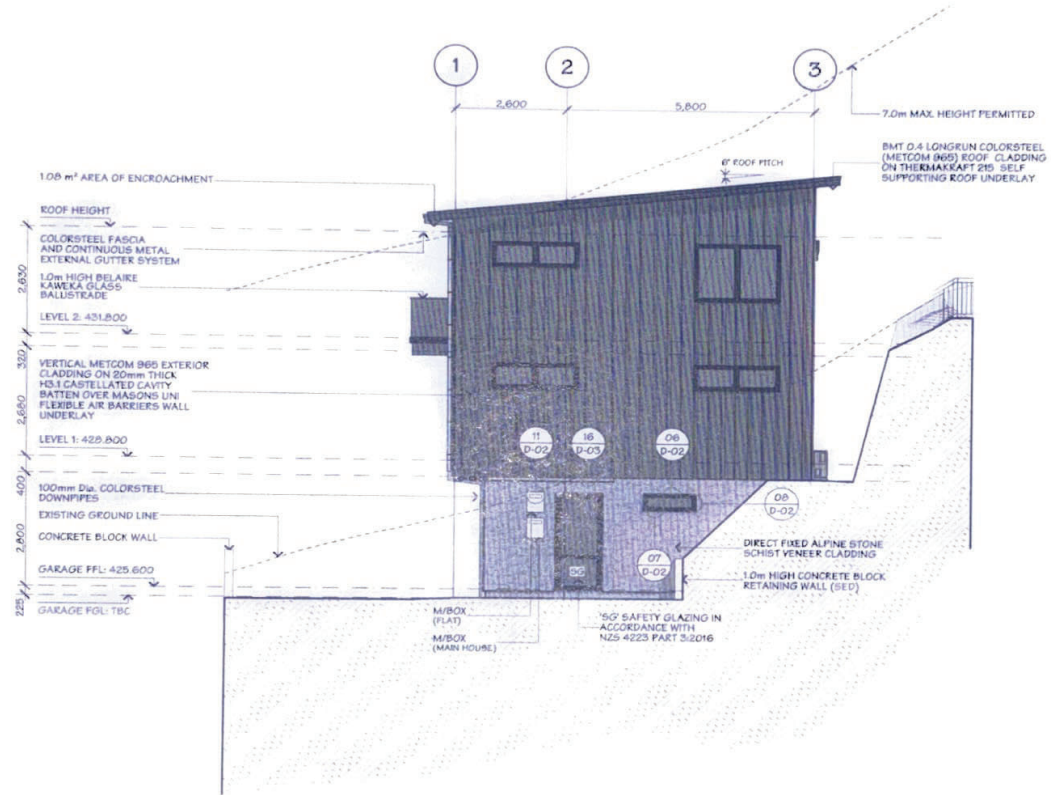


Not a final plan is subject to City Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score		14



NS



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

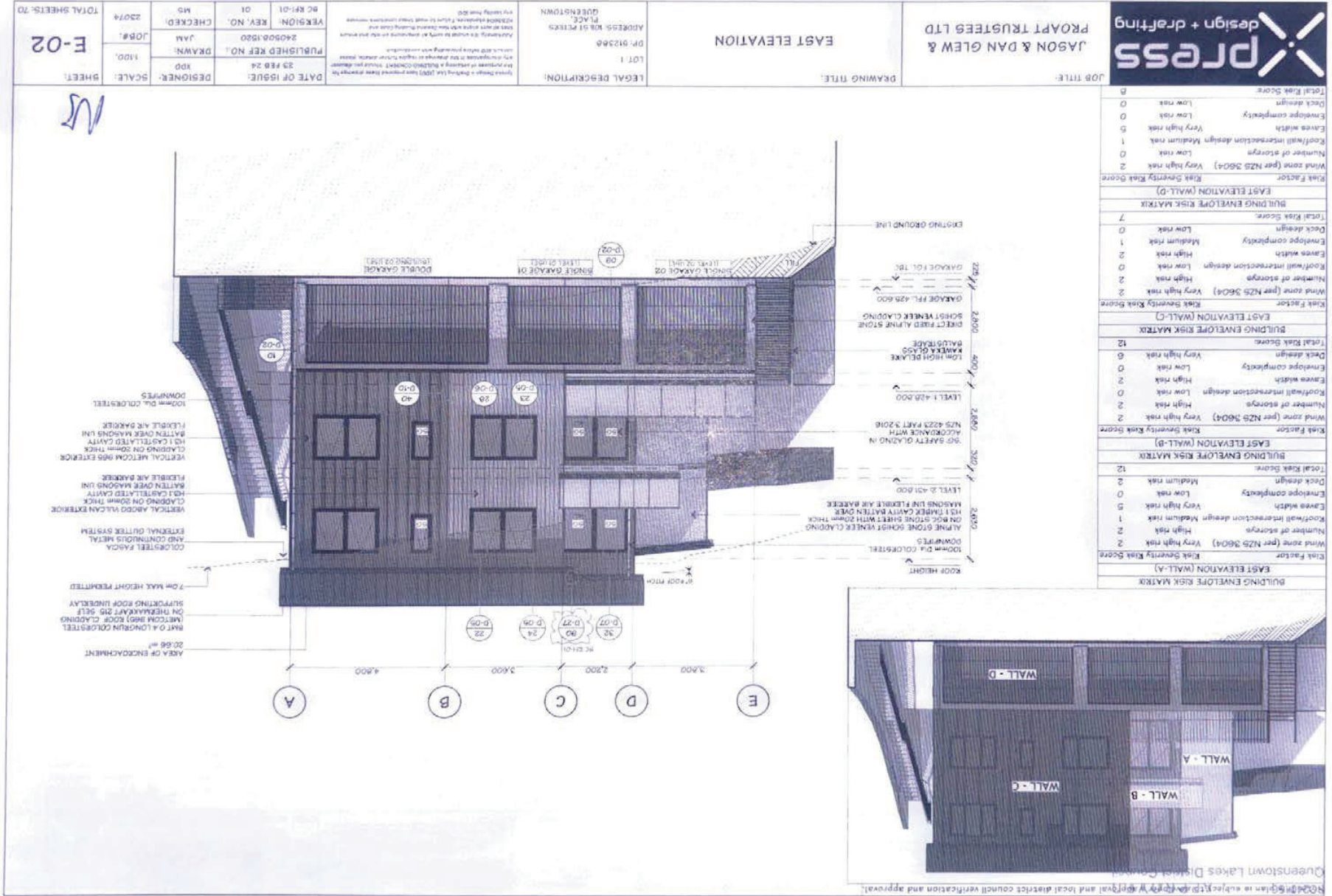
LEGAL DESCRIPTION:
LOT 1
DP: 512358
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Agree Design + Drafting Ltd (ADD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further advice, please contact ADD before proceeding with construction.
Additionally, we expect for verify all dimensions on site and ensure that all work aligns with New Zealand Building Code and NZS/NZS4 standards. Failure to meet these conditions remains the liability of the client.

DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240307.1920
VERSION: WD-01
REV. NO. 01

DESIGNER:
XDD
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB #:
33074
SHEET:
E-01
TOTAL SHEETS: 70



JOB TITLE: DRAWING TITLE: EAST ELEVATION
JASON & DAN GLEW & PROPRIETORS LTD
 ADDRESS: 101 ST PETERS QUEENSTOWN
 DP: 912366 LOT 1
 LEGAL DESCRIPTION:
 DATE OF ISSUE: 23 FEB 24
 PUBLISHED REF NO.:
 DRAWN: JAM
 CHECKED: MD
 JOB#: E-02
 TOTAL SHEETS: 70



Risk Factor

Very high risk	2
High risk	1
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	4

WIND ZONE (PER NZS 3604)

Very high risk	2
High risk	2
Medium risk	0
Low risk	0
Very low risk	0
Total Risk Score	4

ENVIRONMENTAL INTERSECTION DESIGN

Very high risk	2
High risk	2
Medium risk	0
Low risk	0
Very low risk	0
Total Risk Score	4

ENVIRONMENTAL COMPLEXITY

Very high risk	0
High risk	0
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	1

DECK DESIGN

Very high risk	0
High risk	0
Medium risk	0
Low risk	0
Very low risk	0
Total Risk Score	0

BUILDING ENVELOPE RISK MATRIX

EAST ELEVATION (WALL - A)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - B)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - C)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - D)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

BUILDING ENVELOPE RISK MATRIX

EAST ELEVATION (WALL - A)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - B)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - C)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - D)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

BUILDING ENVELOPE RISK MATRIX

EAST ELEVATION (WALL - A)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - B)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - C)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - D)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

BUILDING ENVELOPE RISK MATRIX

EAST ELEVATION (WALL - A)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - B)

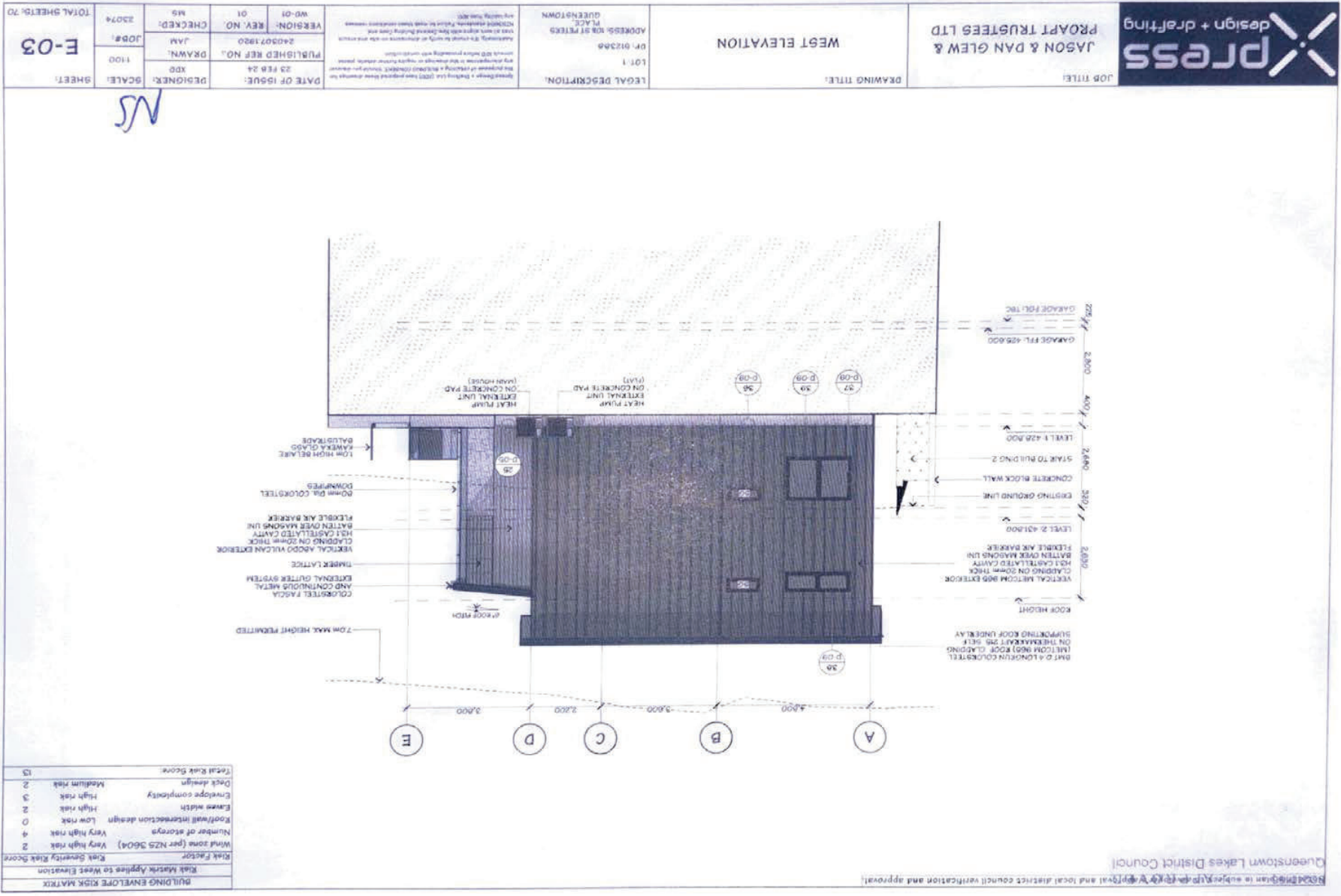
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High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - C)

Very high risk	2
High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

EAST ELEVATION (WALL - D)

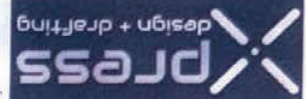
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High risk	2
Medium risk	1
Low risk	0
Very low risk	0
Total Risk Score	5

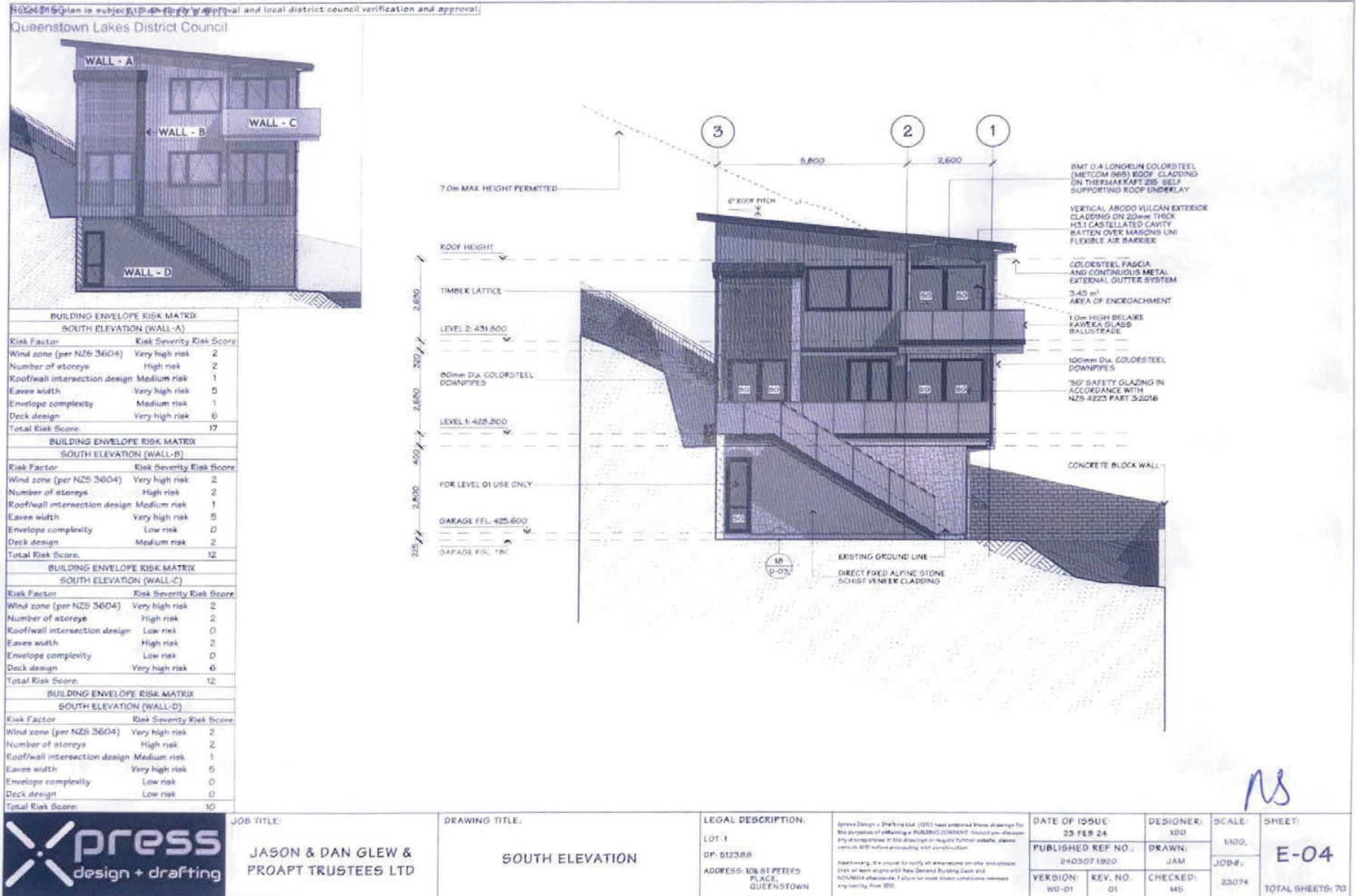


Queenstown Lakes District Council
 Road Design is subject to Council approval and local district council verification and approval.

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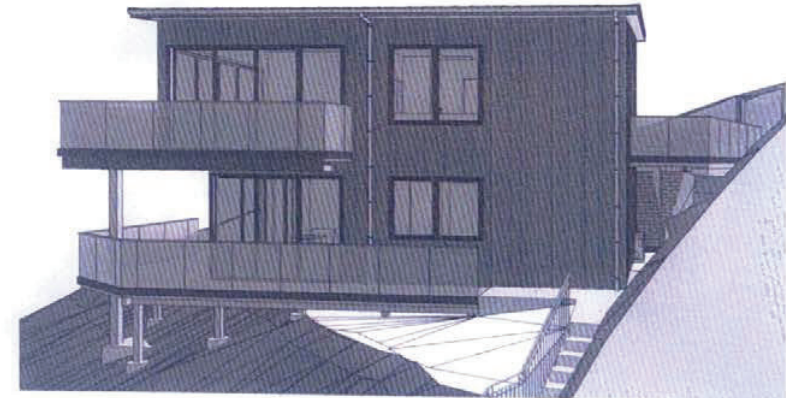
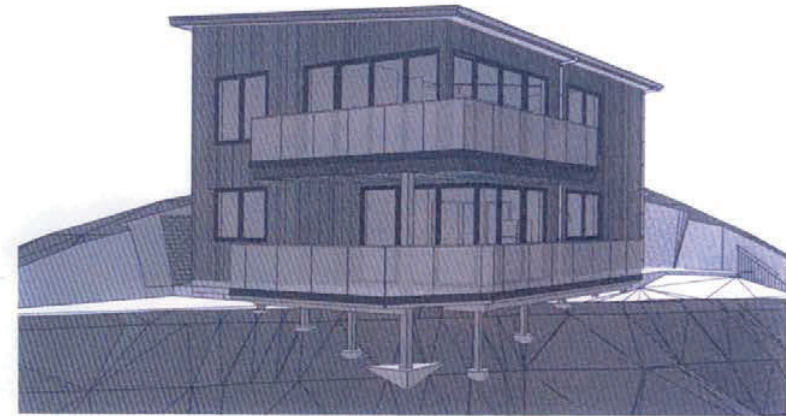
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BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN

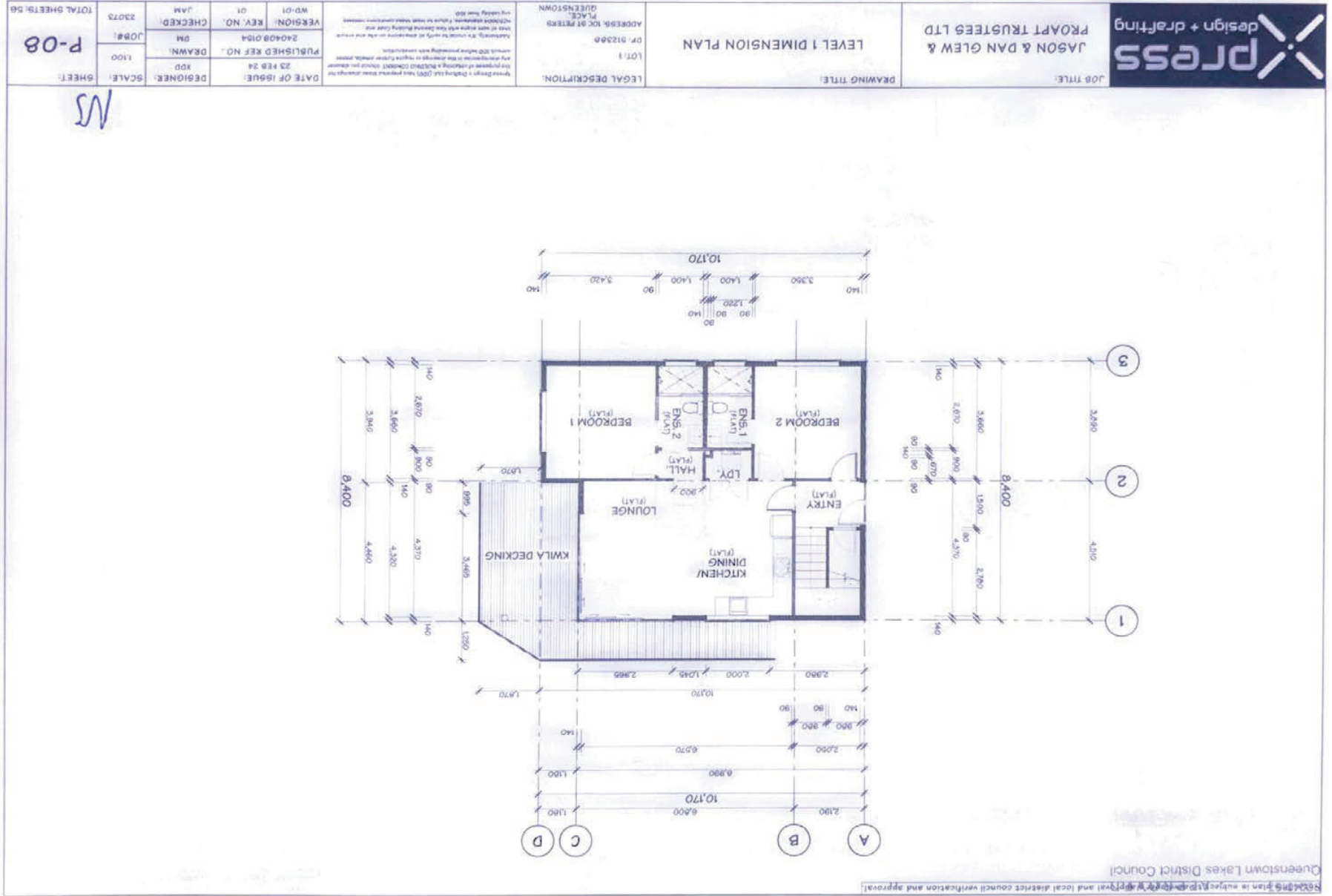


SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWG & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS

