

**APPLICATION AS NOTIFIED**

**Zenith Residential Limited**

**(RM251041)**

## **QUEENSTOWN LAKES DISTRICT COUNCIL**

### **PUBLIC NOTIFICATION**

**Notification of an application for a Resource Consent under Section 95A of the Resource Management Act 1991.**

**The Queenstown Lakes District Council has received an application for a resource consent from:**

Zenith Residential Ltd

**What is proposed:**

Application for resource consent to change the use of a five bedroom residential unit at 5 Conifer Lane, Queenstown to Residential Visitor Accommodation for up to 179 nights per calendar year, for up to nine guests.

**The location in respect of which this application relates is situated at:**

5 Conifer Lane, Queenstown 9300, Lot 1 Deposited Plan 582977

**A full copy of this Limited Notified package is available for you to download on the following link:**

<https://www.qldc.govt.nz/services/resource-consents/notified-resource-consents#limited-not-rc> or via our edocs website using RM251041 as the reference <https://edocs.qldc.govt.nz/Account/Login>

**This file can also be viewed at our public computers at these Council offices:**

- **Gorge Road, Queenstown;**
- **and 47 Ardmore Street, Wanaka during normal office hours (8.30am to 5.00pm).**

The Council planner processing this application on behalf of the Council is Ian Bayliss, who may be contacted by phone at P: +64 3 441 0499 or e-mail at [ian.bayliss@qldc.govt.nz](mailto:ian.bayliss@qldc.govt.nz)

Any person who is notified of this application, but a person who is a trade competitor of the applicant may do so only if that person is directly affected by an effect of the activity to which the application relates that –

- a) adversely affects the environment; and
- b) does not relate to trade competition or the effects of trade competition.

**If you wish to make a submission on this application, you may do so by sending a written submission to the consent authority no later than:**

**19 June 2026**

The submission must be dated, signed by you and must include the following information:

- a) Your name and postal address and phone number/fax number.
- b) Details of the application in respect of which you are making the submission including location.
- c) Whether you support or oppose the application.
- d) Your submission, with reasons.
- e) The decision you wish the consent authority to make.
- f) Whether you wish to be heard in support of your submission.

You may make a submission by sending a written or electronic submission to Council (details below). The submission should be in the format of Form 13. Copies of this form are available Council website:

<https://www.qldc.govt.nz/services/resource-consents/notified-consents/current-notified-resource-consents/>

You must serve a copy of your submission to the applicant (Jim He) as soon as reasonably practicable after serving your submission to Council:

C/- Jim He  
J Studio Ltd  
40 Cassidy Drive, Orewa, Auckland  
[agoodweekend@gmail.com](mailto:agoodweekend@gmail.com)

#### QUEENSTOWN LAKES DISTRICT COUNCIL



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(signed by Wendy Baker pursuant to a delegation given under Section 34A of the Resource Management Act 1991)

**Date of Notification:** 21 May 2026

#### Address for Service for Consent Authority:

Queenstown Lakes District Council  
Private Bag 50072, Queenstown 9348  
Gorge Road, Queenstown 9300

Phone  
Email  
Website

03 441 0499  
[rcsubmission@qldc.govt.nz](mailto:rcsubmission@qldc.govt.nz)  
[www.qldc.govt.nz](http://www.qldc.govt.nz)

# TechnologyOne ECM Document Summary

Printed On 08-May-2026

Class	Description	Doc Set Id / Note Id	Version	Date
PUB_ACC	Application Form	9210304	1	08-Dec-2025
PUB_ACC	Record of Title 1092732	9210291	1	08-Dec-2025
PUB_ACC	AEE	9210305	1	08-Dec-2025
PUB_ACC	AEE_Addendum 5 Conifer Lane	9515096	1	14-Apr-2026
PUB_ACC	AEE_Addendum_RVA_179_nights	9515032	1	14-Apr-2026
PUB_ACC	Architectural Plans	9210303	1	08-Dec-2025
PUB_ACC	Noise Management Plan	9210292	1	08-Dec-2025
PUB_ACC	Visitor Accommodation Management Plan	9210289	1	08-Dec-2025
PUB_ACC	RM250342 s95 & Decision	9210290	1	08-Dec-2025
PUB_ACC	Cover Letter	9210298	1	08-Dec-2025



APPLICATION FOR RESOURCE CONSENT OR  
FAST TRACK RESOURCE CONSENT

# FORM 9: GENERAL APPLICATION



Under Section 87AAC, 88 & 145 of the Resource Management Act 1991 (Form 9)

PLEASE COMPLETE ALL **MANDATORY FIELDS\*** OF THIS FORM.

Please make sure that you are completing the correct form for your consent application type. This form provides mandatory contact information and details of your application and must be completed in full. If the incorrect form is used, or if information or supporting materials are missing (as per Appendix 5), your application will be rejected, and you will need to resubmit your application in full.



## APPLICANT //

- Must be a person or legal entity (limited liability company or trust).
- Full names of all trustees required.
- The applicant name(s) will be the consent holder(s) responsible for the consent and any associated costs.

