWELLING - BLDG. 3**
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN



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P-02	SITE PLAN
P-03	SEDIMENT CONTROL PLAN
P-04	GARAGE DRAINAGE PLAN
P-05	LEVEL 1 DRAINAGE PLAN
P-06	LEVEL 2 DRAINAGE PLAN
P-07	PLUMBING SCHEMATIC
P-08	ROOF CATCHMENT PLAN
P-09	GARAGE FLOOR PLAN
P-10	GARAGE DIMENSION PLAN
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN
P-12	LEVEL 1 FLOOR PLAN
P-13	LEVEL 1 DIMENSION PLAN
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN
P-15	LEVEL 2 FLOOR PLAN
P-16	LEVEL 2 DIMENSION PLAN
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN
P-18	GARAGE FOUNDATION PLAN
P-19	LEVEL 1 FOUNDATION PLAN
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-24	GARAGE BRACING PLAN
P-25	LEVEL 1 BRACING PLAN
P-26	LEVEL 2 BRACING PLAN
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS
P-29	BRACE FIXING DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN
P-31	LEVEL 1 ELECTRICAL PLAN
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E-01	NORTH ELEVATION
E-02	EAST ELEVATION

SHEET	PLAN SET INDEX
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E-04	SOUTH ELEVATION
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S-02	CROSS SECTION B-B
S-03	CROSS SECTION C-C
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S-05	SCHEDULE OF WINDOWS
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D-05	VERT. ABODO VULCAN & BASE DETAILS
D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
D-08	VERT. ABODO VULCAN ROOF DETAILS
D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
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D-13	HANDRAIL/STAIRCASE DETAIL
D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
D-15	SHOWER/WET AREA DETAILS
D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
D-17	HWC & SEISMIC RESTRAINT DETAILS
D-18	FIRE RATED WALL DETAILS - SHEET 01
D-19	FIRE RATED WALL DETAILS - SHEET 02
D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
D-21	FIRE RATED JUNCTION DETAILS
D-22	FIRE RATED PENETRATION DETAILS
D-23	FIRE RATED ROOF DETAILS
D-24	CONCRETE DECK DETAILS - SHEET 01
D-25	CONCRETE DECK DETAILS - SHEET 02
D-26	TIMBER DECK DETAILS
D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
D-28	FLOOR JOIST STIFFENER

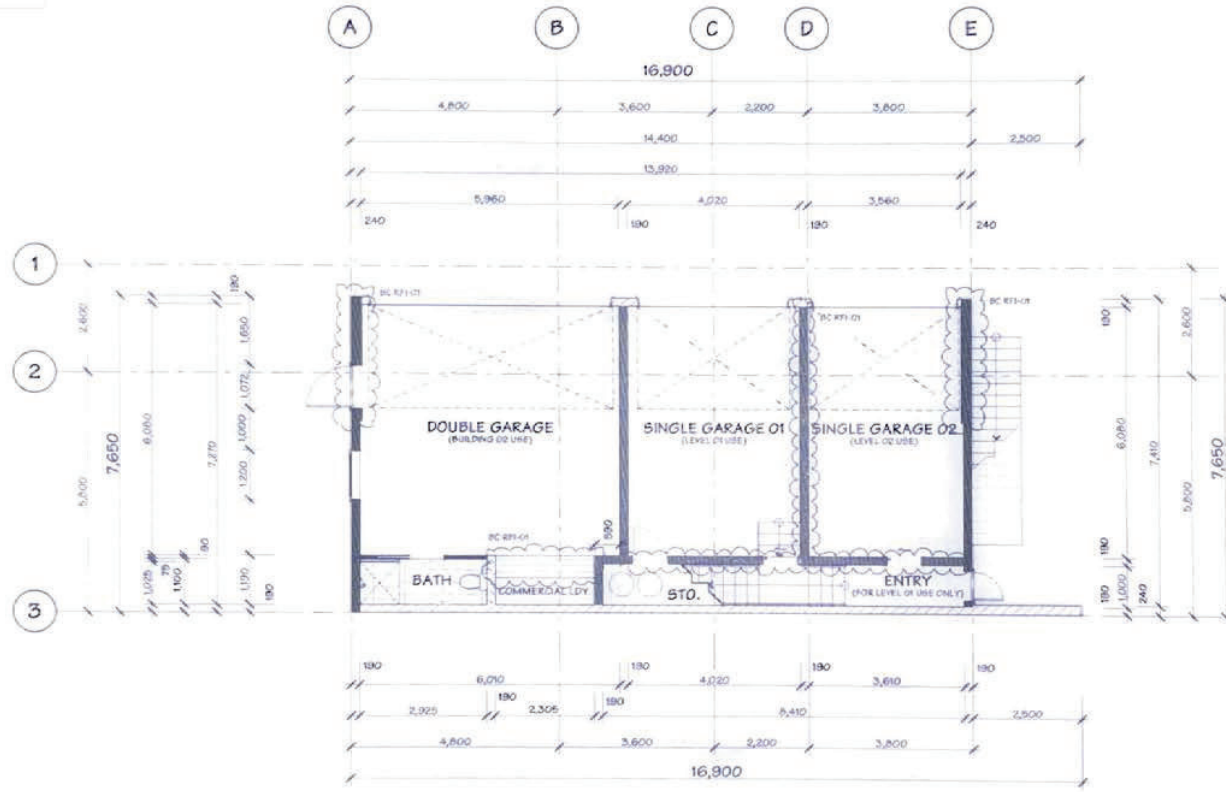


KEY COLOUR	ISSUED BY	REVISION	DATE OF ISSUE
	KDD	BC RFI	05.08.24
	KDD	BC RFI	05.17.24

DATE: 08 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	

NOTE: This plan is subject to Council approval and local district council verification and approval.