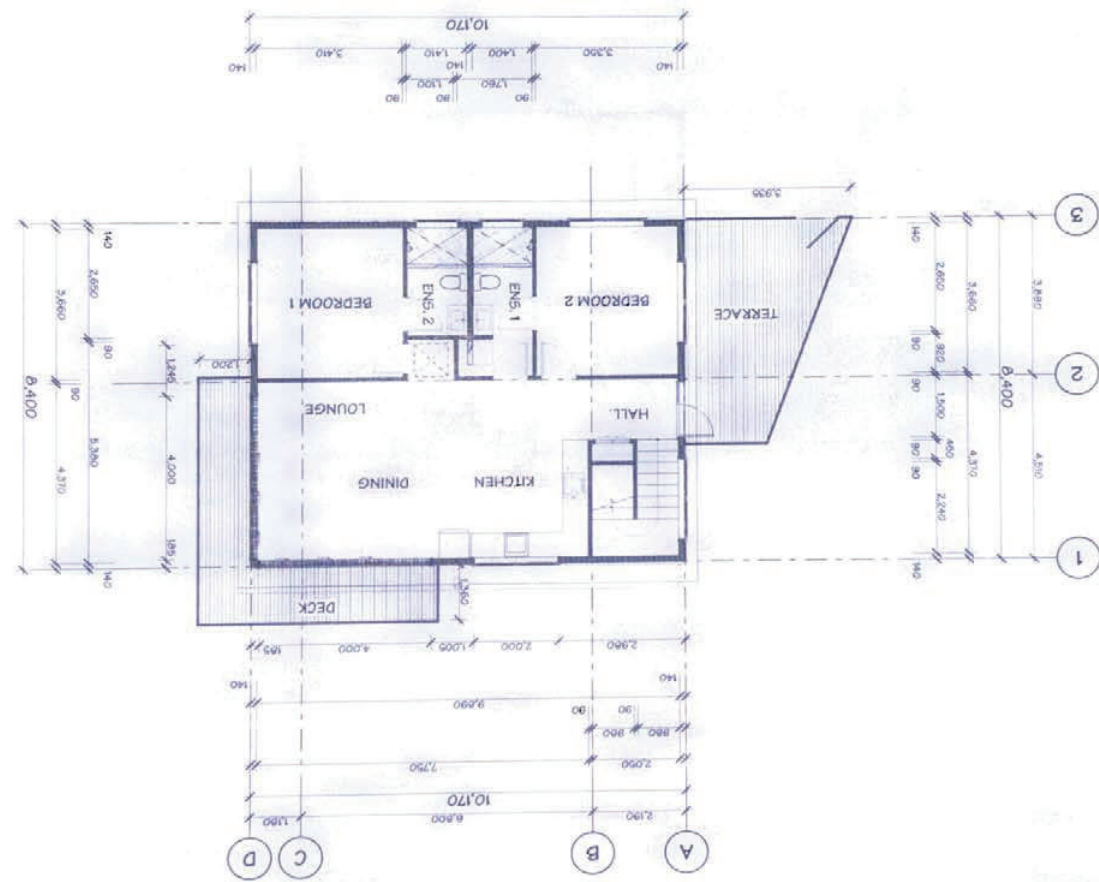


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1		XDD	BC KFI-01	05.09.24	JOB #	23075	TOTAL SHEETS:	56
2		XDD	BC KFI-02	05.14.24	COVER PAGE			
3		XDD	BC KFI-03	06.20.24				

MS



TOTAL SHEETS: 56		JOB NO: 22073		PUBLISHED REF NO: 240409-014		DATE OF ISSUE: 23 FEB 24		DESIGNER: XSD		SCALE: SHEET: P-10	
JAM		CHECKED: DM		REV. NO: 01		PUBLISHED REF NO: 240409-014		DESIGNER: XSD		SCALE: SHEET: P-10	
VERSION: 01		REV. NO: 01		PUBLISHED REF NO: 240409-014		DATE OF ISSUE: 23 FEB 24		DESIGNER: XSD		SCALE: SHEET: P-10	
ADDRESS: 102 ST PETERS PLACE QUEENSTOWN		DP: 012300		LOT: 1		LEGAL DESCRIPTION:		DRAWING TITLE: LEVEL 2 DIMENSION PLAN		JOB TITLE: JASON & DAN GLEW & PROPRT TRUSTEES LTD	



NS

NOT TO SCALE. This plan is subject to the Council's (2019) and local district council verification and approval. Queenstown Lakes District Council

press
design + drafting

JASON & DAN GREW & PROAPT TRUSTEES LTD

ELEVATIONS - SHEET 01

JOB TITLE: DRAWING TITLE

LEGAL DESCRIPTION: LOT 1
ADDRESS: LOC ST PETERS PLACE
QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
PUBLISHED REF NO.: 2405091050
REV. NO.: 02
RC REF. 01:

DESIGNER: KOD
DRAWN: DM
CHECKED: JAM
SCALE: 1:100

SHEET: E-01
TOTAL SHEETS: 06

DATE OF ISSUE: 23 FEB 24
PUBLISHED REF NO.: 2405091050
REV. NO.: 02
RC REF. 01:

DESIGNER: KOD
DRAWN: DM
CHECKED: JAM
SCALE: 1:100

SHEET: E-01
TOTAL SHEETS: 06

BUILDING ENVELOPE RISK MATRIX

Risk Matrix Applies to NE & SE Elevations

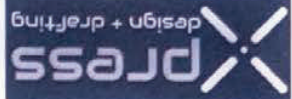
Risk Severity Risk Score

Number of storeys	High risk	2
Roofwall interaction design	Low risk	0
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score		11

Wind zone (per NZS 3604) Very high risk
Risk Factor: Risk Severity Risk Score

Queenstown Lakes District Council

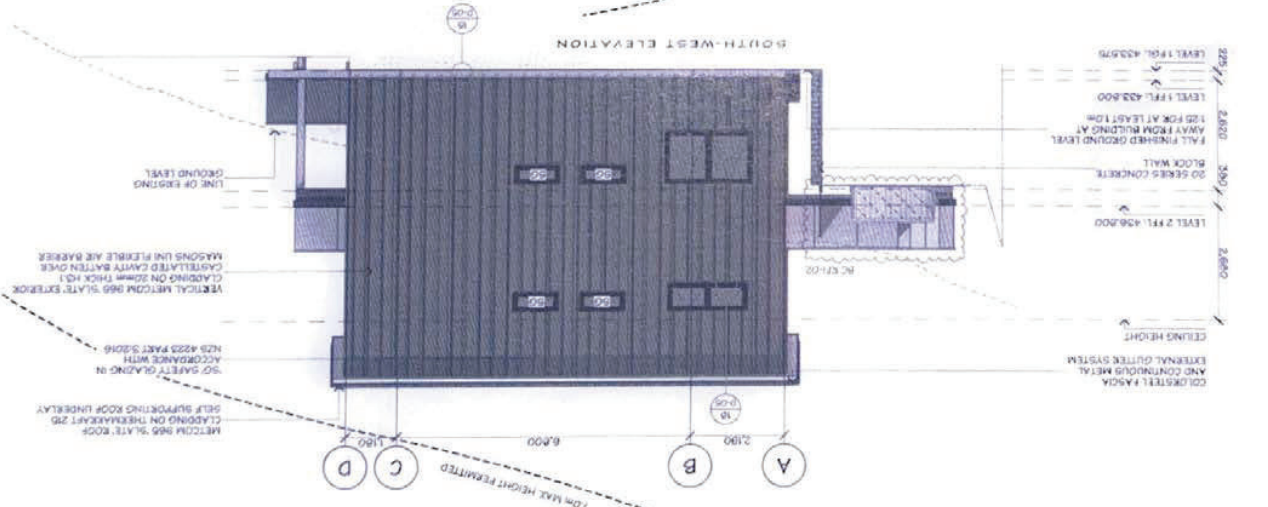
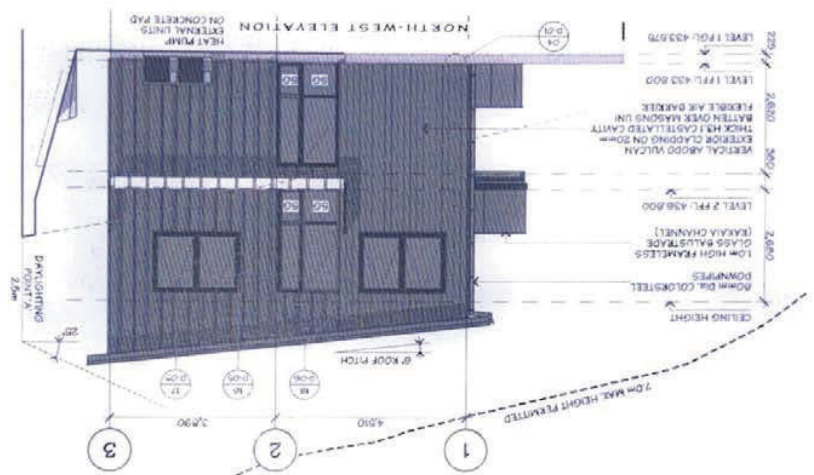
Noting plan to submit to City of Invercargill and local district council verification and approval.



JASON & DAN GLEW & PROAPT TRUSTEES LTD

ELEVATIONS - SHEET 02

JOB TITLE:		DRAWING TITLE:	
LEGAL DESCRIPTION:		LOT 1	
ADDRESS: 102 ST PETERS PLACE, QUEENSTOWN		DPI: 012386	
DATE OF ISSUE:		PUBLISHED REF NO.:	
23 FEB 24	240914140	DN	
DESIGNER:	CHECKED:	JOB#:	
JPP	JAM	1700	
SCALE:	VERSION:	TOTAL SHEETS: 56	
1:100	BC-REF:02	E-02	



BUILDING ENVELOPE RISK MATRIX	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very High risk 2
Number of storeys	High risk 2
Roof/wall intersection design	Low risk 0
Exave width	High risk 2
Envelope complexity	Low risk 0
Deck design	High risk 4
Total Risk Score	11
BUILDING ENVELOPE RISK MATRIX	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very High risk 2
Number of storeys	High risk 2
Roof/wall intersection design	Low risk 0
Exave width	High risk 2
Envelope complexity	Medium risk 1
Deck design	High risk 4
Total Risk Score	11

Road file plan to be submitted to the Council and local district council verification and approval.

Queenstown Lakes District Council

MS



AFFECTED PERSON'S APPROVAL



FORM 8A

Resource Management Act 1991 Section 95

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited

PERSON AFFECTED PERSON'S DETAILS

I/We Alison Robin Frude and Paul Gladstone Frude Gladstone PF ART
 Are the owners/occupiers of
 7 St Peters Place, Queenstown

LIST DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:
 To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A,10B and 10C St Peters Place, Queenstown
 Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):
 10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.

WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.

3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Alison Robin Frude	
	Contact Phone / Email address 021 119 6805	
	Signature <i>AR Frude</i>	Date 25 Jan. 2026

B	Name (PRINT) Paul Gladstone Frude	
	Contact Phone / Email address 0277516304 / frude@xtra.co.nz	
	Signature <i>P. Frude</i>	Date 25 Jan 26

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.
 There is no obligation to sign this form, and no reasons need to be given.
 If this form is not signed, the application may be notified with an opportunity for submissions.
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

PF AR4



**QUEENSTOWN
LAKES DISTRICT
COUNCIL**

Queenstown Lakes District Council
 Private Bag 50072, Queenstown 9348
 Gorge Road, Queenstown 9300

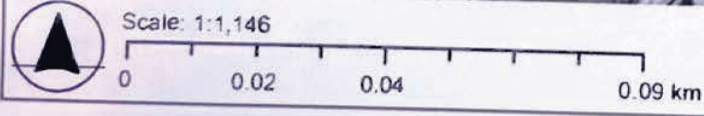
P: 03 441 0499
 E: resourceconsent@qldc.govt.nz
 www.qldc.govt.nz



QUEENSTOWN
LAKES DISTRICT
COUNCIL

QLDC Property Map

PRINT DATE:
27/08/2025



The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

HT AX7

BC220308 APPROVED
Queenstown Lakes District Council



Sheet list

Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A001	Site Plan	A	Building Consent Issue	20/01/2022
A002	Site Plan	A	Building Consent Issue	20/01/2022
A003	Site Plan	A	Building Consent Issue	20/01/2022
A100	Site Plan	A	Building Consent Issue	20/01/2022
A110	Proposed Floor Plan - Garage	A	Building Consent Issue	20/01/2022
A120	Proposed Floor Plan	A	Building Consent Issue	20/01/2022
A130	Foundation Plan	A	Building Consent Issue	20/01/2022
A140	Level 2 MidFloor Plan	A	Building Consent Issue	20/01/2022
A150	Roof Plan	A	Building Consent Issue	20/01/2022
A160	Bracing Plan	A	Building Consent Issue	20/01/2022
A170	Proposed Drainage Plan	A	Building Consent Issue	20/01/2022
A180	Humidity Schematic	A	Building Consent Issue	20/01/2022
A190	Fire Protection Plan	A	Building Consent Issue	20/01/2022
A200	Fire Protection Details	A	Building Consent Issue	20/01/2022
A210	Wall Framing Plan - Garage	A	Building Consent Issue	20/01/2022
A220	Wall Framing Plan	A	Building Consent Issue	20/01/2022
A300	Windows	A	Building Consent Issue	20/01/2022
A301	Windows	A	Building Consent Issue	20/01/2022
A302	Windows	A	Building Consent Issue	20/01/2022
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Document Set ID: 9564567
Version: 1, Version Date: 06/05/2026

Project number 7382

Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown

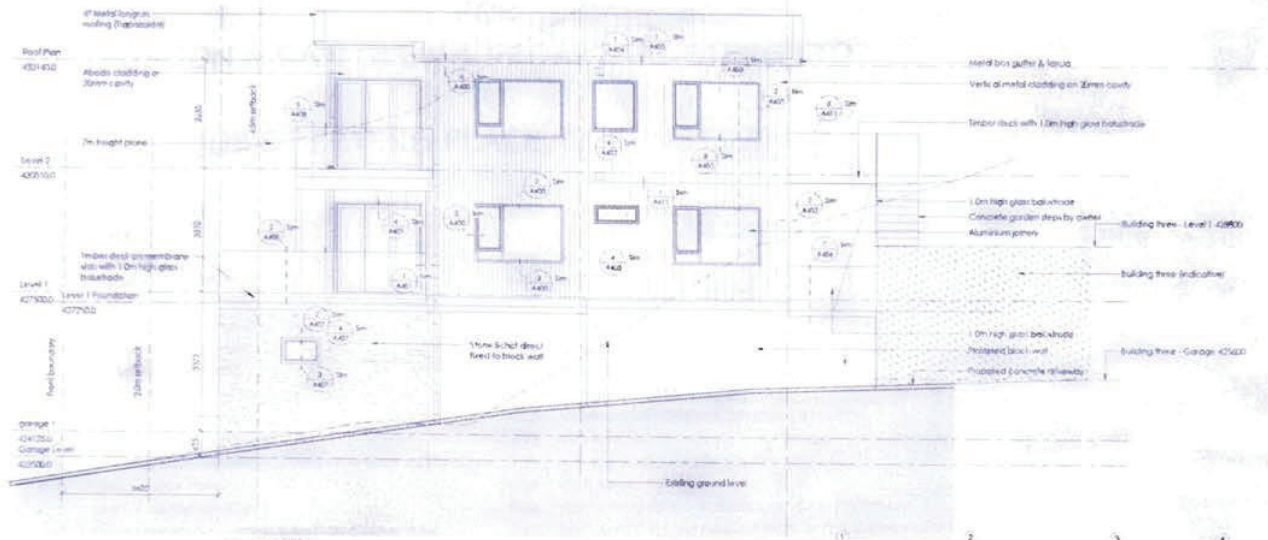
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Version: 1, Version Date: 03/04/2023



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ART

BC230309 APPROVED
Queenstown Lakes District Council

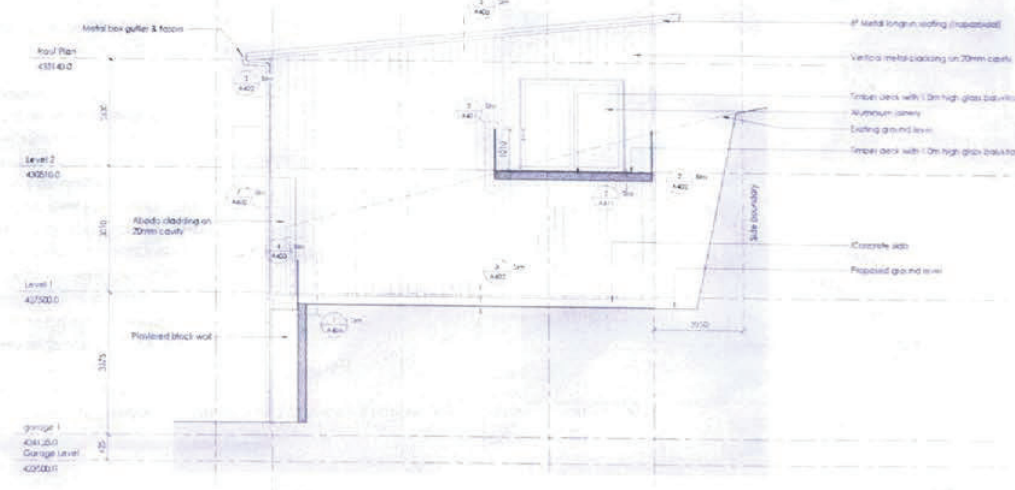
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11/03/2023 10:00 AM



PMI MATRIX - All Drawings

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100	100	100	100	100

1 Elevation 1
A110 Scale: 1:50 @ A1: 1:100 @ A3



2 Elevation 2
A110 Scale: 1:50 @ A1: 1:100 @ A3

Building Consent

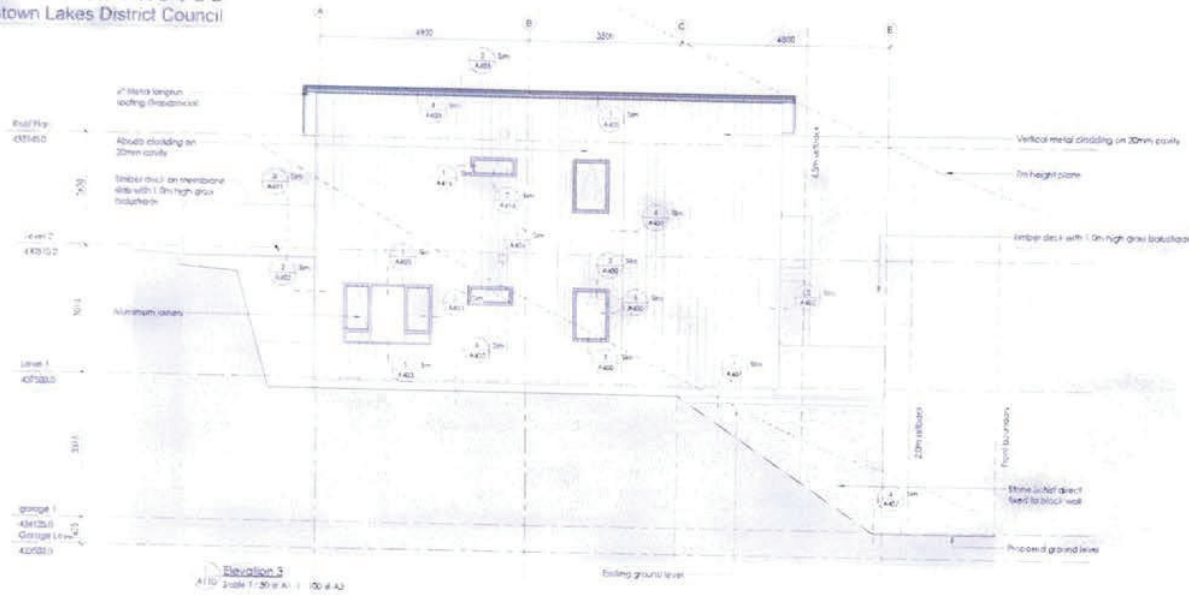
NOTE: We warrant to comply with the relevant Building Code requirements and to be responsible for the design and construction of the building and its systems. We warrant that the building and its systems will be constructed in accordance with the Building Code and the Building Act 2004. We warrant that the building and its systems will be constructed in accordance with the Building Code and the Building Act 2004. We warrant that the building and its systems will be constructed in accordance with the Building Code and the Building Act 2004.



Proposed Multi-Level Overwing
Bldg Stage 2 for Jason & Dawn
Knox & Priscilla Trenchard Ltd
104 St Helens Place
Queenstown
Elevation
A110 Scale: 1:50 @ A1: 1:100 @ A3
7382 A200 A

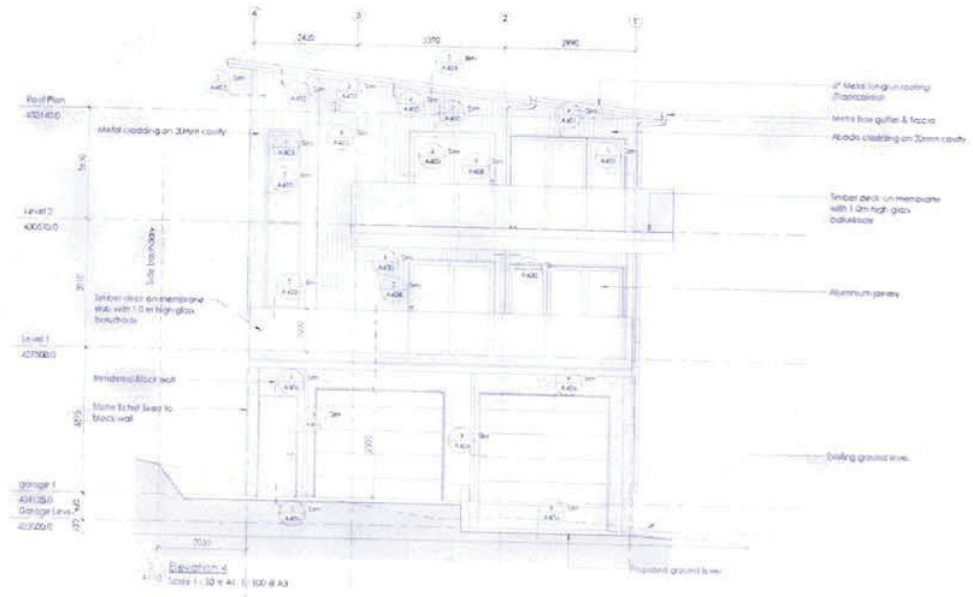
PF ARX

BC230309 APPROVED
Queenstown Lakes District Council



WIND RISK - 40% (100%)

WIND RISK	LOW	MED	HIGH	EX	Subtotal
Wind Damage (GBC)	0	2	1	2	5
Number of items	5	1	2	4	12
FastFast interaction rating	2	1	2	1	6
Items with	0	1	2	1	4
Excessive fasteners	0	1	1	1	3
Deck design	0	2	1	1	4
Total risk score					18



Building Consent

Work in accordance with the Building Act 2004 and the Building Regulations 2004. This consent is issued on the condition that the applicant shall comply with all conditions of the consent. The consent is issued on the condition that the applicant shall comply with all conditions of the consent. The consent is issued on the condition that the applicant shall comply with all conditions of the consent.