\*Applicant's Full Name / Company / Trust: **Zenith Residential Ltd**

(Name decision is to be issued in)

All trustee names (if applicable):

\*Contact name for company or trust: **Sue Zhong (Qian Shan Zhong)**

\*Postal Address: **PO Box 40, Silverdale, Auckland**

\*Post code:

\*Contact details supplied must be for the applicant and not for an agent acting on their behalf and must include a valid postal address

\*Email Address: **sue@golstruchomes.co.nz**

\*Phone Numbers: Day **021 0333 787**

Mobile: **021 0333 787**

\*The Applicant is:



Owner



Prospective Purchaser (of the site to which the application relates)



Occupier



Lessee

Other - Please Specify:



Our preferred methods of corresponding with you are by **email and phone**.

The decision will be sent to the Correspondence Details by **email** unless requested otherwise.



## CORRESPONDENCE DETAILS // If you are acting on behalf of the applicant e.g. agent, consultant or architect please fill in your details in this section.

\*Name & Company: **J Studio Ltd**

\*Phone Numbers: Day **094145366**

Mobile: **0212390326**

\*Email Address: **agoodweekend@gmail.com**

\*Postal Address: **40 Cassidy Drive, Orewa Auckland**

\*Postcode:

**0931**



## INVOICING DETAILS //

Invoices will be made out to the applicant but can be sent to another party if paying on the applicant's behalf. For more information regarding payment please refer to the Fees Information section of this form.

\*Please select a preference for who should receive any invoices and how they would like to receive them.

Applicant:



Agent:



Other - Please specify:

Email:



Post:



\*Attention: **Sue Zhong (Qian Shan Zhong)**

\*Postal Address: **P O Box 40, Silverdale**

\*Post code:

**0944**

\*Please provide an email AND full postal address.

\*Email: **sue@golstruchomes.co.nz**



## OWNER DETAILS // Please supply owner details for the subject site/property if not already indicated above

Owner Name: **Zenith Residential Ltd**

Owner Address: **unit 5-6, 177 Millwater Parkway, Silverdale**

Owner Email: **sue@golstructhomes.co.nz**

If the property has recently changed ownership please indicate on what date (approximately) AND the names of the previous owners:

Date:

Names:



## DEVELOPMENT CONTRIBUTIONS INVOICING DETAILS //

If it is assessed that your consent requires development contributions any invoices and correspondence relating to these will be sent via email. Invoices will be sent to the email address provided above unless an alternative address is provided below. Invoices will be made out to the applicant/owner but can be sent to another party if paying on the applicant's behalf.

\*Please select a preference for who should receive any invoices.

Details are the same as for invoicing



Applicant:

Landowner:

Other, please specify:

\*Attention:

\*Email:

[Click here for further information and our estimate request form](#)



## DETAILS OF SITE // Legal description field must list legal descriptions for all sites pertaining to the application. Any fields stating 'refer AEE' will result in return of the form to be fully completed.

\*Address / Location to which this application relates:

**5 CONIFER LANE, QUEENSTOWN 9300**

\*Legal Description: Can be found on the Record Title or Rates Notice – e.g Lot DP xxx (or valuation number)

**Lot1 Deposited Plan 582977**

District Plan Zone(s): **Lower Density Suburban Residential under PDP**



## SITE VISIT REQUIREMENTS // Should a Council officer need to undertake a site visit please answer the questions below

Is there a gate or security system restricting access by council?

YES

NO

Is there a dog on the property?

YES

NO

Are there any other hazards or entry restrictions that council staff need to be aware of?

YES

NO

If 'yes' please provide information below

visit any time as site is open



## PRE-APPLICATION MEETING OR URBAN DESIGN PANEL

Have you had a pre-application meeting with QLDC or attended the urban design panel regarding this proposal?

Yes

No

Copy of minutes attached

If 'yes', provide the reference number and/or name of staff member involved:



## CONSENT(S) APPLIED FOR // \* Identify all consents sought // ALSO FILL IN OTHER CONSENTS SECTION BELOW

Land Use Consent

If the application type you are applying for is not listed it is because it has its own application form which you will need to complete instead of using this form i.e.

Land Use Consent includes earthworks

s127 Change or Cancellation of Consent Condition  
s221 Change or Cancellation of Consent Notice

Land Use Consent combined with s127 and/or s221

Boundary / Marginal or Temporary Activity Notice  
Outline Plan

Subdivision Consent

Designations

These forms can be downloaded here



## QUALIFIED FAST-TRACK APPLICATION UNDER SECTION 87AAC

Controlled Activity Land Use

If your consent qualifies as a fast-track application under section 87AAC, tick here to opt out of the fast track process



## BRIEF DESCRIPTION OF THE PROPOSAL //

\*Please complete this section, any form stating 'refer AEE' will be returned to be completed with a description of the proposal

\*Consent is sought to:

Land use consent is sought to establish a Visitor Accommodation activity



## APPLICATION NOTIFICATION

Are you requesting public notification for the application?