NOTES:
 1. APPROVED BY Queenstown Lakes District Council
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4023 INCLUDING
 SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE
 CONSIDERED CENTRED IN WALL FACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP1 012300
 ADDRESS: 103 ST PETERS PLACE, QUEENSTOWN

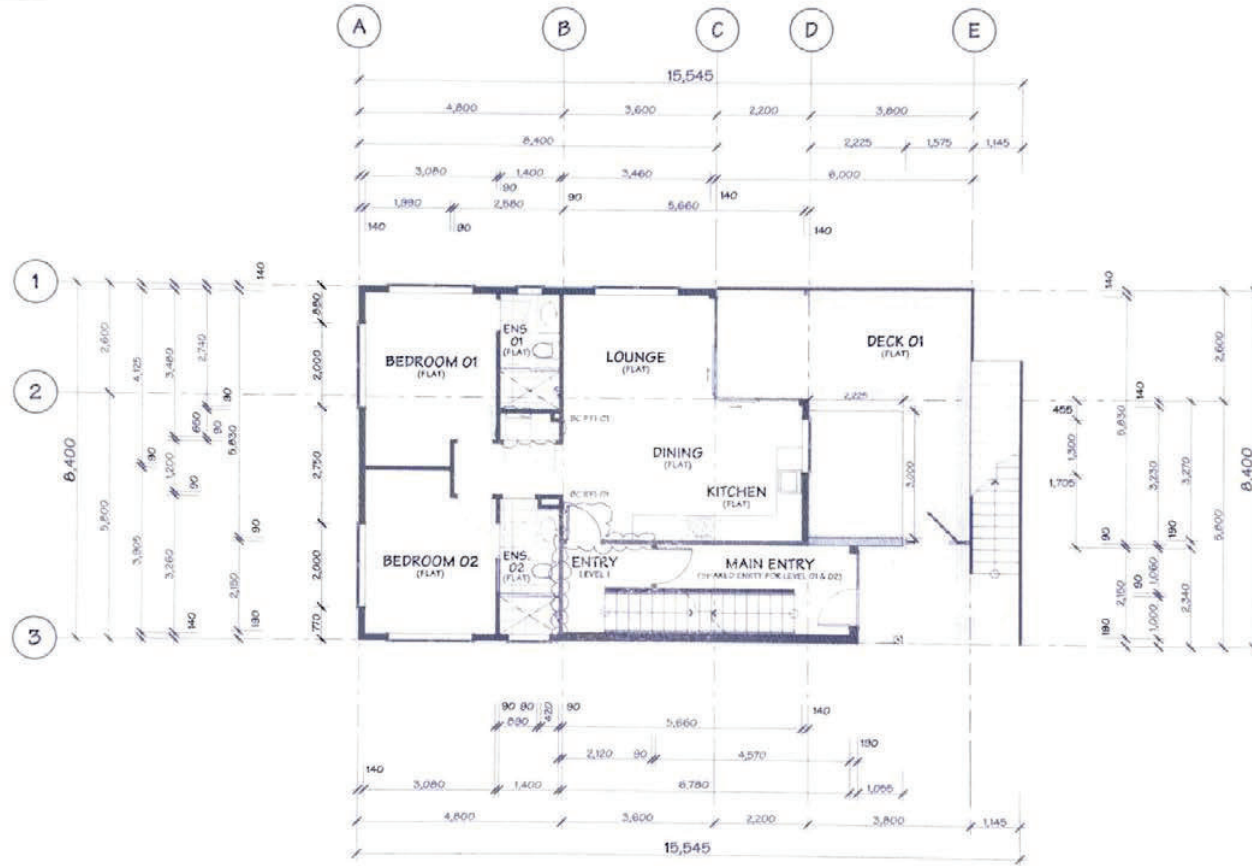
press design + drafting LTD have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you obtain any other consent in the planning or require further details, please contact us before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on-site and ensure that all work complies with New Zealand Building Code and all relevant standards. Builders for more detail consult your local building team.

DATE OF ISSUE: 23 FEB 24	DESIGNER: ADD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 240500.1620	DRAWN: JAM	JOB#:	
VERSION: BC KFJ-01	REV. NO.: 01	CHECKED: MS	TOTAL SHEETS: 70

MS

BCA Plan is subject to Council approval and local district council verification and approval.