FAT PARROT ARCHITECTURE

943 9 918 2242

Proposed Multi-Unit Dwelling
843 - Stage 2 - 1st, 2nd & 3rd
Green A - Project Tracker (1st)
USA - Fat Parrot Rock
Queenstown
New Zealand

7362 A201 A

PF ART.

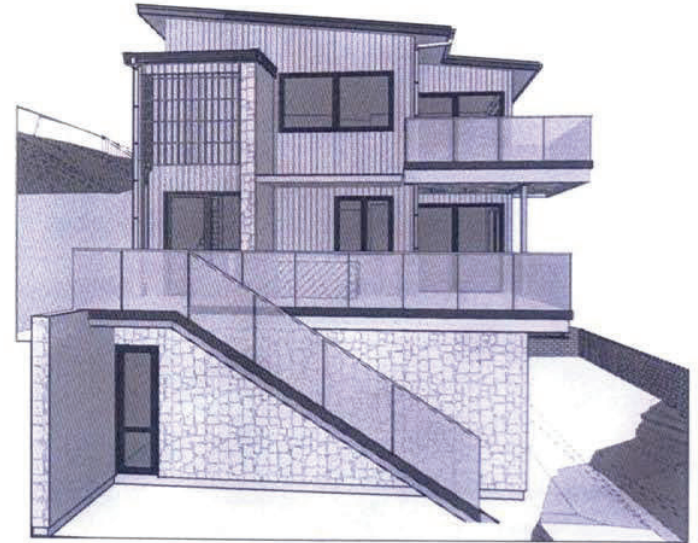
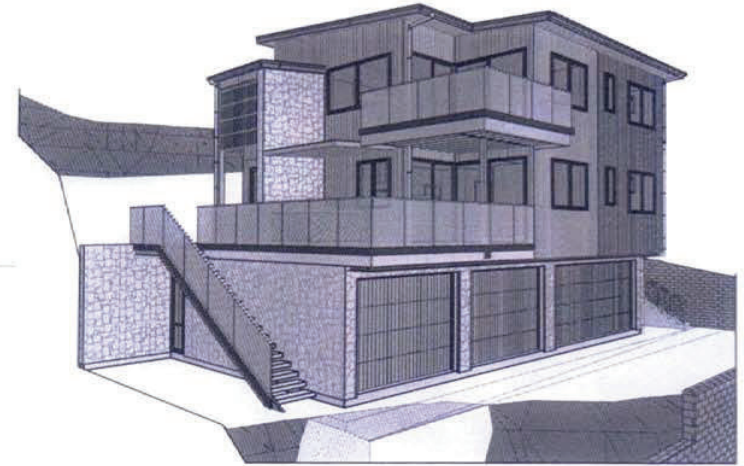
BC240156
Queenstown Lakes District Council

APPROVED

PROPOSED MULTI-UNIT DWELLING - BLDG. 3
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN

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P-01	COVER PAGE
P-02	SITE PLAN
P-03	SEDIMENT CONTROL PLAN
P-04	GARAGE DRAINAGE PLAN
P-05	LEVEL 1 DRAINAGE PLAN
P-06	LEVEL 2 DRAINAGE PLAN
P-07	PLUMBING SCHEMATIC
P-08	ROOF CATCHMENT PLAN
P-09	GARAGE FLOOR PLAN
P-10	GARAGE DIMENSION PLAN
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN
P-12	LEVEL 1 FLOOR PLAN
P-13	LEVEL 1 DIMENSION PLAN
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN
P-15	LEVEL 2 FLOOR PLAN
P-16	LEVEL 2 DIMENSION PLAN
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN
P-18	GARAGE FOUNDATION PLAN
P-19	LEVEL 1 FOUNDATION PLAN
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-24	GARAGE BRACING PLAN
P-25	LEVEL 1 BRACING PLAN
P-26	LEVEL 2 BRACING PLAN
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS
P-29	BRACE FIXING DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN
P-31	LEVEL 1 ELECTRICAL PLAN
P-32	LEVEL 2 ELECTRICAL PLAN
E-01	NORTH ELEVATION
E-02	EAST ELEVATION

SHEET	PLAN SET INDEX
E-03	WEST ELEVATION
E-04	SOUTH ELEVATION
S-01	CROSS SECTION A-A
S-02	CROSS SECTION B-B
S-03	CROSS SECTION C-C
S-04	SCHEDULE OF DOORS
S-05	SCHEDULE OF WINDOWS
D-01	FOUNDATION DETAILS
D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
D-05	VERT. ABODO VULCAN & BASE DETAILS
D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
D-08	VERT. ABODO VULCAN ROOF DETAILS
D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
D-13	HANDRAIL/STAIRCASE DETAIL
D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
D-15	SHOWER/WET AREA DETAILS
D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
D-17	HWC & SEISMIC RESTRAINT DETAILS
D-18	FIRE RATED WALL DETAILS - SHEET 01
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D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
D-21	FIRE RATED JUNCTION DETAILS
D-22	FIRE RATED PENETRATION DETAILS
D-23	FIRE RATED ROOF DETAILS
D-24	CONCRETE DECK DETAILS - SHEET 01
D-25	CONCRETE DECK DETAILS - SHEET 02
D-26	TIMBER DECK DETAILS
D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
D-28	FLOOR JOIST STIFFENER



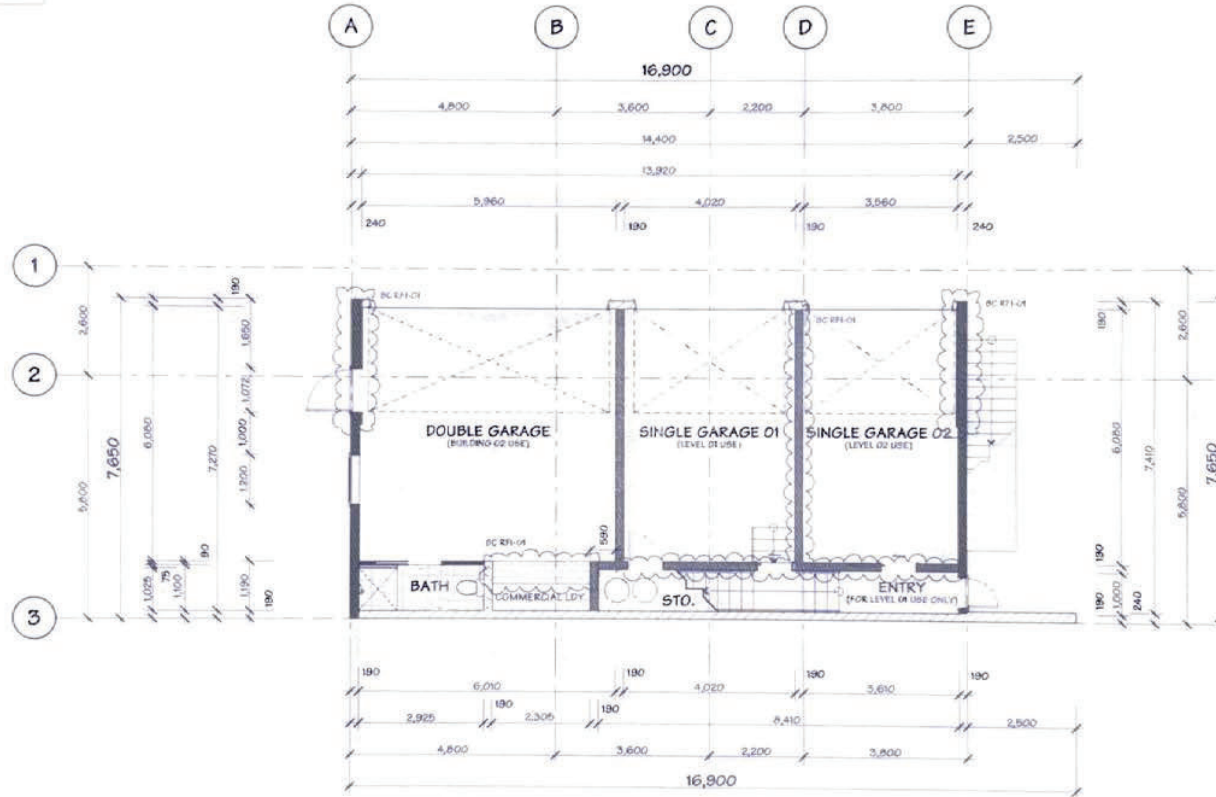
REV	COLOUR	ISSUED BY	REVISION	DATE OF ISSUE
BC	FFH 01	KDD	BC KFI	05.08.24
BC	FFH 02	KDD	BC KFI	05.17.24

DATE: 05 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	

PT ART

NOTES: This plan is subject to Council approval and local district council verification and approval.

Wairarapa District Council
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4225 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP: 512388
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

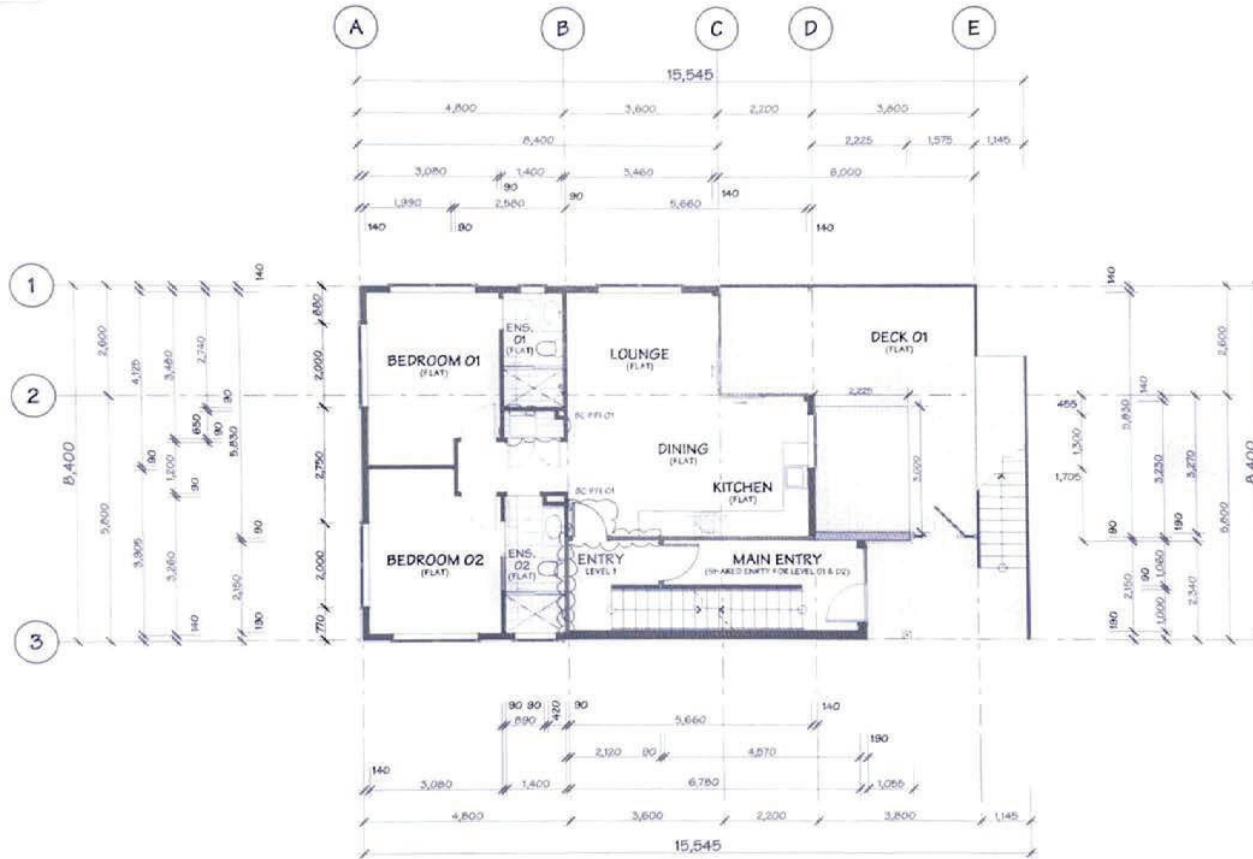
Agencia Design + Drafting Ltd (ADD) have prepared these drawings for the purpose of submitting a Resource Consent. Should you discover any discrepancies in the drawings or require further details, please contact ADD before proceeding with construction.
 ADD warrants that it is a duly registered Building Consent Authority under the Resource Management Act 1991. Failure to read these conditions may result in liability from ADD.

DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 2405051520		DRAWN: JAM		
VERSION: BC KF1-01	REV. NO: 01	CHECKED: MS	JOB#: 25074	TOTAL SHEETS: 70

Handwritten signature: PRY

Notes: This plan is subject to Council approval and local district council verification and approval.

NOTES:
 1. This plan is subject to Council approval and local district council verification and approval.
 2. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS.
 3. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
 4. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.



600



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT 1
 DP: 612586
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

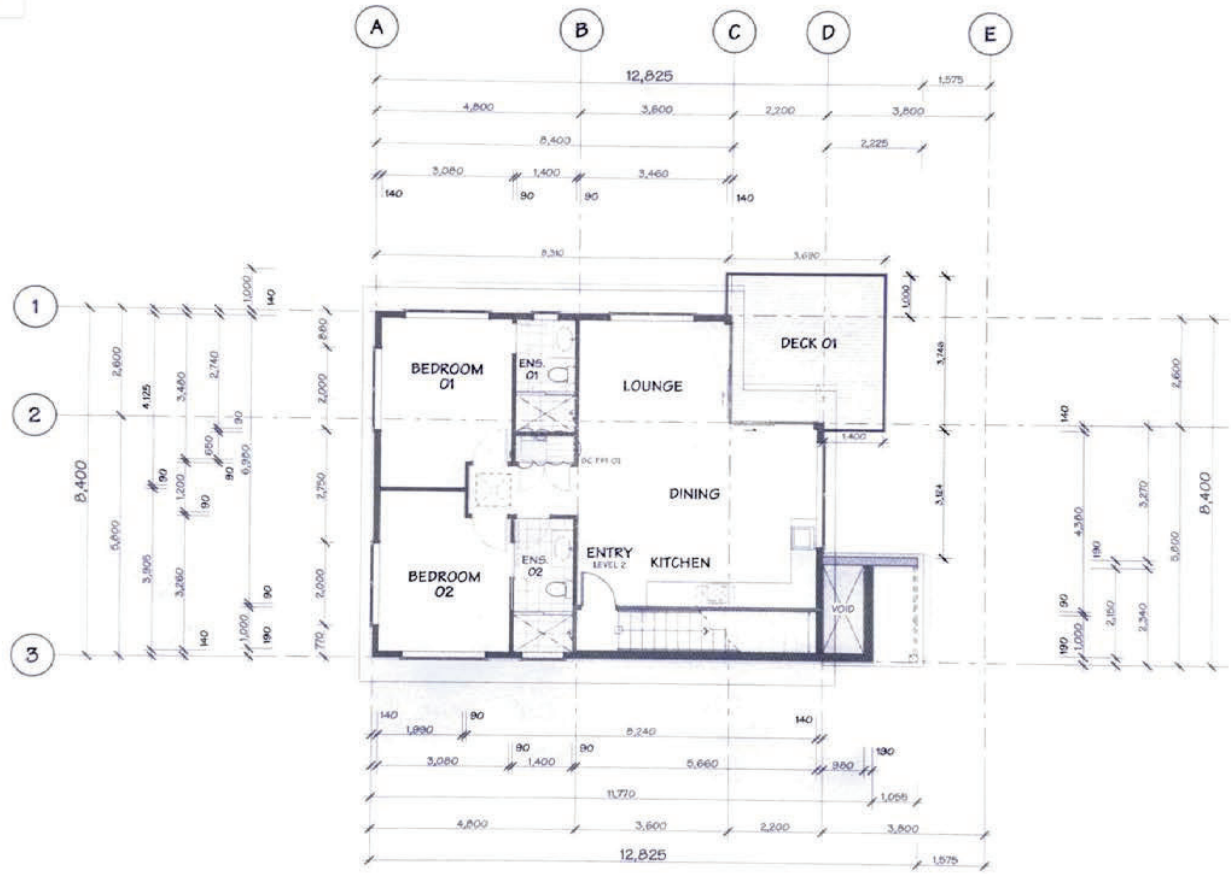
Xpress Design + Drafting Ltd. (XDL) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. You are advised that any discrepancies in the drawings or typographical errors shall remain the responsibility of the client. It is the client's responsibility to verify all dimensions on site and ensure that all work complies with New Zealand Building Code and NZS 3604 standards. Failure to mark these dimensions correctly may result in rework.

DATE OF ISSUE: 25 FEB 24	DESIGNER: KDD	SCALE: 1:100	SHEET: P-13 TOTAL SHEETS: 70
PUBLISHED REF NO. 240508 1520	DRAWN: JAM	JOB#: 25074	
VERSION: BC EPI-01	KEY NO. 01	CHECKED: M5	

Handwritten signature: JAM

NOTES: This plan is subject to City Council approval and local district council verification and approval.

NOTES:
 1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 2. BEFORE COMMENCING CONSTRUCTION.
 3. ALL GLAZING TO COMPLY WITH NZS 4225 INCLUDING SAFETY GLASS TO SHOWERS DOORS.
 4. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
 5. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.



601



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

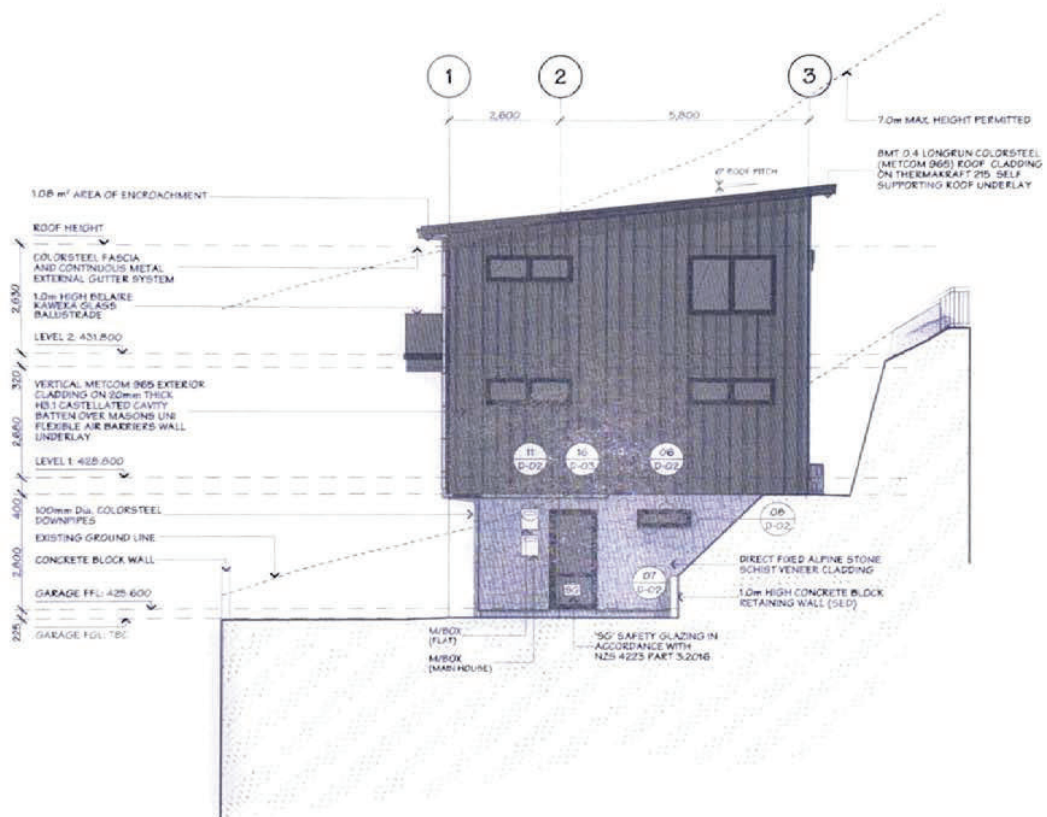
LEGAL DESCRIPTION:
 LOT 1
 DP: 512388
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (2022) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancy in the drawings or require further details, please consult MSD before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on site and ensure that all work complies with the Building Code and NZS4225 standards. Failure to do so may compromise the safety and integrity of the building.

DATE OF ISSUE: 25 FEB 24	DESIGNER: XDU	SCALE: 1:100	SHEET: P-16
PUBLISHED REF NO: 240500.1520	DRAWN: JAM	JOB#:	
VERSION: BC RFI-01	REV. NO: 01	CHECKED: MS	25074
TOTAL SHEETS: 70			

PF ART

Not for construction is subject to Council approval and local district council verification and approval.
 Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	5
Total Risk Score:		14

602



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

LEGAL DESCRIPTION:
 LOT: 1
 DP: 5123AA
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

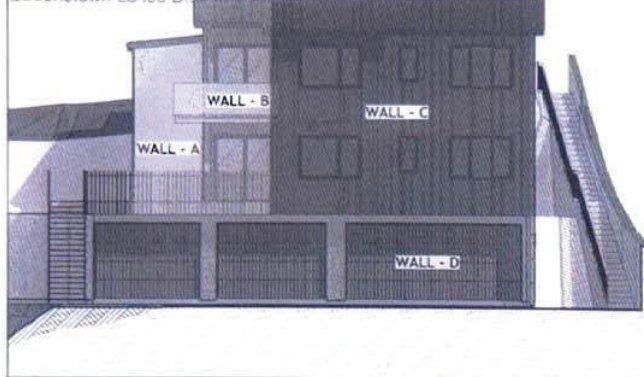
press design + drafting Ltd (PDL) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. It is your responsibility to ensure that all work complies with the Building Code and ALL other applicable rules. Please do not proceed with construction until you have received a BUILDING CONSENT from the Council.
 ASSURANCE: It is crucial to verify all dimensions on-site and ensure that all work complies with New Zealand Building Code and ALL other applicable rules. Please do not proceed with construction until you have received a BUILDING CONSENT from the Council.

DATE OF ISSUE:
 23 FEB 24
 PUBLISHED REF NO.:
 240307.1920
 VERSION:
 WD-01

DESIGNER:
 SDD
 DRAWN:
 JAM
 CHECKED:
 M5
 SCALE:
 1:100
 JOB#:
 23074
 SHEET:
E-01
 TOTAL SHEETS: 70

Handwritten signature: PF ART

This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

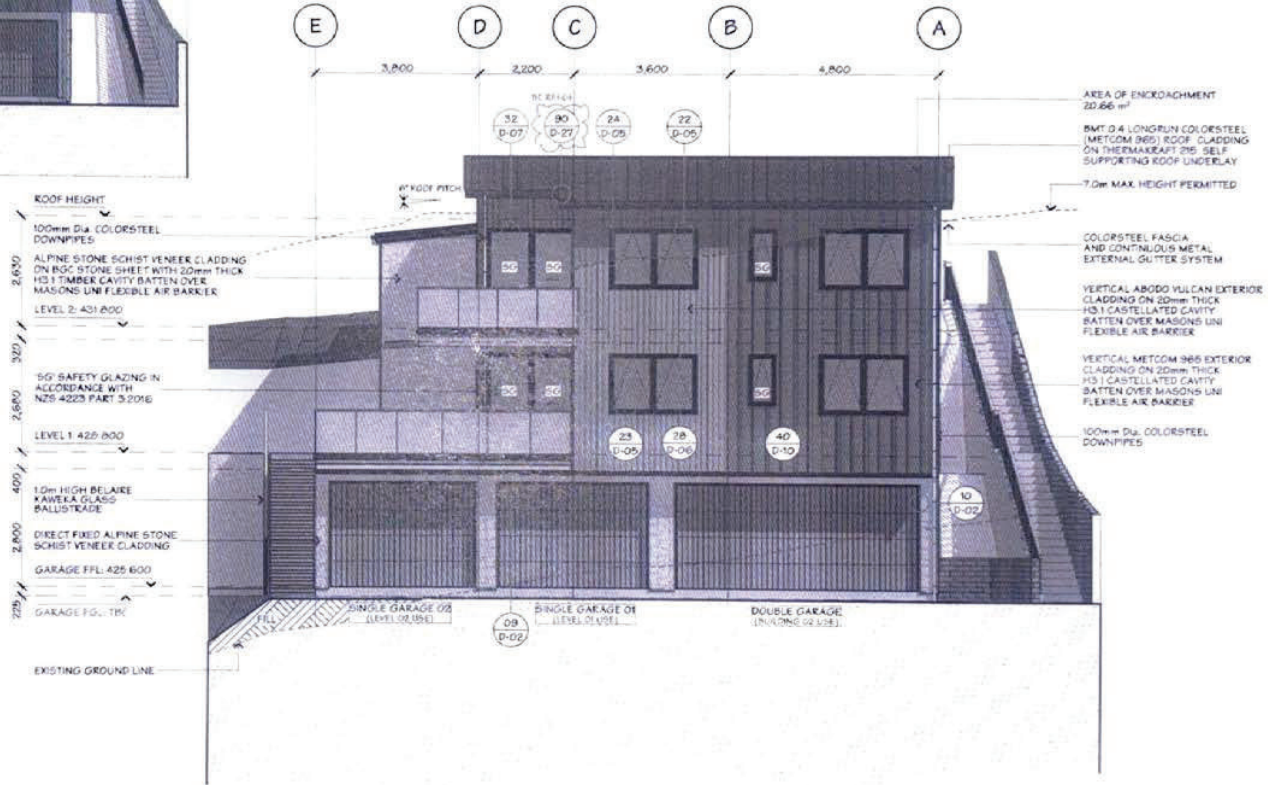


BUILDING ENVELOPE RISK MATRIX EAST ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX EAST ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX EAST ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		7

BUILDING ENVELOPE RISK MATRIX EAST ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8



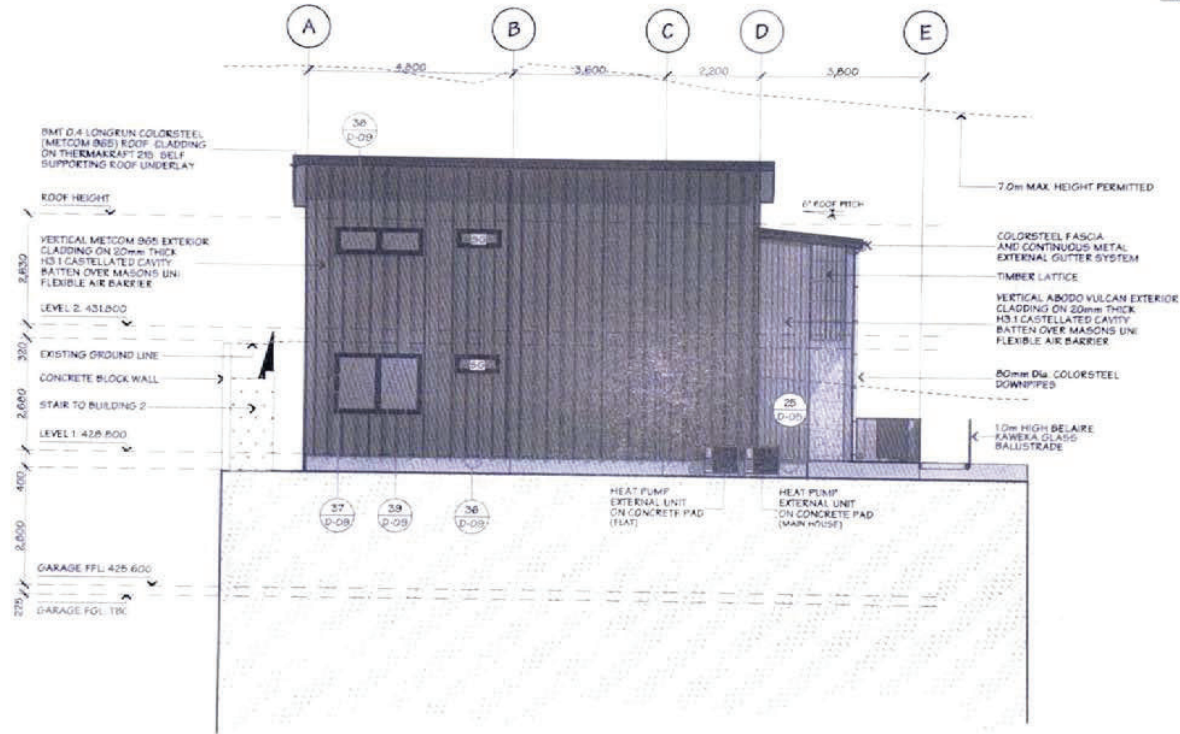
JOB TITLE: JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE: EAST ELEVATION	LEGAL DESCRIPTION: LOT 1 DP 512588 ADDRESS: 108 ST PETERS PLACE QUEENSTOWN	DATE OF ISSUE: 23 FEB 24	DESIGNER: MDD	SCALE: 1:100	SHEET: E-02
			PUBLISHED REF NO.: 240508 1520	DRAWN: JAM	JOB#: 23074	TOTAL SHEETS: 70
			VERSION: BC KFI-01	REV. NO.: 01	CHECKED: MS	

Handwritten signature and initials: PT AR4

603

Not a final plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High risk	3
Deck design	Medium risk	2
Total Risk Score:		15



604



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

LEGAL DESCRIPTION:
LOT 1
DP: 512366
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

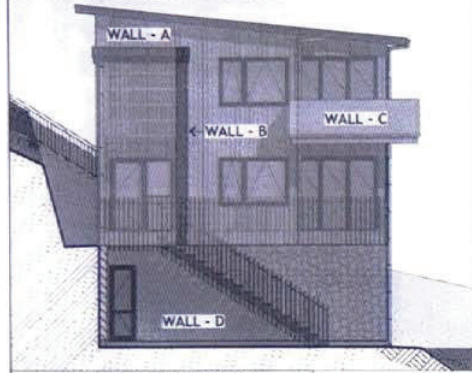
press design + drafting Ltd (2020) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies to the drawings or require further advice, please contact us before proceeding with construction.
Additionally, it is critical to verify all dimensions on site and ensure they align with the Council Building Code and all relevant standards. Failure to meet these conditions may result in a building consent being refused.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: E-03
PUBLISHED REF NO.: 2403071920	DRAWN: JAM	JOB #: 23074	TOTAL SHEETS: 70
VERSION: WD-01	REV. NO.: 01	CHECKED: MS	

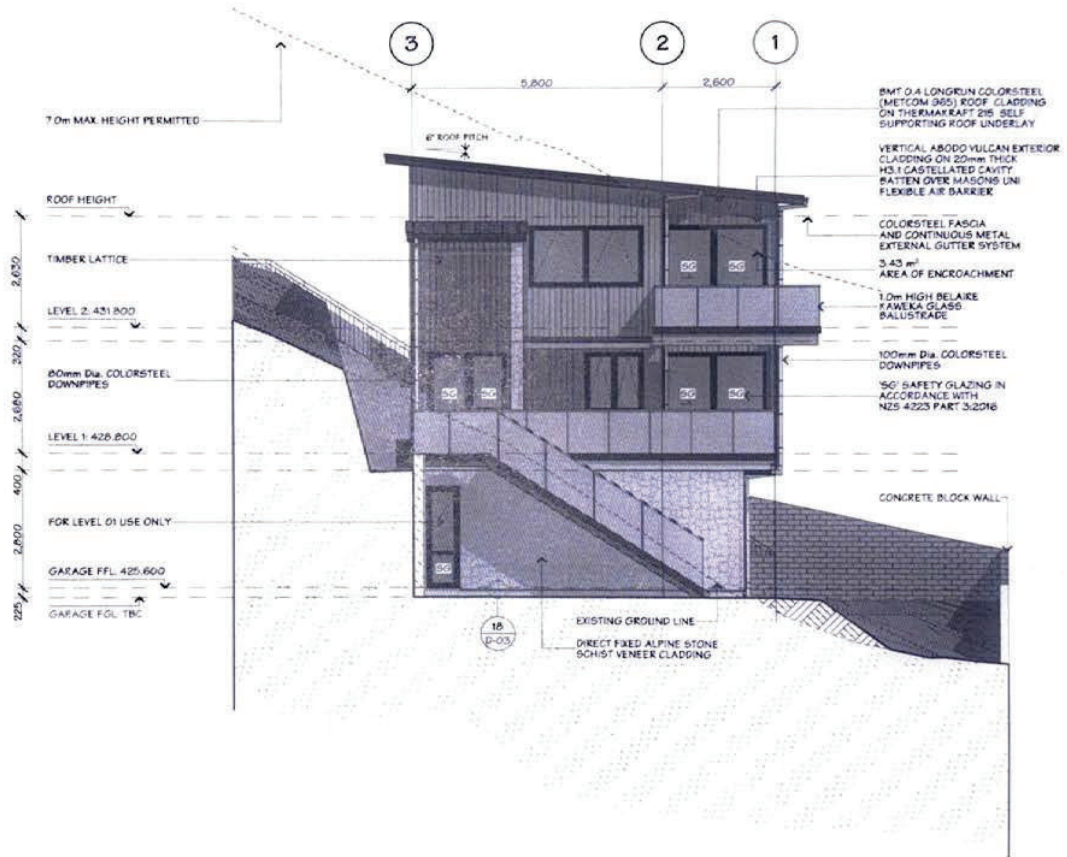
PF ART

605
 This plan is subject to Council approval and local district council verification and approval.

Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		17
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SOUTH ELEVATION

LEGAL DESCRIPTION:
 LOT 1
 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings for the purpose of obtaining a RESOURCE CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDD before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on-site and ensure that all work complies with the Resource Management Act and NZS 3604 standards. Failure to do so may result in consent revocation and liability from PDD.

DATE OF ISSUE: 23 FEB 24	DESIGNER: KDD	SCALE: 1:100.	SHEET: E-04
PUBLISHED REF NO.: 2403071920	DRAWN: JAM	JOB#: 23074	
VERSION: WD-01	REV. NO.: 01	CHECKED: MS	TOTAL SHEETS: 70

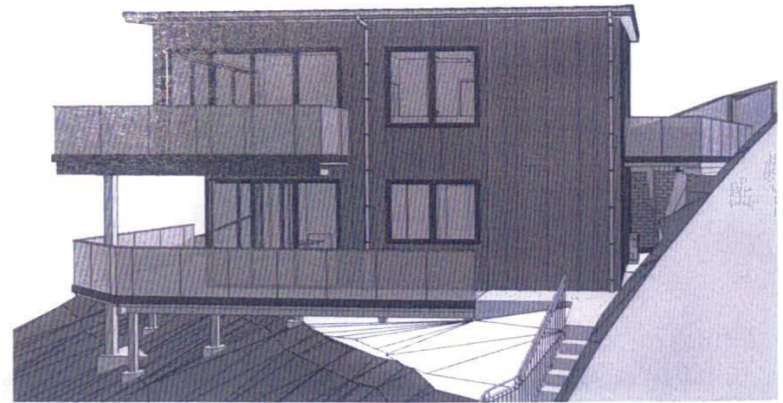
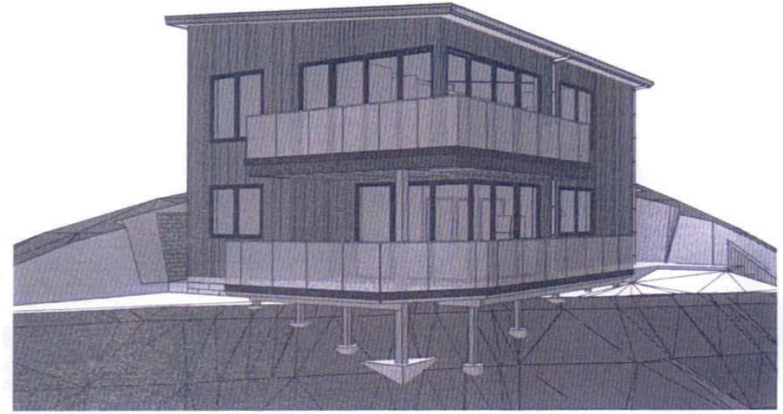
RF ARY

BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN

SHEET	PLAN SET INDEX
P-01	COVER PAGE
P-02	SITE PLAN
P-03	SEDIMENT CONTROL PLAN
P-04	DRAINAGE PLAN
P-05	DRAINAGE ISOMETRIC DRAWING
P-06	ROOF CATCHMENT PLAN
P-07	LEVEL 1 FLOOR PLAN
P-08	LEVEL 1 DIMENSION PLAN
P-09	LEVEL 2 FLOOR PLAN
P-10	LEVEL 2 DIMENSION PLAN
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN
P-13	FOUNDATION PLAN
P-14	MID-FLOOR JOIST LAYOUT
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-17	LEVEL 1 BRACING PLAN
P-18	LEVEL 2 BRACING PLAN
P-19	BRACING CALCULATION - SHEET 01
P-20	BRACING CALCULATION - SHEET 02
P-21	LEVEL 1 ELECTRICAL PLAN
P-22	LEVEL 2 ELECTRICAL PLAN
P-23	JOINERY SCHEDULE - SHEET 01
P-24	JOINERY SCHEDULE - SHEET 02
E-01	ELEVATIONS - SHEET 01
E-02	ELEVATIONS - SHEET 02
S-01	CROSS SECTION A-A

SHEET	PLAN SET INDEX
S-02	CROSS SECTION B-B
S-03	CROSS SECTION C-C
D-01	VERT. ABODO VULCAN CLADDING DETAILS
D-02	VERT. ABODO VULCAN CLADDING DETAILS
D-03	VERT. ABODO VULCAN CLADDING DETAILS
D-04	VERT. ABODO VULCAN CLADDING DETAILS
D-05	VERT. METCOM 965 CLADDING DETAILS
D-06	VERT. METCOM 965 CLADDING DETAILS
D-07	VERT. METCOM 965 CLADDING DETAILS
D-08	VERT. METCOM 965 CLADDING DETAILS
D-09	HANDRAIL/STAIRCASE DETAIL
D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
D-11	SHOWER/WET AREA DETAILS
D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
D-13	HWC & SEISMIC RESTRAINT DETAIL
D-14	FIRE RATED WALL DETAILS - SHEET 01
D-15	FIRE RATED WALL DETAILS - SHEET 02
D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
D-19	TIMBER DECK BALUSTRADE DETAIL
D-20	TIMBER DECK OVERFLOW DETAIL
D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
D-22	SOFFIT DETAILS
D-23	FLOOR JOIST STIFFENER DETAIL
D-24	STAIRCASE & HANDRAIL DETAIL
D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
D-26	TERRACE DETAILS



606

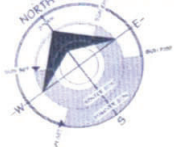


REV	COLOUR	ISSUED BY	REVISION	DATE OF ISSUE	DATE: 23 FEB 24	SHEET: P-01
1		XDD	BC RFI-01	05 09 24	JOB #: 23073	TOTAL SHEETS: 56
2		XDD	BC RFI-02	05 14 24	COVER PAGE	
3		XDD	BC RFI-03	05 20 24		
SCALE: NOT TO SCALE						

PF 217

NOT TO SCALE. This plan is subject to RMA approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 3
 CORROSION ZONE: B
 SNOW LOADING: NS (450m)

BUILDING FOOTPRINT: 80.17m²
 SITE COVERAGE: 8.91% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
 QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
 TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY, A BARRIER COMPLYING WITH TABLE 1, NZBC F5/AS1 IS AN ACCEPTABLE SOLUTION

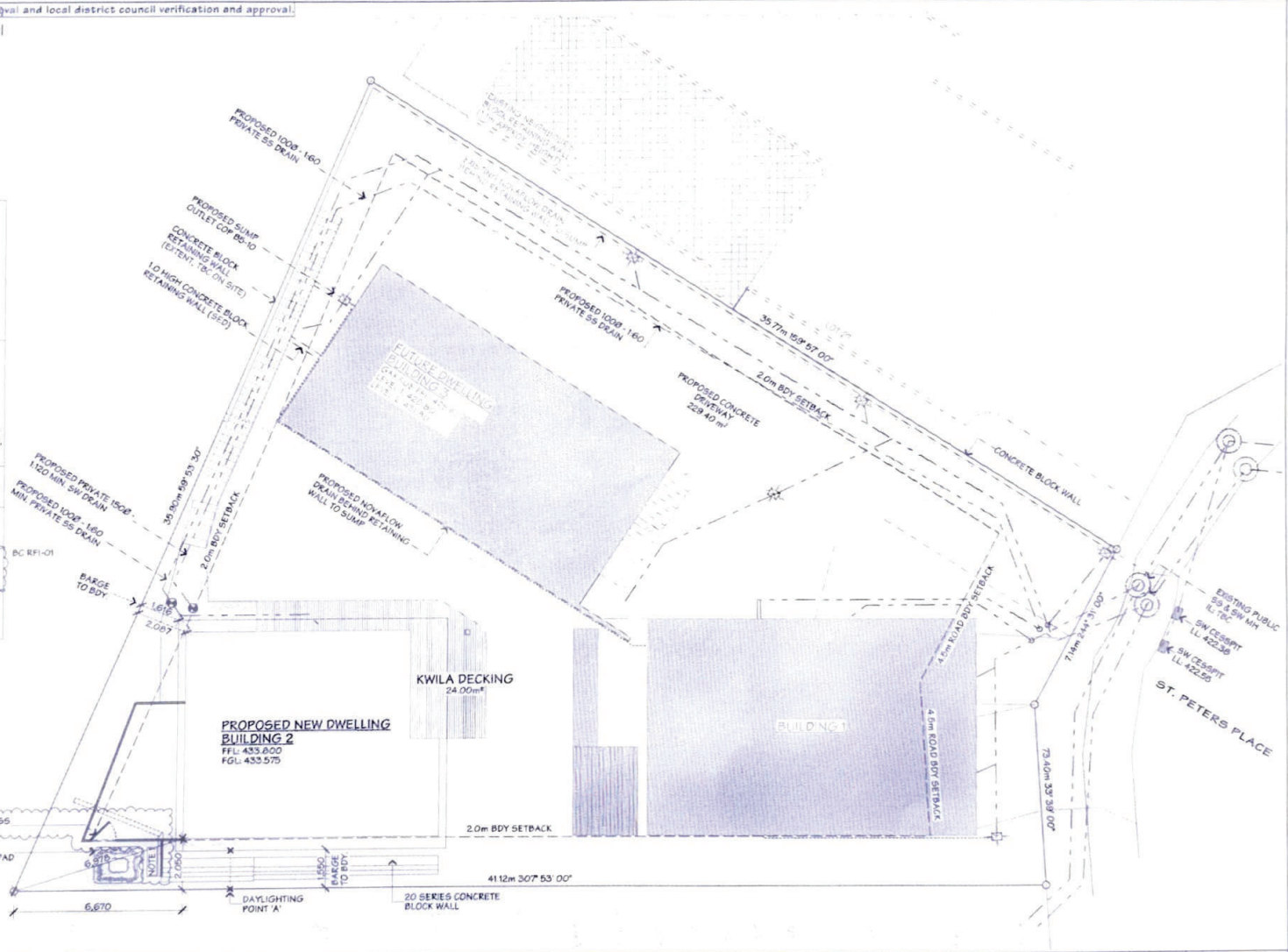
- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 180mm.

DISCLAIMER:
 FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK.