NOTES:
 1. THIS PLAN IS TO BE CHECKED AND APPROVED BY THE DISTRICT COUNCIL BEFORE COMMENCING CONSTRUCTION.
 2. ALL GLAZING TO COMPLY WITH NZS 4225 INCLUDING SAFETY GLASS TO SHOWER DOORS.
 3. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
 4. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

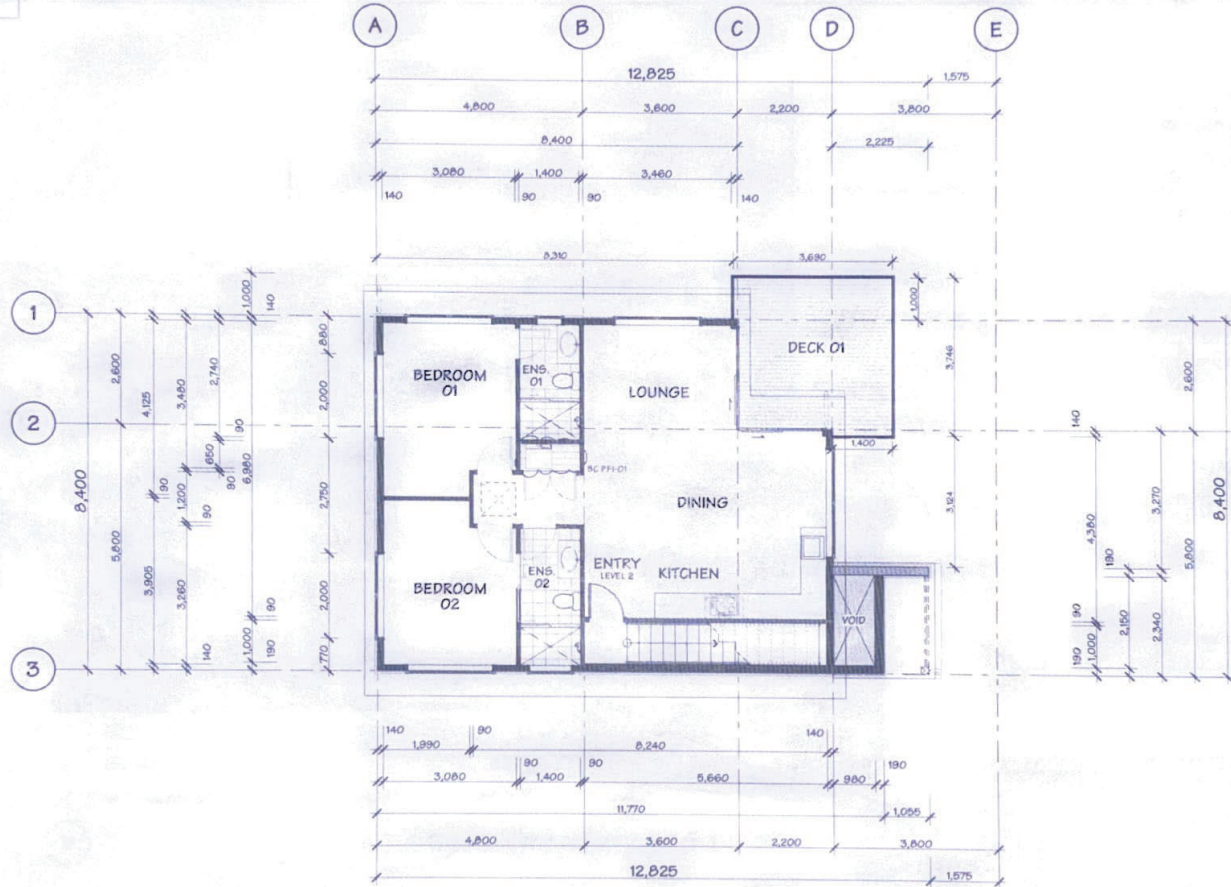
LEGAL DESCRIPTION:
 LOT 1
 DP: 612358
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (2021) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. These drawings are not to be used for any other purpose without the written consent of press design + drafting Ltd. Acknowledgment is made to the relevant authorities for their assistance in the preparation of these drawings. The client is responsible for ensuring that the drawings comply with all applicable standards and regulations. The client is responsible for ensuring that the drawings are used for the intended purpose only.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-13
PUBLISHED REF NO.: 240500.1520	DRAWN: JAM	JOB#: 23074	
VERSION: BC RFI-01	REV. NO.: 01	CHECKED: MS	TOTAL SHEETS: 70

NOTES: This plan is subject to developer approval and local district council verification and approval.

NOTES:
 QUEENSTOWN TIKOR District Council
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



NS

	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	LEVEL 2 DIMENSION PLAN	LEGAL DESCRIPTION:	LOT 1 DP: 512355 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN	<p>press design + drafting Ltd (PDDL) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDDL before proceeding with construction.</p> <p>Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and HB3604 standards. Failure to meet these conditions reserves my liability from PDDL.</p>	DATE OF ISSUE:	23 FEB 24	DESIGNER:	XDD	SCALE:	1:100	SHEET:	P-16 TOTAL SHEETS: 70
	PUBLISHED REF NO.:	240508.1520	DRAWN:	JAM	JOB#:										
	VERSION:	BC KF1-01	REV. NO.:	01	CHECKED:	M5	23074								