NOTE 1:
 1.0m HIGH FRAMELESS GLASS BALUSTRADE (KARAKA CHANNEL)

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL JOB NO. 31746

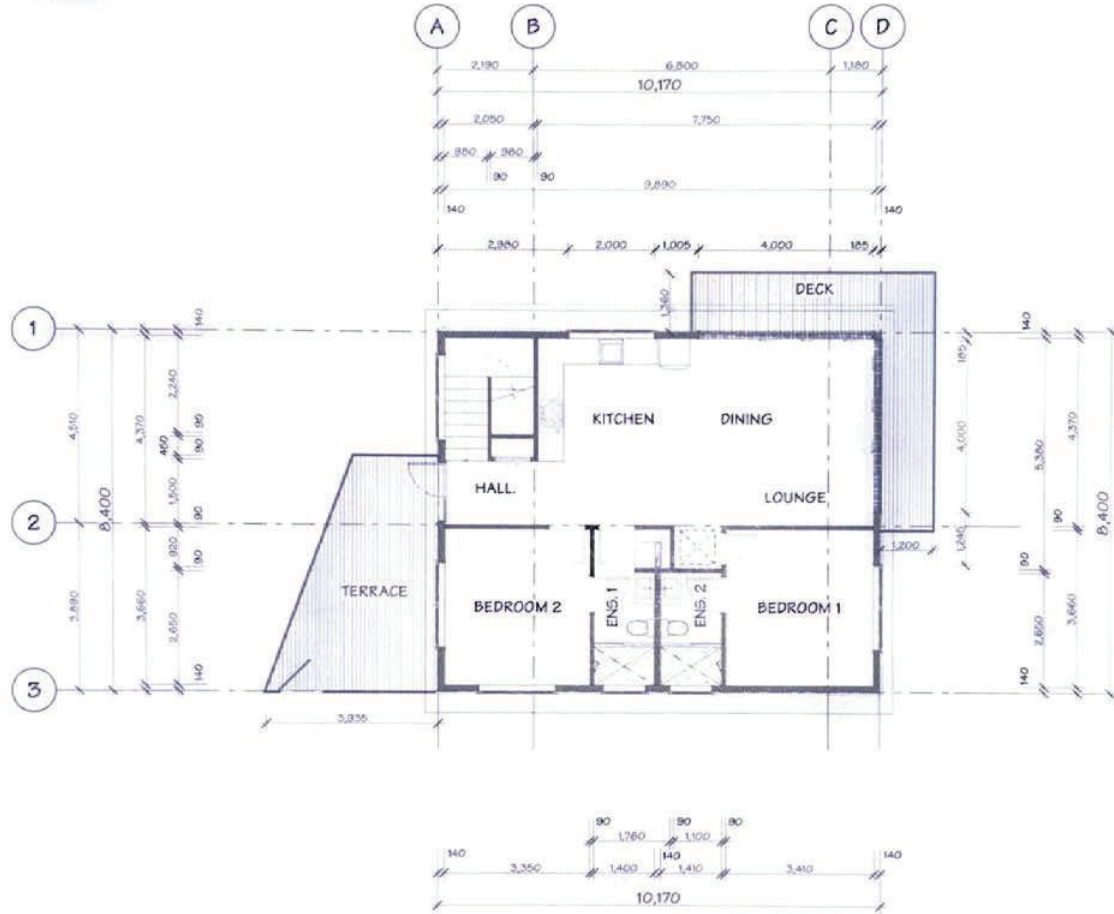


JOB TITLE: JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE: SITE PLAN	LEGAL DESCRIPTION: LOT 1 DP: 512388 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN	<small>Agroce Design + Drafting Ltd (ADD) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult ADD before proceeding with construction.</small> <small>Additionally, it is crucial to verify all dimensions on site and ensure that all work complies with the Queenstown Building Code and NZS3604 standards. If failure to meet these standards causes any liability from ADD.</small>	DATE OF ISSUE: 23 FEB 24	DESIGNER: XDP	SCALE: 1:150	SHEET: P-02
				PUBLISHED REF NO.: 240514-1440	DRAWN: DM	JOB#: 23073	TOTAL SHEETS: 56
				VERSION: BC-RFI 02	REV. NO.: 01	CHECKED: JAM	

PF ARX

608

NOTED: This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

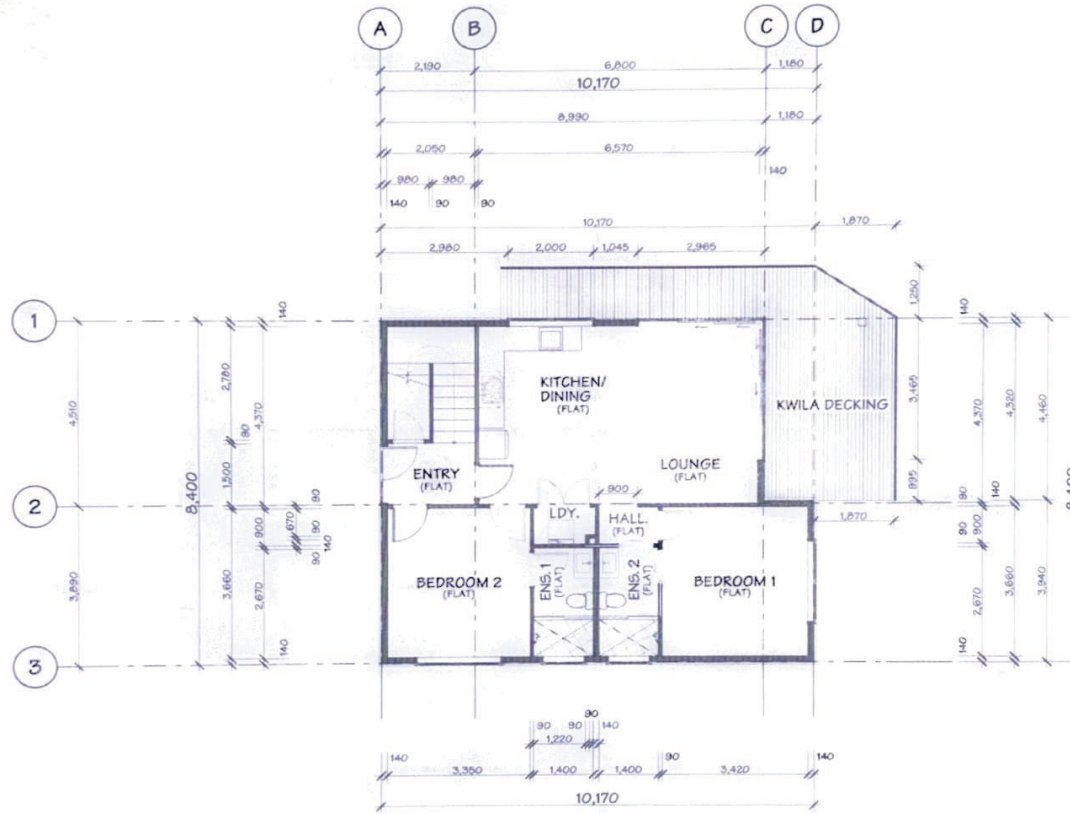
LEGAL DESCRIPTION:
LOT: 1
DP: 512586
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

Express Design + Drafting Ltd (EDD) has prepared these drawings for the purpose of obtaining a BUILDING PERMIT. Should you discover any discrepancies in the drawings or require further details, please contact EDD before proceeding with construction.
Additionally, the client to verify all dimensions on-site and ensure that all work complies with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions releases EDD liability from EDD.

DATE OF ISSUE: 25 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 240409.0154		DRAWN: DM	JOB#: 23075	
VERSION: W0-01	REV. NO.: 01	CHECKED: JAM	TOTAL SHEETS: 56	

PF AR4

This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council



610



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
LOT 1
DP: 512300
ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (IDD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. You should not use any information in this drawing or require further details, please contact IDD before proceeding with construction.
Additionally, it is crucial to verify all dimensions on site and ensure that all work complies with New Zealand Building Code and all applicable standards. Failure to meet these conditions remains the liability of the client.

DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240409.0154
VERSION:
WD-01

DESIGNER:
XDD
DRAWN:
DM
CHECKED:
JAM

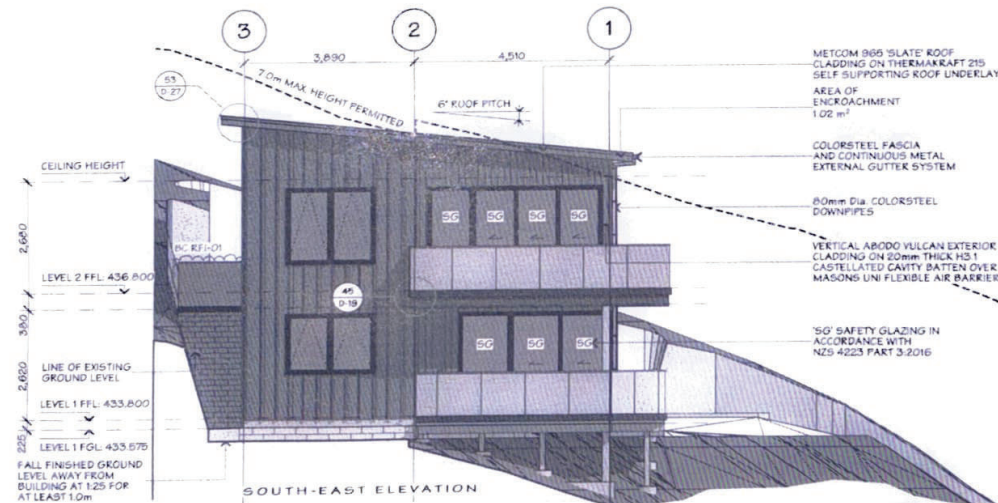
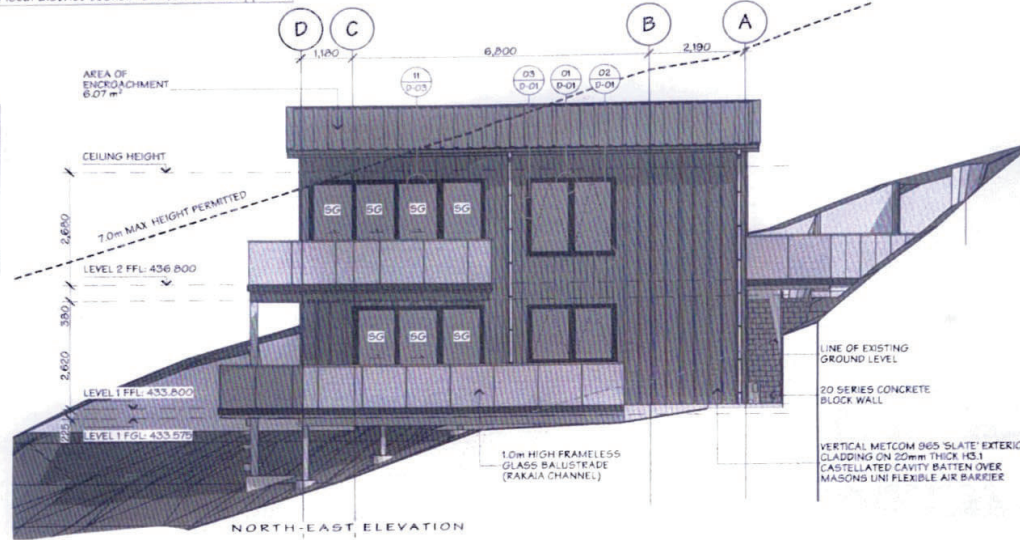
SCALE:
1:100
JOB #:
23073

SHEET:
P-08
TOTAL SHEETS: 56

PF 2027

NO. 24115 plan is subject to P. 44 (2) (a) approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11



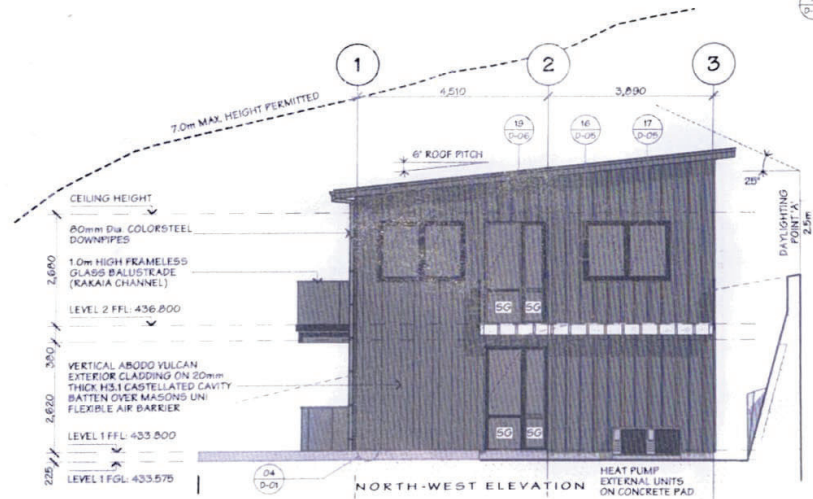
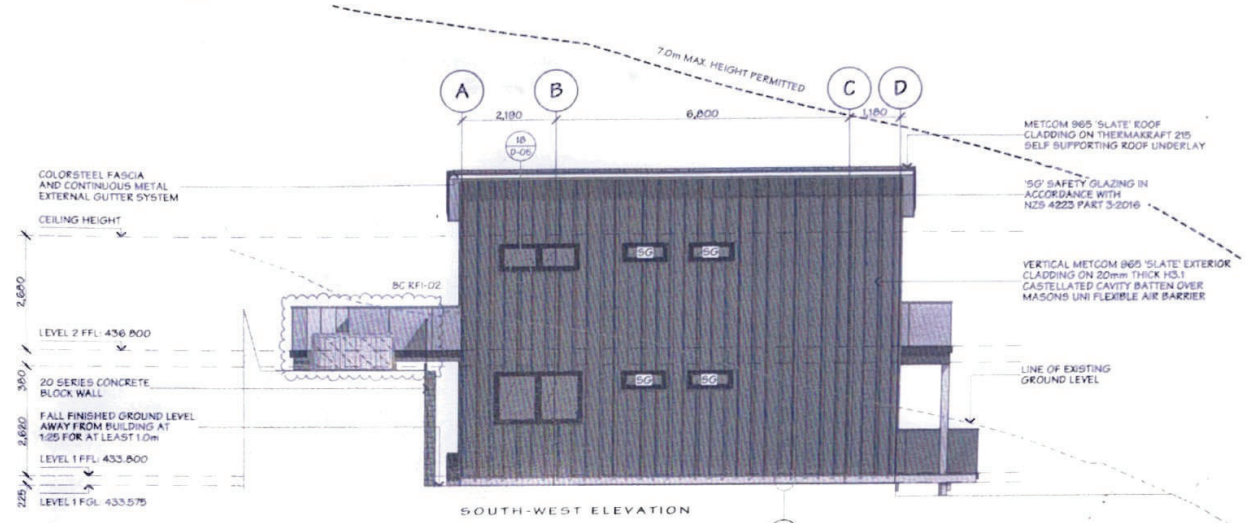
	JOB TITLE:	DRAWING TITLE:	LEGAL DESCRIPTION:	DATE OF ISSUE:	DESIGNER:	SCALE:	SHEET:
	JASON & DAN GLEW & PROAPT TRUSTEES LTD	ELEVATIONS - SHEET 01	LOT 1 DP: 512366 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN	23 FEB 24 PUBLISHED REF NO.: 240809.1050 VERSION: BC-RFI 01	XDD DM JAM	1:100 JOB#: 23073	E-01 TOTAL SHEETS: 56

Handwritten signature: PF AR7

Not for construction. This plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT 1
DP 512300
ADDRESS: 100 ST PETERS PLACE
QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in this drawing or require further details, please contact PDD before proceeding with construction.
Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions removes any liability from PDD.

DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240514.1440
VERSION:
BC-RF1 02

DESIGNER:
XDD
DRAWN:
DM
CHECKED:
JAM

SCALE:
1:100
JOB#:
23073
SHEET:
E-02
TOTAL SHEETS: 56

Handwritten signature: PF ART



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited



AFFECTED PERSON'S DETAILS

I/We Joshua Mark Gillick Leckie

Are the owners/occupiers of
1 St Peters Place, Queenstown



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A, 10B and 10C St Peters Place, Queenstown

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):

10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



I/We have sighted and initialled ALL plans dated and approve them.

3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)



APPROVAL OF AFFECTED PERSON(S)

666

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Joshua Mark Gillick Leckie (as executor of the estate of Dawn Andrews) Joshua Mark Gillick Leckie Solicitor Queenstown	
	Contact Phone / Email address joshua.leckie@lanenew.co.nz	
	Signature 	Date 2/2/26

B	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

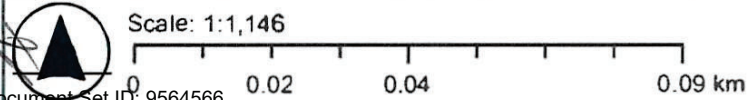
Note to person signing written approval

Conditional written approvals cannot be accepted.
 There is no obligation to sign this form, and no reasons need to be given.
 If this form is not signed, the application may be notified with an opportunity for submissions.
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



Queenstown Lakes District Council
 Private Bag 50072, Queenstown 9348
 Gorge Road, Queenstown 9300

P: 03 441 0499
 E: resourceconsent@qldc.govt.nz
 www.qldc.govt.nz



The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

BC230309 APPROVED Queenstown Lakes District Council



Sheet List table with columns: Sheet No./Date, Sheet Name, Content, Status, Client, Revision Date. Lists sheets A100 through A715.

Project number 7382

Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown

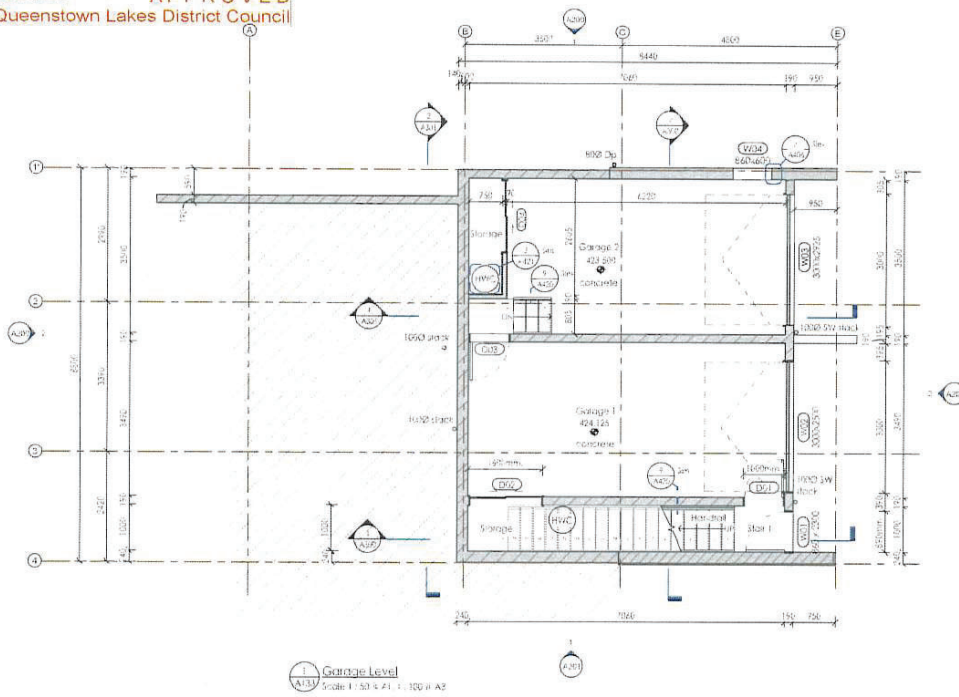
Building Consent



Document Set ID: 7574843 Version: 1, Version Date: 03/04/2023

Document Set ID: 9564566 Version: 1, Version Date: 06/05/2026

BC230309 APPROVED
Queenstown Lakes District Council



Building one foundation and block walls completed as part of stage 1 - BC221652

REV	DATE	DESCRIPTION
1	15/05/2023	ISSUE FOR PERMIT
2	15/05/2023	ISSUE FOR PERMIT

FLOOR AREAS:
Garage Level
GFA (excl. stairs) = 55.33m²
Level 1 (GFA incl. stairs) = 124.54m²
Level 2 (GFA incl. stairs) = 124.54m²
Total Floor area = 234.35m²
GFA (incl. stairs and porch)

Interior Stair 1
19 treads, 178 mm
Risers: 285 mm
incl. 20mm nosing

Interior Stair 2
17 treads, 185 mm
Risers: 250 mm
incl. 20mm nosing

Exterior Stair
10 treads, 185 mm
Risers: 200 mm

Building Consent

NOTE: It is the responsibility of the applicant to ensure that the proposed works comply with the Building Act 2004 and the Building Regulations 2004. The applicant is responsible for obtaining all necessary consents and approvals from the relevant authorities. The applicant is also responsible for ensuring that the proposed works are carried out in accordance with the Building Act 2004 and the Building Regulations 2004. The applicant is also responsible for ensuring that the proposed works are carried out in accordance with the Building Act 2004 and the Building Regulations 2004.



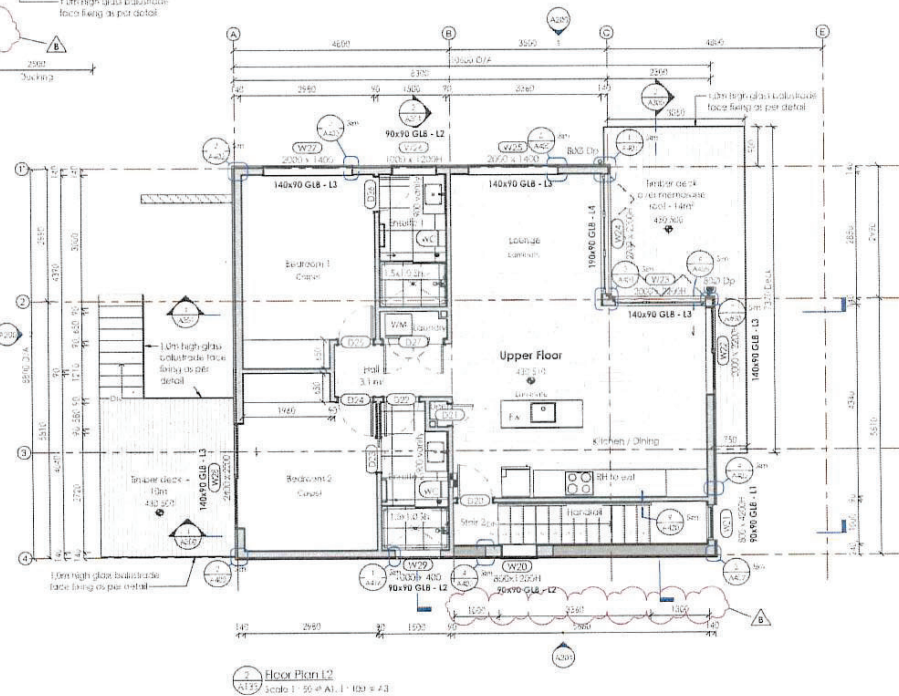
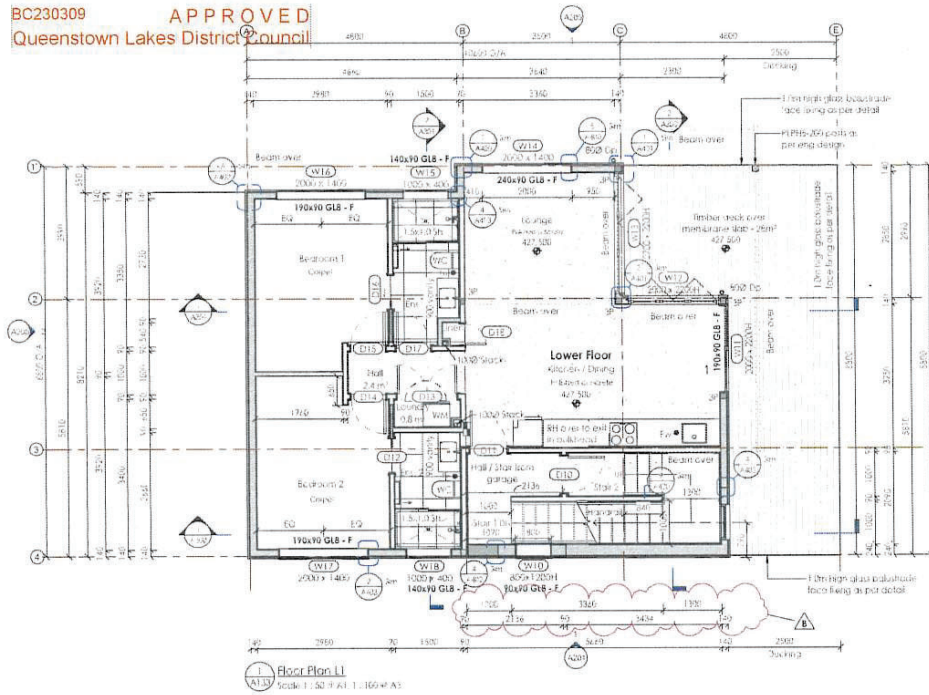
FAT PARROT ARCHITECTURE
100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000

Proposed Multi-Unit Dwelling -
Blk 1 Stage 2 for Jason & Dan
Glew & Prospa Trustees Ltd
105-111 Pictorial Place
Queenstown

Proposed Floor Plan - Garage
Date: 15/05/2023
Scale: 1:50 & A1: 1:100 @ A2

7382 A110 B

BC230309 APPROVED Queenstown Lakes District Council



NO.	DATE	DESCRIPTION
1	19/11/21	Issue for consent
2	19/11/21	Issue for consent

Window Legend

United Window → 2110 x 1455 G2
 United Size → 2110 x 1455 G2
 Sluice → W111
 Window Tag → W111

Refer to window schedule for window sizes and heights. Refer to Detail 1 on Sheet 614 for detail window details.

FLOOR AREAS:

Garage to let
 G1 - 40.00m²
 Level 1 - 107.60m² and 70.00m²
 Level 2 - 107.60m² and 70.00m²
Total Floor area: 234.35m²
 (excluding garage and carport)

Interior Stair 1
 17 steps, 1.18m riser
 Height: 280mm
 2000 x 2000mm treading

Interior Stair 2
 17 steps, 1.18m riser
 Height: 280mm
 2000 x 2000mm treading

Exterior Stair
 10 steps, 1.18m riser
 2000 x 2000mm treading

Building Consent

NOTE: This consent is issued on the basis that the applicant has provided all the information required for the consent and that the applicant is responsible for the accuracy of the information provided. The consent is issued on the basis that the applicant has provided all the information required for the consent and that the applicant is responsible for the accuracy of the information provided.

FAT PARROT ARCHITECTURE
 10/11/21
 10/11/21
 10/11/21

Proposed Multi-Unit Dwelling - Bldg 1 - Stage 2 for Jason & Dani Glew & Proprietors Ltd
 19A St Petrus Place
 Queenstown
 Proposed Floor Plans

10/11/21	10/11/21
10/11/21	10/11/21
10/11/21	10/11/21

7382 A111 B

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BC240156 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 3
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN

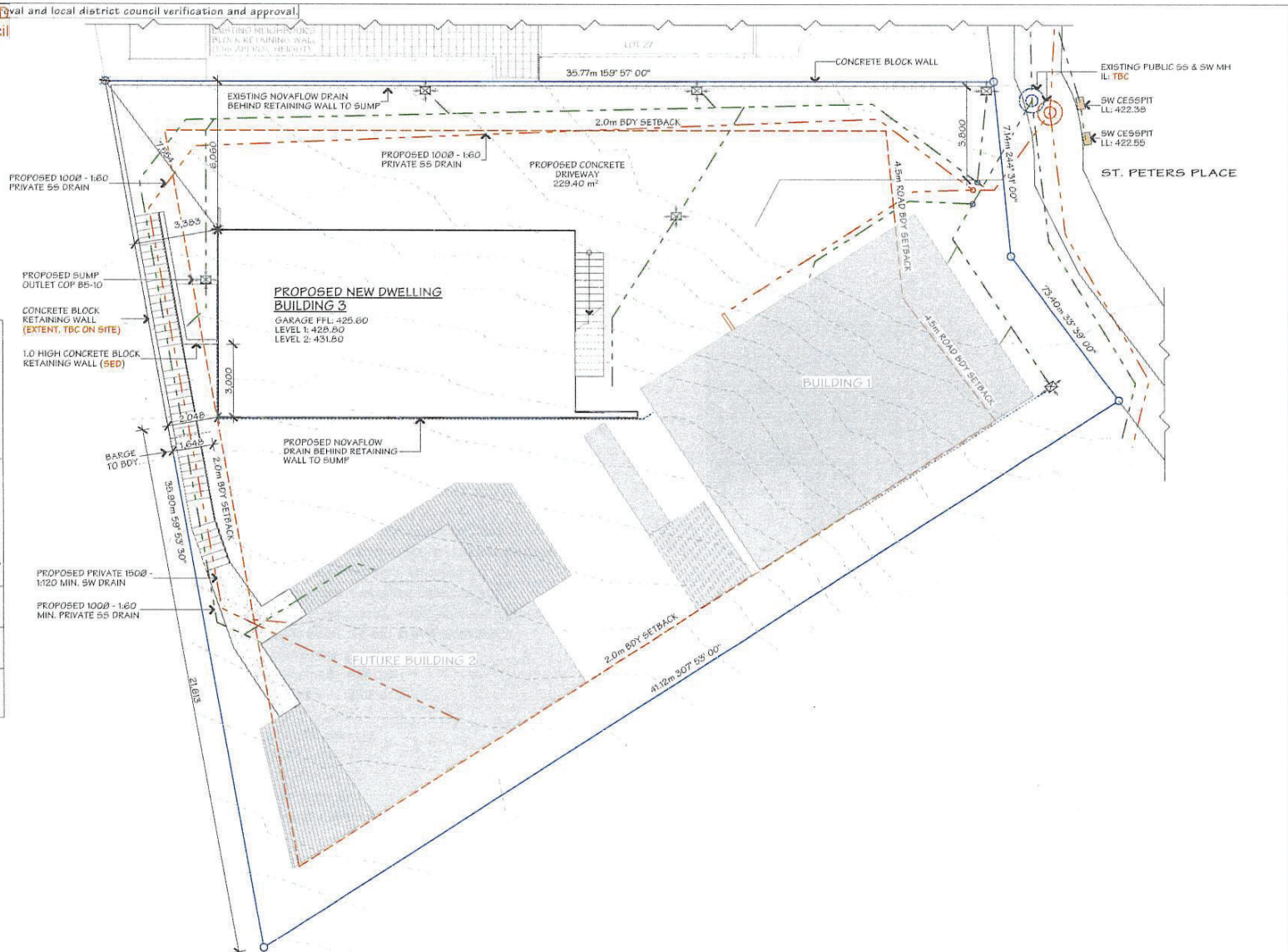
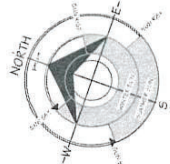
SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	E-03	WEST ELEVATION
P-02	SITE PLAN	E-04	SOUTH ELEVATION
P-03	SEDIMENT CONTROL PLAN	S-01	CROSS SECTION A-A
P-04	GARAGE DRAINAGE PLAN	S-02	CROSS SECTION B-B
P-05	LEVEL 1 DRAINAGE PLAN	S-03	CROSS SECTION C-C
P-06	LEVEL 2 DRAINAGE PLAN	S-04	SCHEDULE OF DOORS
P-07	PLUMBING SCHEMATIC	S-05	SCHEDULE OF WINDOWS
P-08	ROOF CATCHMENT PLAN	D-01	FOUNDATION DETAILS
P-09	GARAGE FLOOR PLAN	D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
P-10	GARAGE DIMENSION PLAN	D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN	D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
P-12	LEVEL 1 FLOOR PLAN	D-05	VERT. ABODO VULCAN & BASE DETAILS
P-13	LEVEL 1 DIMENSION PLAN	D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
P-15	LEVEL 2 FLOOR PLAN	D-08	VERT. ABODO VULCAN ROOF DETAILS
P-16	LEVEL 2 DIMENSION PLAN	D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
P-18	GARAGE FOUNDATION PLAN	D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
P-19	LEVEL 1 FOUNDATION PLAN	D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT	D-13	HANDRAIL/STAIRCASE DETAIL
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-15	SHOWER/WET AREA DETAILS
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-24	GARAGE BRACING PLAN	D-17	HWC & SEISMIC RESTRAINT DETAILS
P-25	LEVEL 1 BRACING PLAN	D-18	FIRE RATED WALL DETAILS - SHEET 01
P-26	LEVEL 2 BRACING PLAN	D-19	FIRE RATED WALL DETAILS - SHEET 02
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS	D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS	D-21	FIRE RATED JUNCTION DETAILS
P-29	BRACE FIXING DETAILS	D-22	FIRE RATED PENETRATION DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN	D-23	FIRE RATED ROOF DETAILS
P-31	LEVEL 1 ELECTRICAL PLAN	D-24	CONCRETE DECK DETAILS - SHEET 01
P-32	LEVEL 2 ELECTRICAL PLAN	D-25	CONCRETE DECK DETAILS - SHEET 02
E-01	NORTH ELEVATION	D-26	TIMBER DECK DETAILS
E-02	EAST ELEVATION	D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
		D-28	FLOOR JOIST STIFFENER



DATE: 08 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	

REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE
BC RFI-01	XDD	BC RFI	05.09.24
BC RFI-02	XDD	BC RFI	05.17.24

50240156 plan is subject to RDA approval and local district council verification and approval.
 Queenstown Lakes District Council



LOT 1 DP 512388
 900m²

WIND ZONE VERY HIGH
 EARTHQUAKE ZONE 3
 CORROSION ZONE B (450m)
 SNOW LOADING N5

BUILDING FOOTPRINT: 110.76m²
 SITE COVERAGE: 12.31% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
 QUEENSTOWN LAKES DISTRICT COUNCIL

NOTE: HAZARD MANAGEMENT TEMPORARY FENCING

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F51/AS1 IS AN ACCEPTABLE SOLUTION

- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2.
 MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 150mm.

DISCLAIMER:
 FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK.

EARTHWORKS TO GEOTECH REPORT.

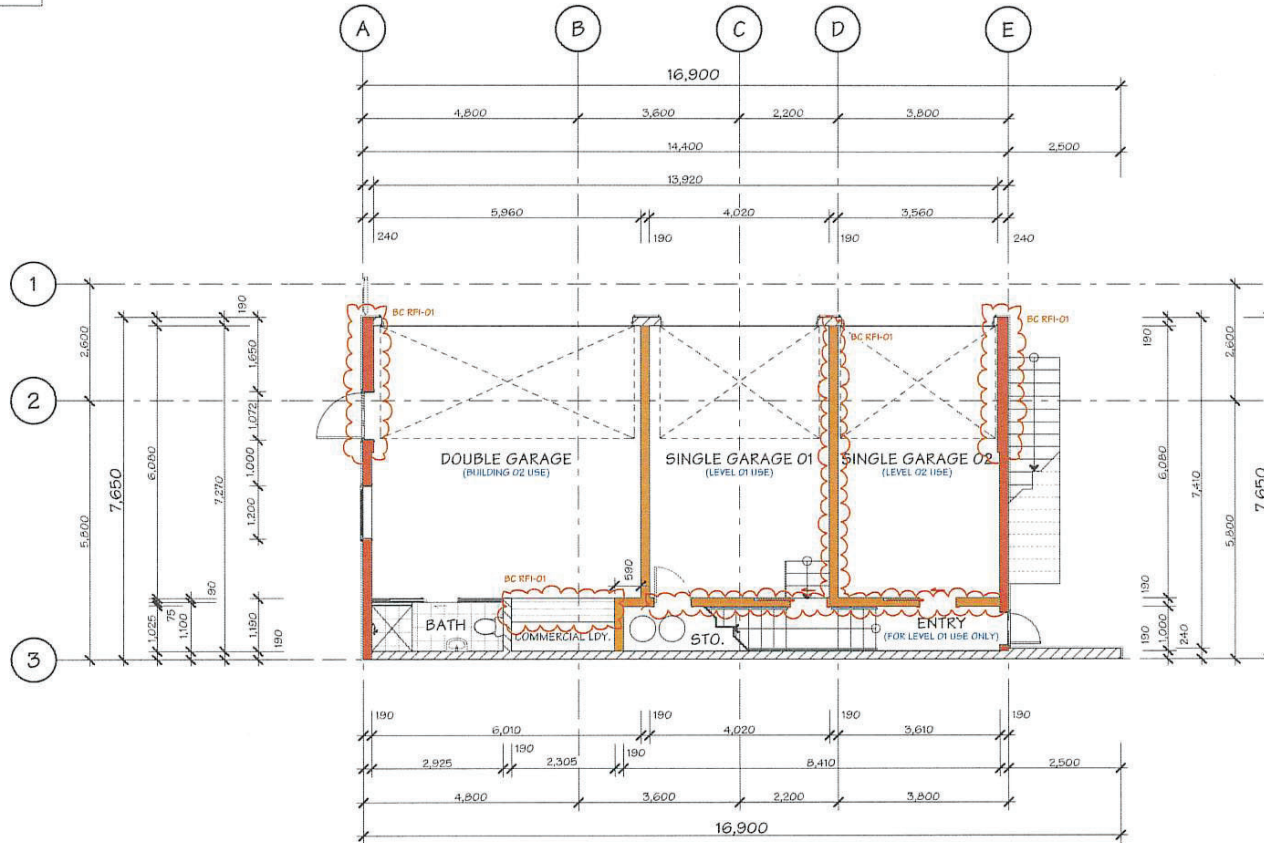
REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL, JOB NO. 51746



JOB TITLE: JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE: SITE PLAN	LEGAL DESCRIPTION: LOT: 1 DP: 512388 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN	<p>press design + drafting Ltd (PDD) have prepared these drawings for the purpose of obtaining a Building Consent. Should you discover any discrepancies in the drawings or require further details, please contact PDD before proceeding with construction.</p> <p>Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZDASRA standards. It is the client's responsibility to ensure all necessary consents are obtained before construction commences.</p>	DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:150	SHEET: P-02
			PUBLISHED REF NO.: 240307.1920	DRAWN: JAM	JOB#: 23074	TOTAL SHEETS: 70	
			VERSION: WD-01	REV. NO.: 01	CHECKED: MS		

BCR 0156 plan is subject to developer approval and local district council verification and approval.

NOTES:
 1. THIS PLAN IS FOR THE DISTRICT COUNCIL.
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Apres Design + Drafting (NZ) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact NZD before proceeding with construction.
 Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions voids any liability from NZD.

DATE OF ISSUE:
 23 FEB 24
 PUBLISHED REF NO.:
 240508.1520
 VERSION:
 BC RFI-01

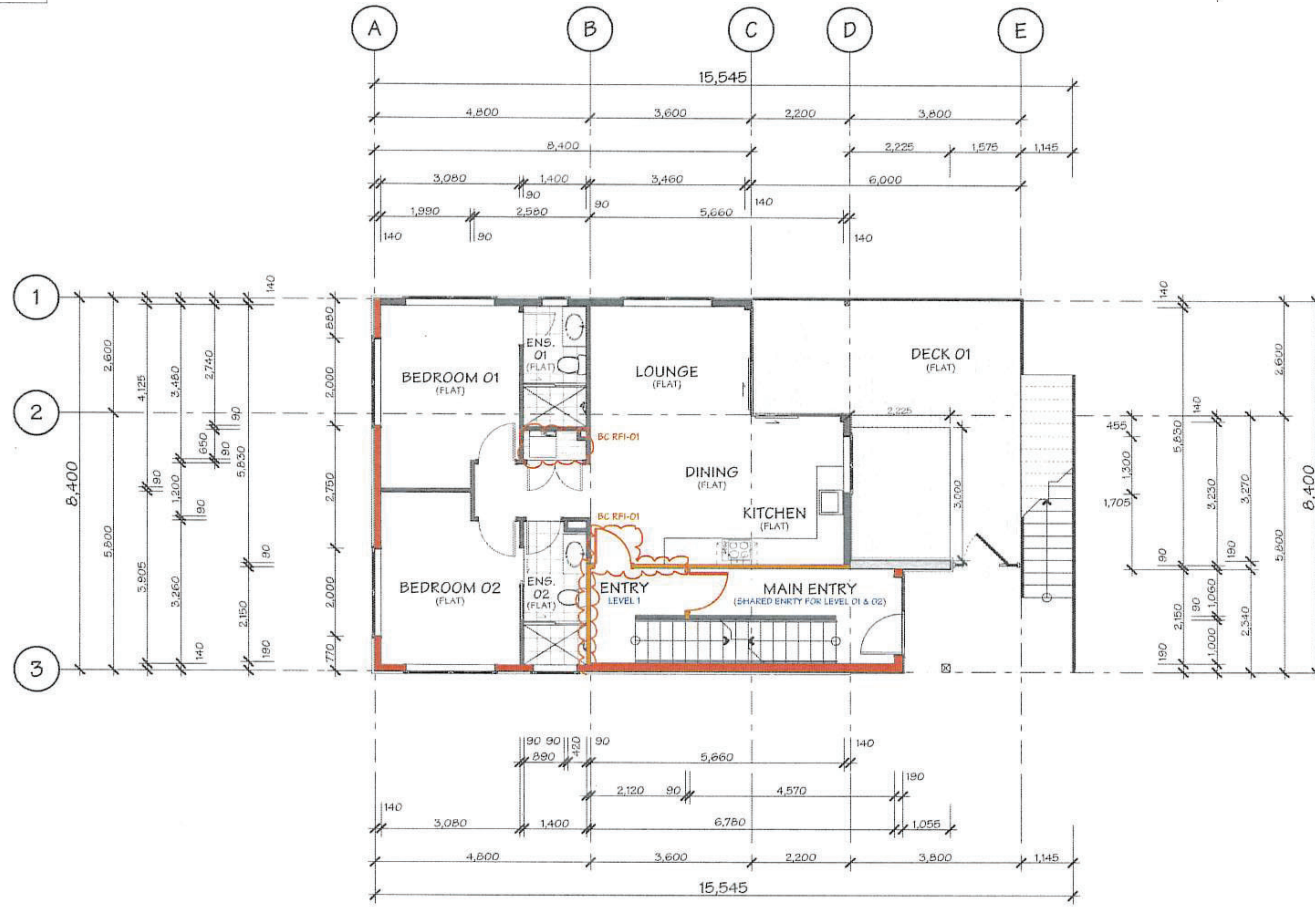
DESIGNER:
 XDD
 DRAWN:
 JAM
 CHECKED:
 MS

SCALE:
 1:100
 JOB#:
 23074

SHEET:
P-10
 TOTAL SHEETS: 70

240508 plan is subject to City Council approval and local district council verification and approval.

NOTES:
 BUILDING SOUTH ISLAND COUNCIL
 BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING
 SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE
 CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDD before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and applicable standards. Failure to do so may result in non-compliance with any liability from PDD.

DATE OF ISSUE:
 25 FEB 24
 PUBLISHED REF NO.:
 240508.1520
 VERSION:
 BC RFI-01

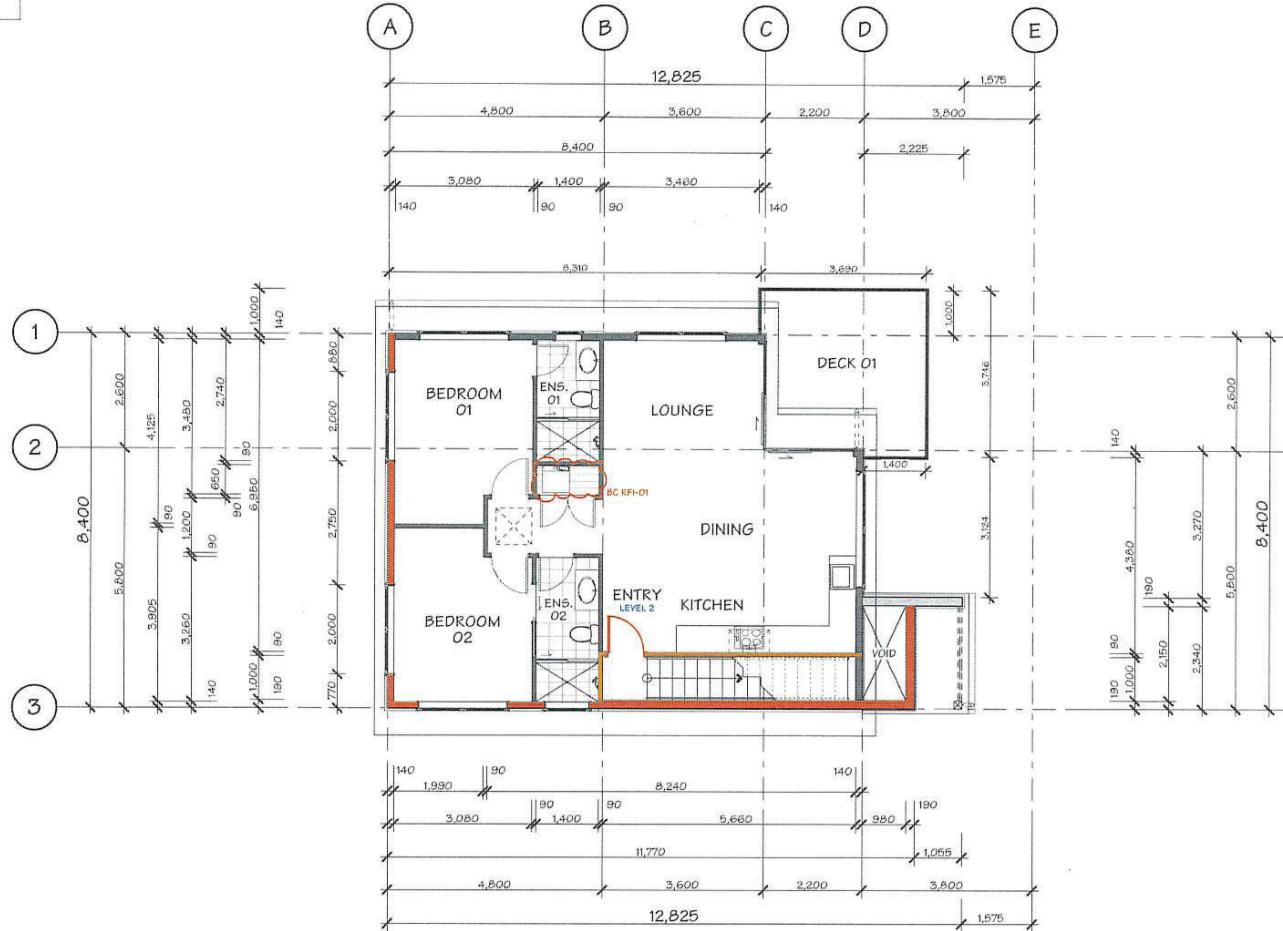
DESIGNER:
 XDD
 DRAWN:
 JAM
 CHECKED:
 MS

SCALE:
 1:100
 JOB #:
 23074

SHEET:
P-13
 TOTAL SHEETS: 70

240150 plan is subject to City Council approval and local district council verification and approval.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS TO BE VERIFIED BEFORE COMMENCING CONSTRUCTION.
 3. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS.
 4. DOUBLE GLAZING TO ALL EXTERIOR JOINERY.
 5. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE.



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512308
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

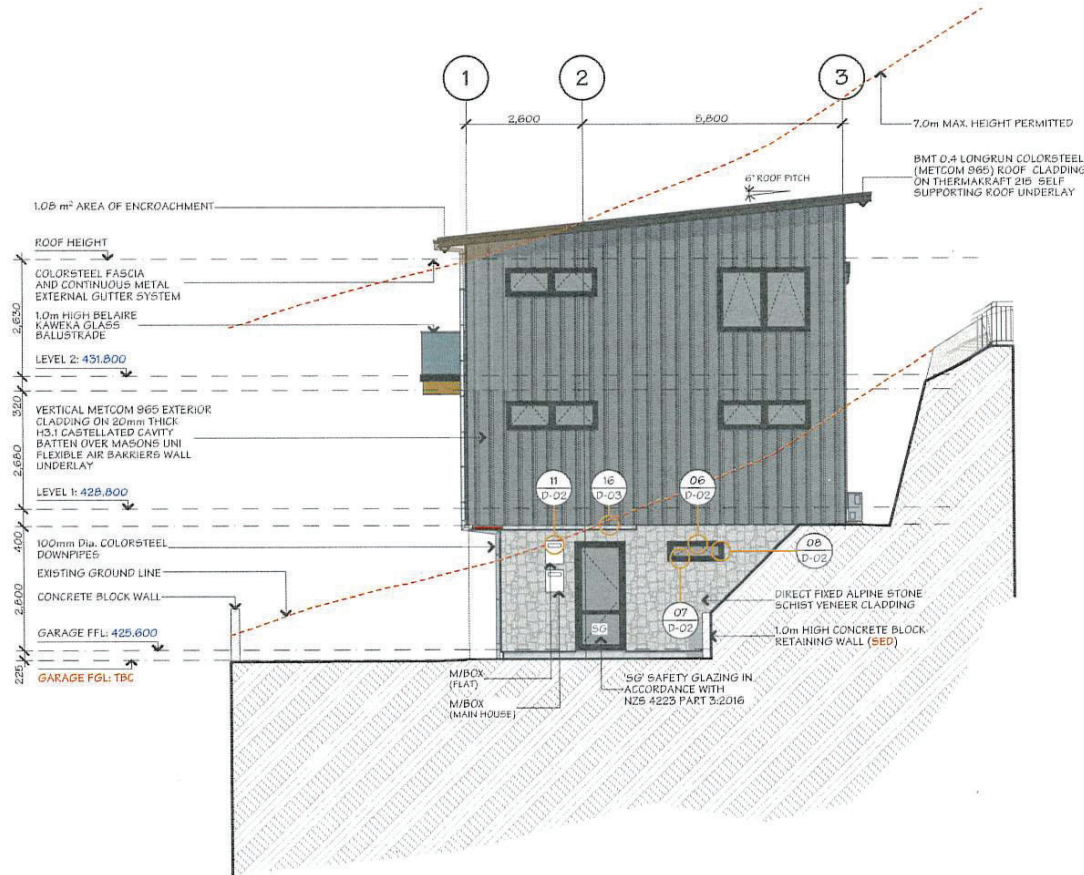
Press Design + Drafting Ltd (PDD) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDD before proceeding with construction.

Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS6504 standards. Failure to meet these conditions may result in any liability from PDD.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-16
PUBLISHED REF NO.: 240508.1520	DRAWN: JAM	JOB#: 23074	
VERSION: BC RF1-01	REV. NO.: 01	CHECKED: MB	TOTAL SHEETS: 70

50240156 plan is subject to PDP approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		14



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512588
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings on the assumption that all information is correct and complete. Should you discover any inaccuracies in the drawings or require further details, please contact PDD before proceeding with construction.
Additionally, it is crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Please refer to the notes on drawings for any liability from PDD.

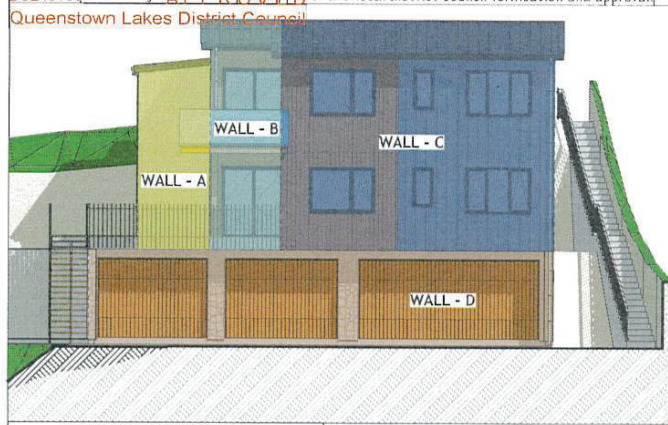
DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
2403071920
VERSION:
WD-01

DESIGNER:
XDD
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB#: 25074
TOTAL SHEETS: 70

E-01

BC 240156 plan is subject to Resource Management Act approval and local district council verification and approval.
Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		7
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

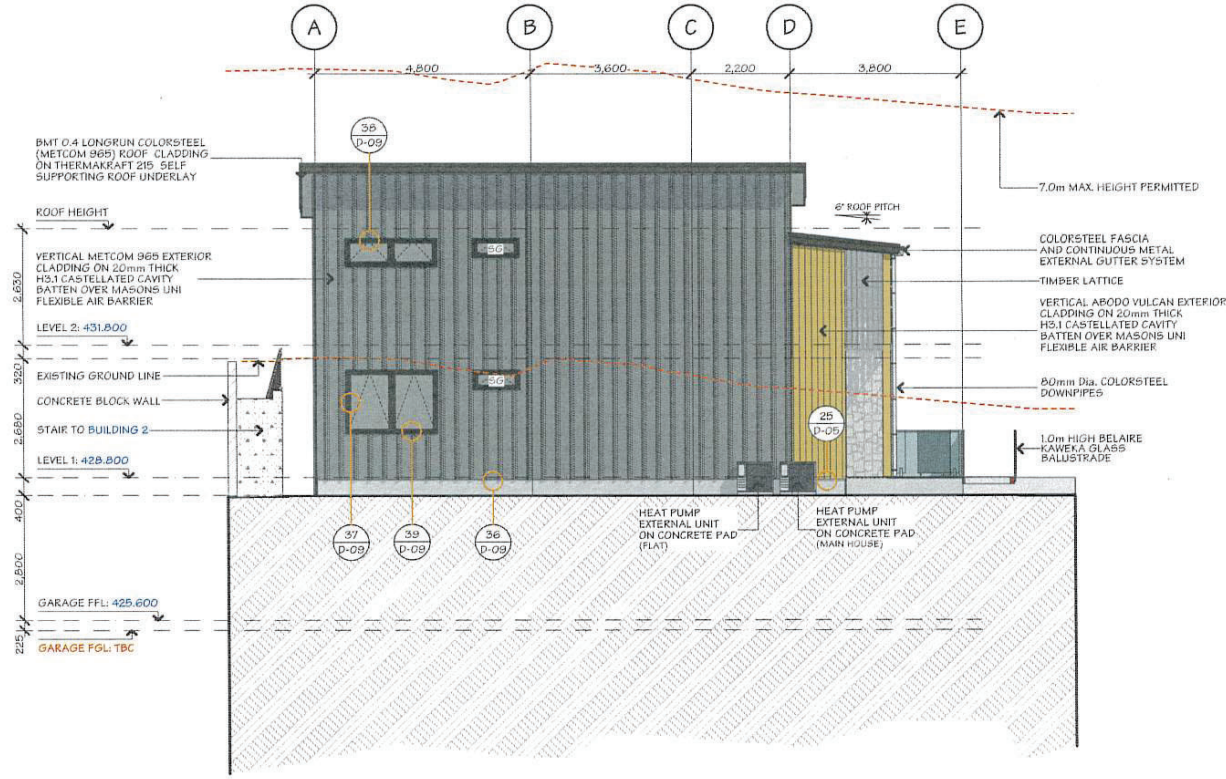
DRAWING TITLE:
EAST ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10B ST PETERS PLACE QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
DESIGNER: XDD
SCALE: 1:100
SHEET: E-02
PUBLISHED REF NO.: 240508.1520
DRAWN: JAM
JOB#: 23074
VERSION: BC RFI-01
REV. NO.: 01
CHECKED: MS
TOTAL SHEETS: 70

50241156 plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High risk	3
Deck design	Medium risk	2
Total Risk Score:		13



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512588
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Aprax Design + Drafting Ltd (ADL) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you require any amendments in the drawings or require further details, please contact ADL before proceeding with construction.
Additionally, it's crucial to verify all dimensions onsite and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions may void any liability from ADL.

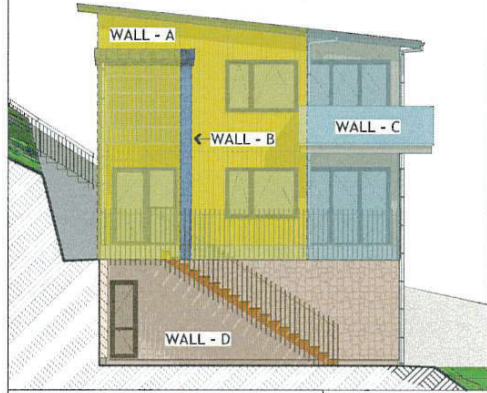
DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240307.1920
VERSION:
WD-01

DESIGNER:
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DRAWN:
JAM
CHECKED:
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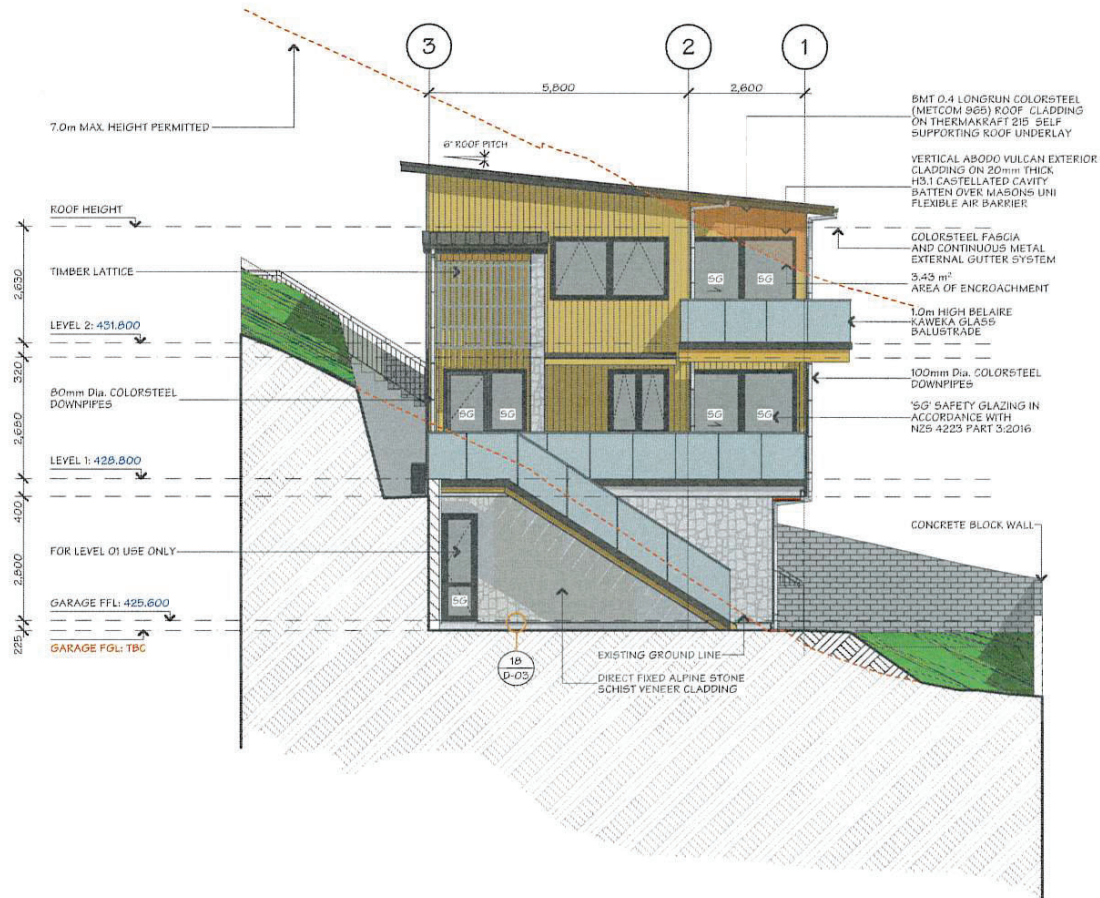
SCALE:
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JOB #:
23074

SHEET:
E-03
TOTAL SHEETS: 70

30240156 Plan is subject to Council approval and local district council verification and approval.
Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		17
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		10



JOB TITLE: JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE: SOUTH ELEVATION

LEGAL DESCRIPTION: LOT: 1
DP: 512388
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

press design + drafting Ltd (MD) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies to the drawings or require further detail, please contact MD before proceeding with construction.

ADDITIONALLY, it is crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and WISCONSIN standards. Failure to mark these conditions removes any liability from MD.

DATE OF ISSUE:	DESIGNER:	SCALE:	SHEET:
25 FEB 24	XDD	1:100	E-04
PUBLISHED REF NO.:	DRAWN:	JOB#:	
2403071920	JAM	23074	TOTAL SHEETS: 70
VERSION:	REV. NO.:	CHECKED:	
WD-01	01	M5	

BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
100 ST PETERS PLACE, QUEENSTOWN

SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWC & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS

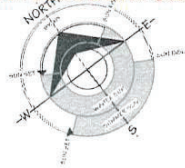



REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE:	DATE: 23 FEB 24	SHEET: P-01
	XDD	BC RFI-01	05.09.24	JOB #: 23073	TOTAL SHEETS: 56
	XDD	BC RFI-02	05.14.24		
	XDD	BC RFI-03	05.20.24		

COVER PAGE

SCALE: NOT TO SCALE

3024015 plan is subject to Resource Management Act and local district council verification and approval.
 Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE: VERY HIGH
 EARTHQUAKE ZONE: 3
 CORROSION ZONE: B
 SNOW LOADING: N5 (450mm)
 BUILDING FOOTPRINT: 80.17m²
 SITE COVERAGE: 8.91% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
 QUEENSTOWN LAKES DISTRICT COUNCIL

NOTE: HAZARD MANAGEMENT TEMPORARY FENCING

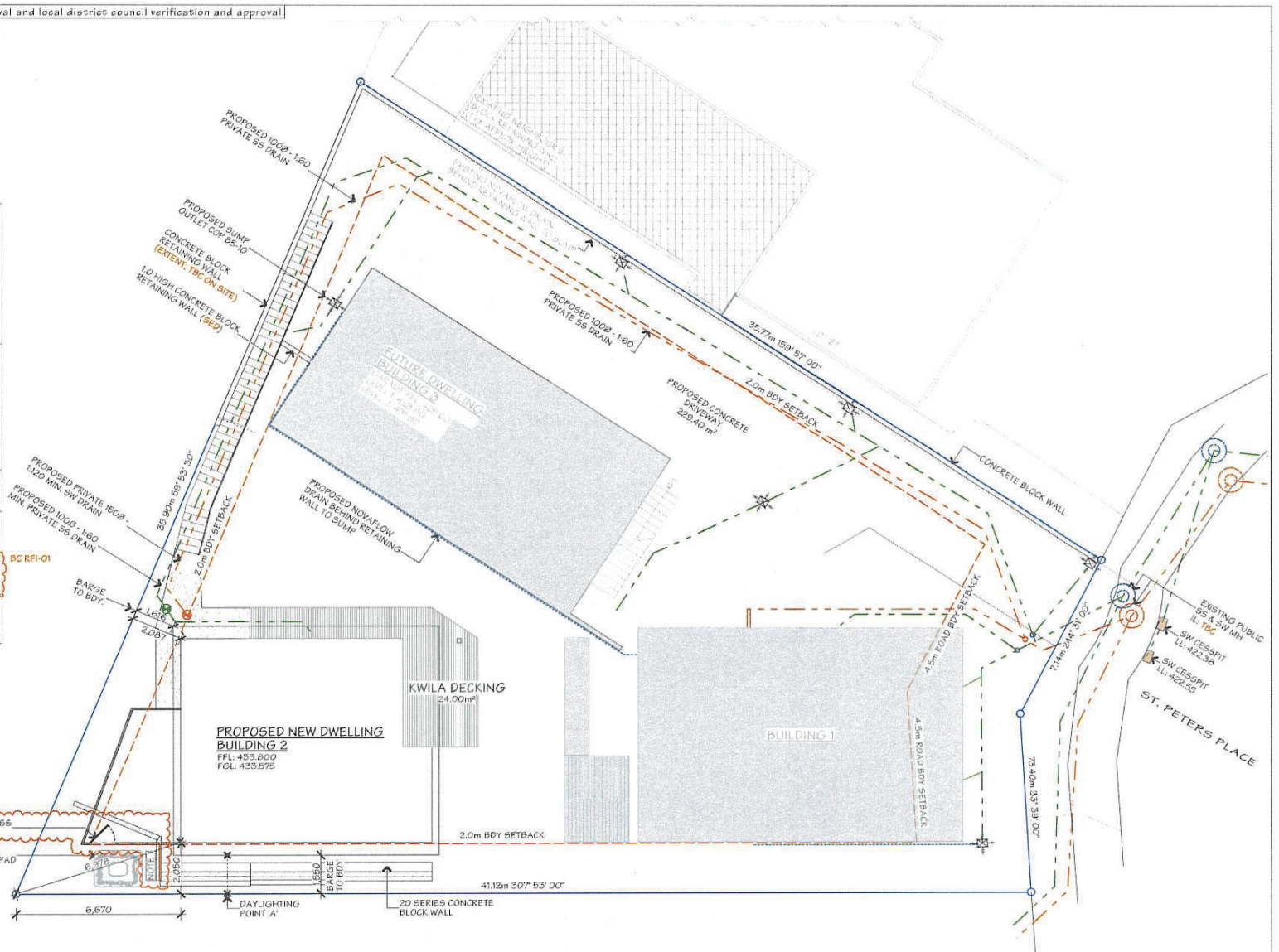
IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F5/A51 IS AN ACCEPTABLE SOLUTION.

- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

DISCLAIMER:
 FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK.

NOTE 1:
 1.0m HIGH FRAMELESS GLASS BALUSTRADE (KAKAIA CHANNEL)

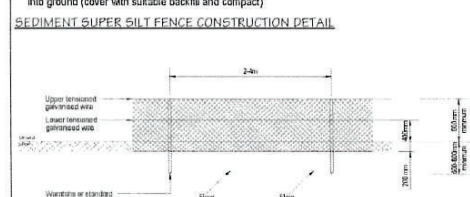
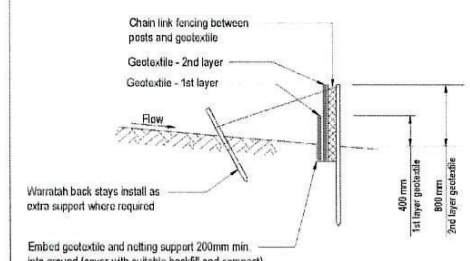
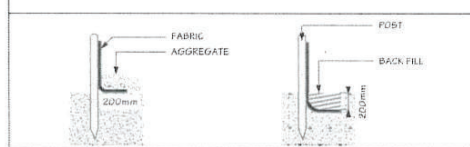
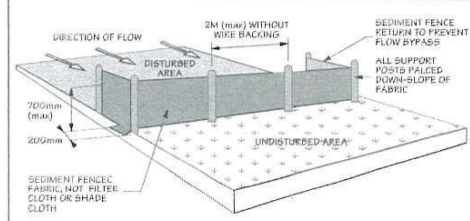
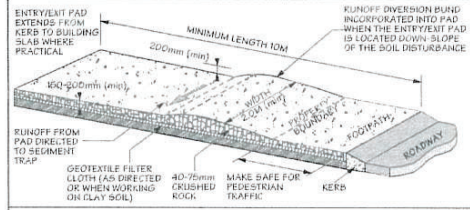
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 REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL JOB NO. 51746



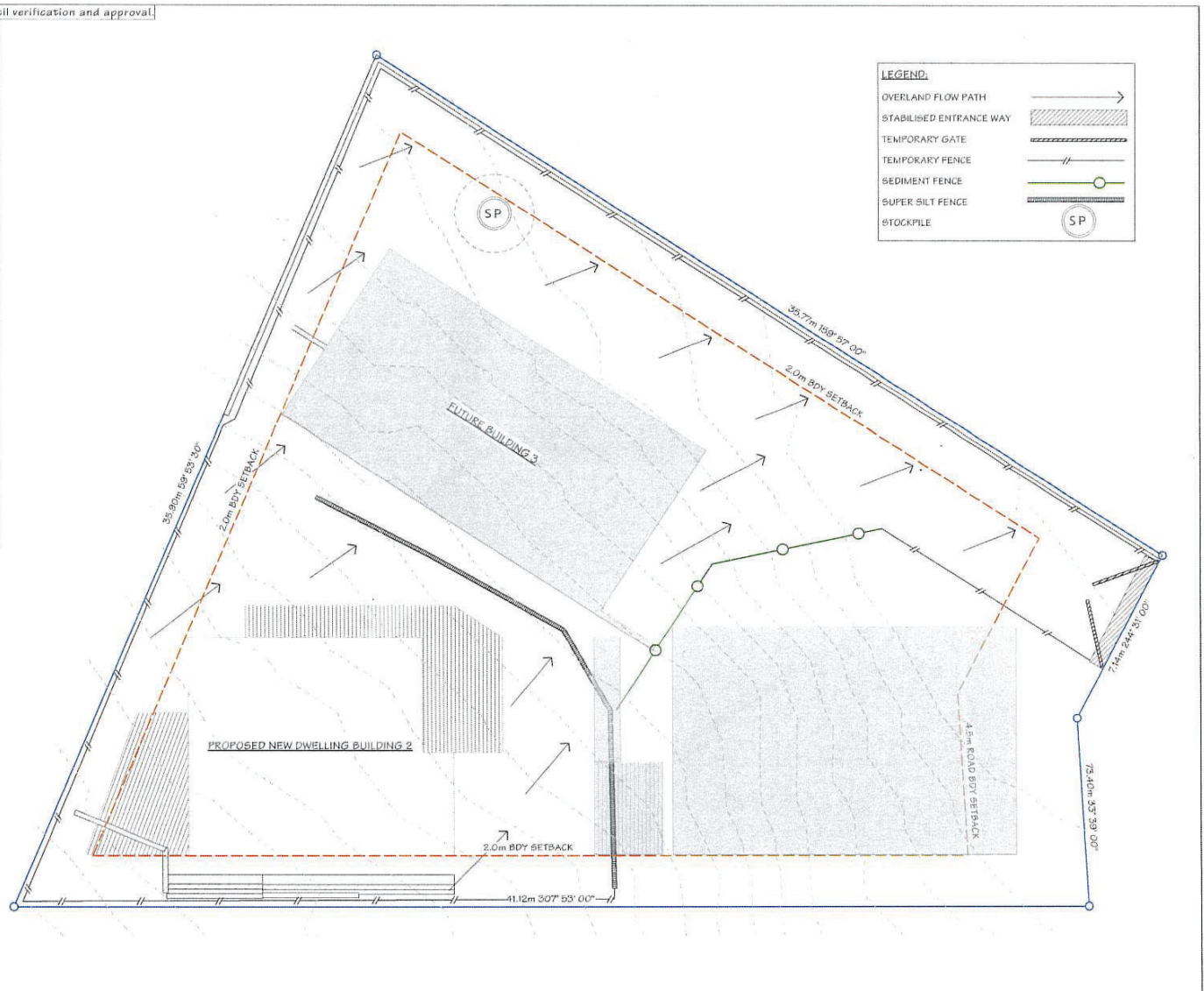
	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	SITE PLAN	LEGAL DESCRIPTION:	Lot: 1 DP: 512388 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN	Approva Design + Drafting Ltd (ADD) have prepared these drawings for the purpose of obtaining a BUILDING PERMIT. Should you discover any discrepancies to the drawings or require further details, please contact ADD before proceeding with construction. Additionally, it's essential to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions removes any liability from ADD.	DATE OF ISSUE:	23 FEB 24	DESIGNER:	XDD	SCALE:	1:150	SHEET:	P-02 TOTAL SHEETS: 56
						PUBLISHED REF NO.: 240514.1440	DRAWN:	DM	JOB#:						
						VERSION: BC-RFI 02	REV. NO.:	01	CHECKED:	JAM		23073			

8024015 Plan is subject to Council approval and local district council verification and approval.

Queensland District Council - BUILDING SITES



SEDIMENT SUPER SILT FENCE ELEVATION DETAIL

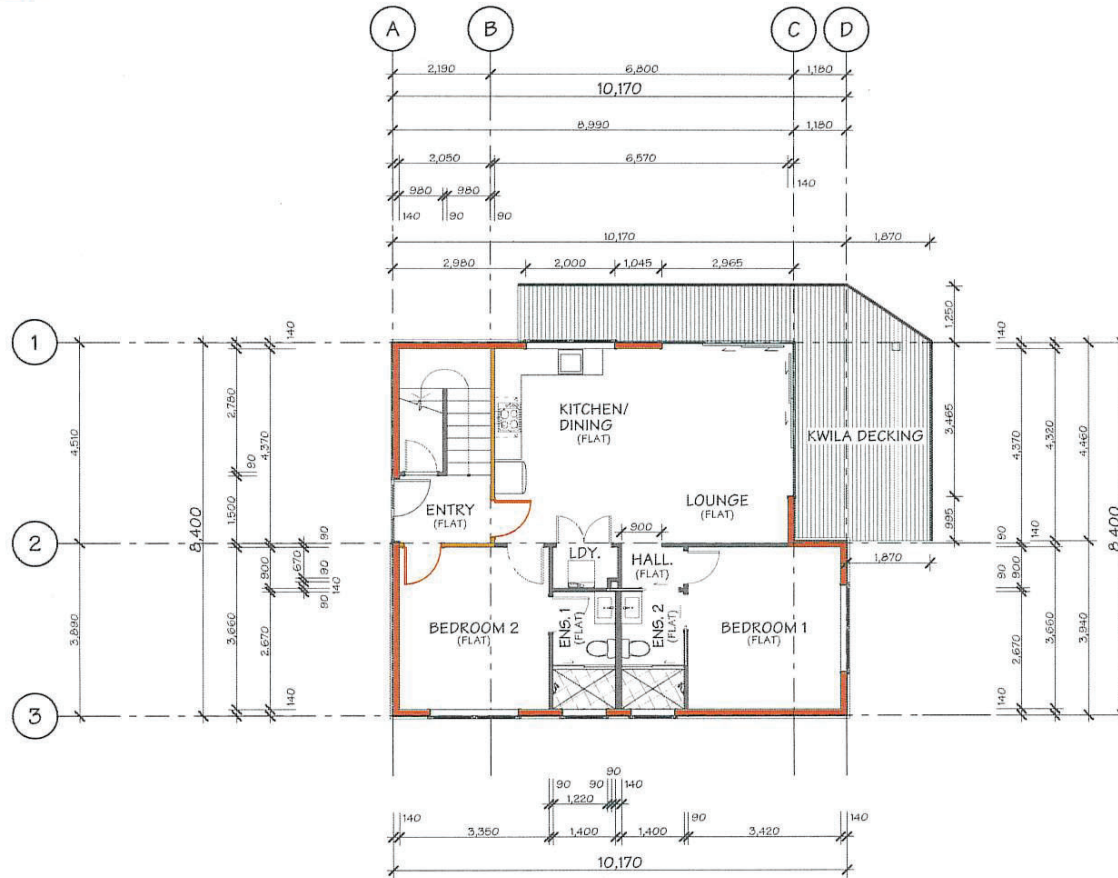


LEGEND:

OVERLAND FLOW PATH	
STABILISED ENTRANCE WAY	
TEMPORARY GATE	
TEMPORARY FENCE	
SEDIMENT FENCE	
SUPER SILT FENCE	
STOCKPILE	

	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	SEDIMENT CONTROL PLAN	LEGAL DESCRIPTION:	LOT: 1 DP: 512355 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN	Approx Design + Drafting Ltd (DDP) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact DDP before proceeding with construction. Additionally, it is critical to verify all dimensions on-site and ensure that all work aligns with the Building Code and NZS6004 standards. I where to meet these conditions, please any liability from DDP.	DATE OF ISSUE:	23 FEB 24	DESIGNER:	XDD	SCALE:	1:150	SHEET:	P-03

24015 plan is subject to Resource Management Act and local district council verification and approval
 Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 5123BB
 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

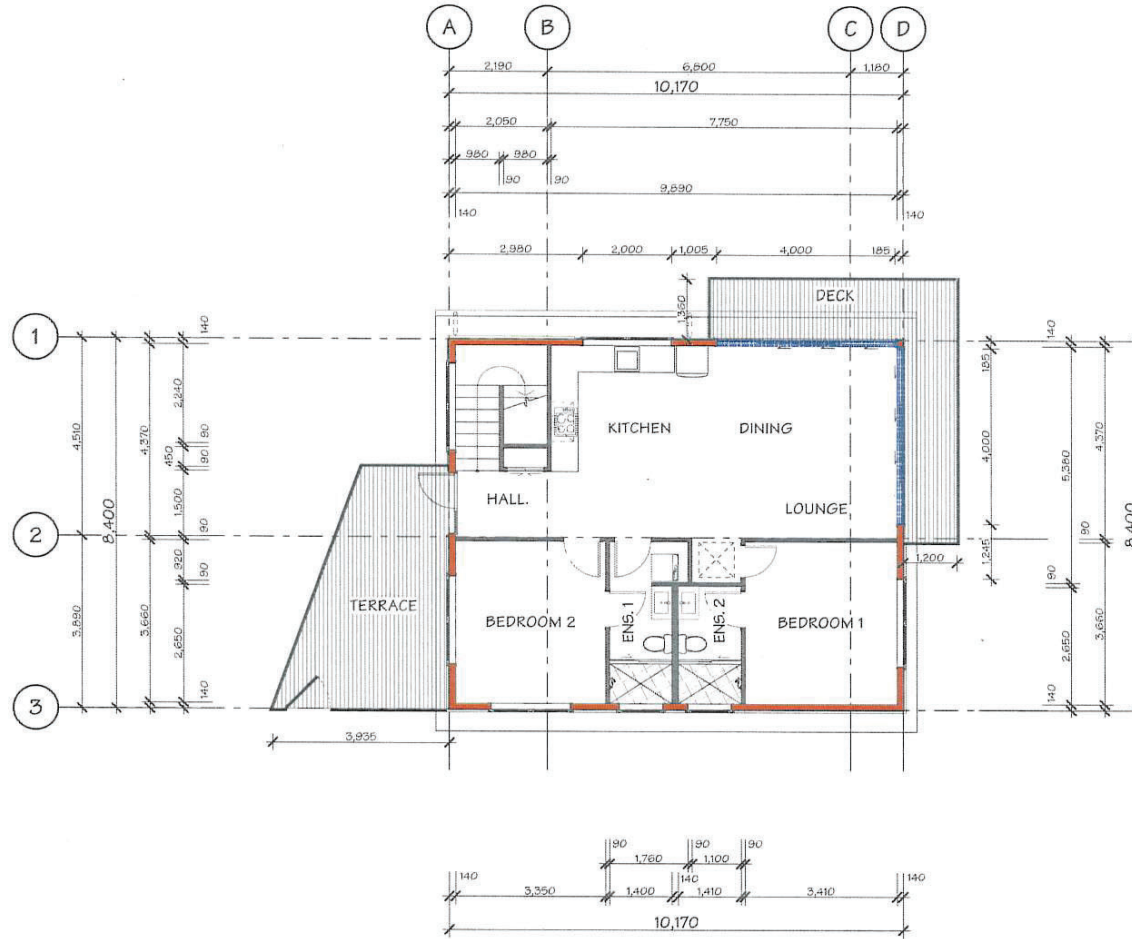
Agreus Design + Drafting Ltd. (BD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult BD before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions involves any liability from BD.

DATE OF ISSUE:
 23 FEB 24
 PUBLISHED REF NO.:
 240409_0154
 VERSION:
 WD-01

DESIGNER:
 XDD
 DRAWN:
 DM
 CHECKED:
 JAM

SCALE:
 1:100
 JOB#:
 23073
 SHEET:
P-08
 TOTAL SHEETS: 56

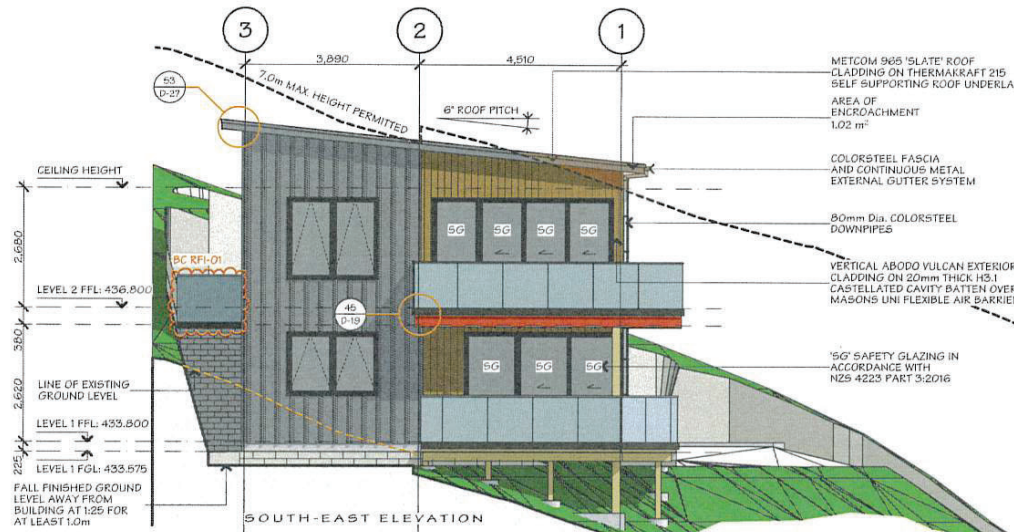
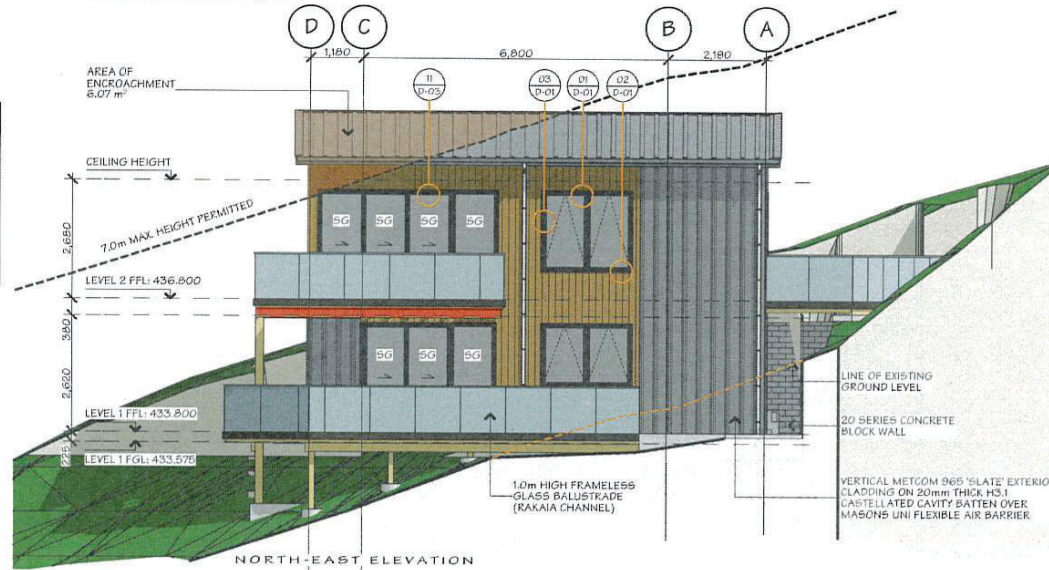
THIS plan is subject to Council approval and local district council verification and approval.
 Queenstown Lakes District Council



	JOB TITLE:	DRAWING TITLE:	LEGAL DESCRIPTION:	Approx Design + Drafting Ltd (ADD) have prepared these drawings for the purposes of obtaining a BUILDING PERMIT. Should you discover any discrepancies in the drawings or require further details, please contact ADD before proceeding with construction. Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions voids any liability from ADD.	DATE OF ISSUE:	DESIGNER:	SCALE:	SHEET:
	JASON & DAN GLEW & PROAPT TRUSTEES LTD	LEVEL 2 DIMENSION PLAN	LOT: 1 DP: 512355 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN	25 FEB 24	XDD	1:100	P-10	
					PUBLISHED REF NO.:	DRAWN:	JOB#:	TOTAL SHEETS: 56
					240409.0154	DM		
					VERSION:	REV. NO.:	CHECKED:	
					WD-01	01	JAM	23073

BC24015 plan is subject to BCRC approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

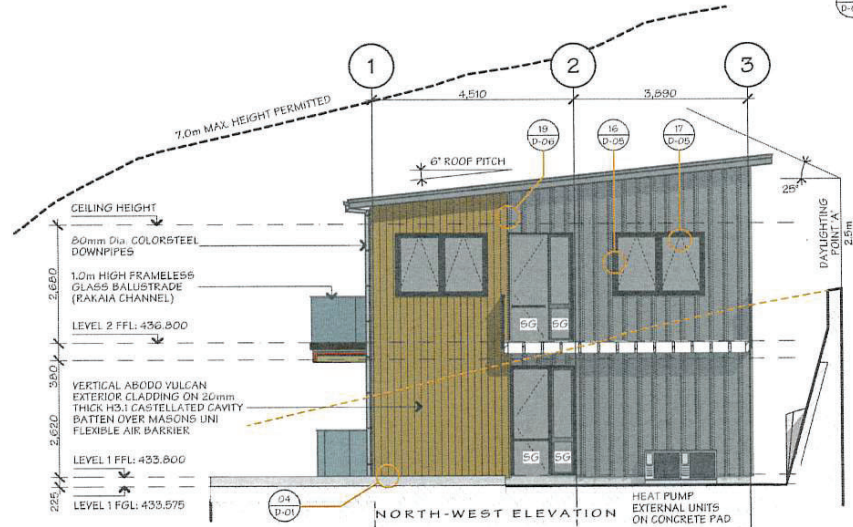
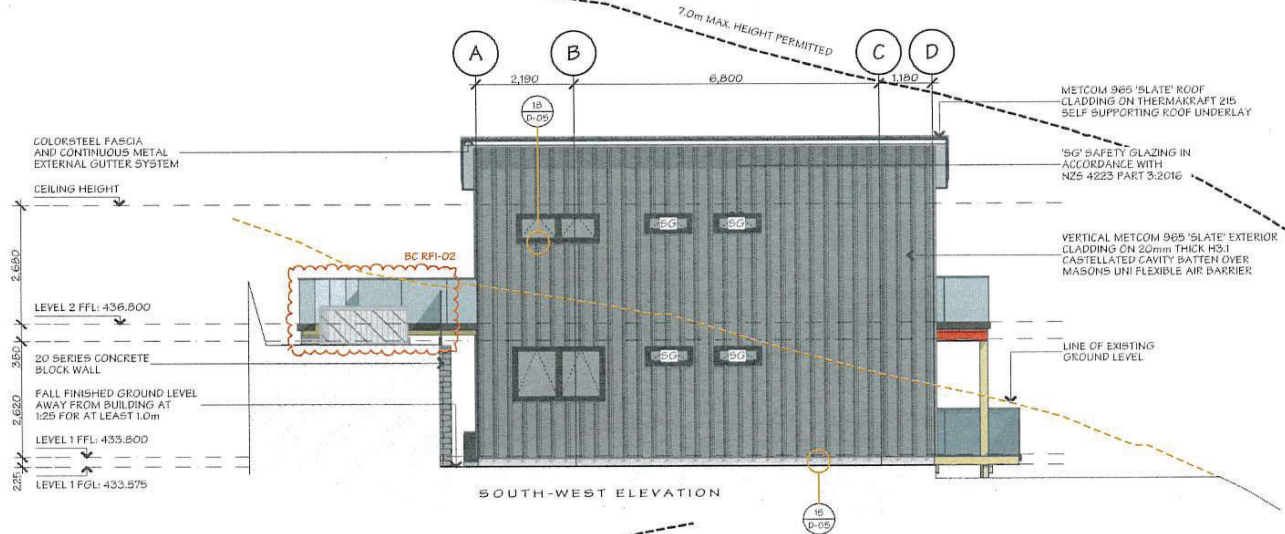


	JOB TITLE:	JASON & DAN GLEW & PROAPT TRUSTEES LTD	DRAWING TITLE:	ELEVATIONS - SHEET 01	LEGAL DESCRIPTION:	Lot: 1 DP: 512388 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN	Approva Design + Drafting Ltd (ADD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Once you discover any discrepancies in the drawings or require further details, please contact: ADD before proceeding with construction. Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS6004 standards. Failure to meet these conditions may void any liability from ADD.	DATE OF ISSUE:	25 FEB 24	DESIGNER:	XDD	SCALE:	1:100	SHEET:	E-01
															TOTAL SHEETS: 56

BC04015 plan is subject to developer approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT: 1
DP: 5123288
ADDRESS: 10C ST PETERS PLACE QUEENSTOWN

press design + drafting Ltd (PDD) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please contact PDD before proceeding with construction.
Additional: It is crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS6604 standards. Failure to meet these conditions may result in utility flow PDD.

DATE OF ISSUE:
23 FEB 24
DESIGNER:
XDD
SCALE:
1:100
DRAWN:
DM
JOB#:
23073
VERSION:
BC-RF1-02
REV. NO.:
01
CHECKED:
JAM

SHEET:
E-02
TOTAL SHEETS: 56