Yes

No

Please note there is an additional fee payable for notification. Please refer to Fees schedule



## OTHER CONSENTS

### Is consent required under a National Environmental Standard (NES)?

- NES for Assessing and Managing Contaminants in Soil to Protect Human Health 2012

An applicant is required to address the NES in regard to past use of the land which could contaminate soil to a level that poses a risk to human health. Information regarding the NES is available on the website

<https://environment.govt.nz/publications/national-environmental-standard-for-assessing-and-managing-contaminants-in-soil-to-protect-human-health-information-for-landowners-and-developers/>

You can address the NES in your application AEE OR by selecting ONE of the following:

This application does not involve subdivision (excluding production land), change of use or removal of (part of) a fuel storage system. Any earthworks will meet section 8(3) of the NES (including volume not exceeding 25m<sup>3</sup> per 500m<sup>2</sup>). Therefore the NES does not apply.

I have undertaken a comprehensive review of District and Regional Council records and I have found no record suggesting an activity on the HAIL has taken place on the piece of land which is subject to this application.

NOTE: depending on the scale and nature of your proposal you may be required to provide details of the records reviewed and the details found.



## OTHER CONSENTS // CONTINUED

I have included a Preliminary Site Investigation undertaken by a suitably qualified person.

An activity listed on the HAIL has more likely than not taken place on the piece of land which is subject to this application. I have addressed the NES requirements in the Assessment of Environmental Effects.

Any other National Environmental Standard

Yes

N/A

### Do you need any consent(s) from Otago Regional Council?

Yes

N/A

If Yes have you applied for it?

Yes

No

If Yes supply ORC Consent Reference(s)

If ORC Earthworks Consent is required would you like a joint site visit ?

Yes

No



## INFORMATION REQUIRED TO BE SUBMITTED //

Attach to this form any information required (see below & appendices 1 - 5).

To be accepted for processing, your application should include the following:

Record of Title for the property (no more than 3 months old) and copies of any consent notices and covenants (Must be official order copy from LINZ <https://www.linz.govt.nz/>).

A plan or map showing the locality of the site, topographical features, buildings etc.

A site plan at a convenient scale.

Written approval of every person who may be adversely affected by the granting of consent (s95E).

An AEE (Assessment of Effects).

An AEE is a written document outlining how the potential effects of the activity have been considered along with any other relevant matters, for example if a consent notice is proposed to be changed. Address the relevant provisions of the District Plan and affected parties including who has or has not provided written approval. See [Appendix 1](#) for more detail.



Your application must be submitted via our online Community Portal. Please see **Appendix 5 - Requirements for Naming of Documents** for how documents should be named.



## PRIVACY INFORMATION

The information that you have provided on this form is public information and is gathered for a lawful purpose to ensure the efficient functioning of Council's duties, powers and functions under the Resource Management Act 1991 and the Building Act 2004. The information will enable Council to adequately assess your application for Resource Consent in accordance with the statutory processes under the Resource Management Act 1991. The information may also be collected for and disclosed to, the Ministry for the Environment and Queenstown Lakes District Council, for the purpose of statistical analysis, so that the Agencies can efficiently undertake their statutory duties. The information will be stored on a public register (Council's eDocs website) and is available to the public in accordance with the terms and conditions set out on the eDocs website.

While available to the public through the eDocs portal, any disclosure of the information on the website must be in accordance with the Local Government Official Information and Meetings Act 1987 and must not be used for a purpose other than for the reason it was collected. Members of the public should not share or distribute this information for any purpose that is not a lawful purpose set out under relevant legislation.

Any unauthorised use, disclosure, or distribution of this information by third parties may constitute a breach of the Privacy Principles set out under the Privacy Act 2020 and may be reported to the Privacy Commissioner which could result in legal sanctions.



## FEES INFORMATION

Section 36 of the Resource Management Act 1991 deals with administrative charges and allows a local authority to levy charges that relate to, but are not limited to, carrying out its functions in relation to receiving, processing of applications under this Act.

An invoice for an initial fee will be sent out typically within 1-2 business days of receipt of correctly completed application. Your application will not be processed until this invoice is paid. When making payment please use the application reference.

Incorrectly referenced payments will be refunded directly to your bank account and you will be required to resubmit payment using the correct application reference.

If the initial fee charged is insufficient to cover the actual and reasonable costs of work undertaken on the application you will be required to pay any additional amounts. These will be invoiced monthly and are payable by the 20th of the month.

If your application is notified or requires a hearing you will be required to pay a notification deposit and/or a hearing deposit. An applicant may not offset any previous invoices issued against such deposits.

If unpaid, the processing of an application, provision of a service, or performance of a function will be suspended until the sum is paid in full.

Section 357B of the Resource Management Act provides a right of objection in respect of additional charges. An objection must be submitted using the correct application form and required documents. This must be lodged within 15 working days of the receipt of the final invoice.

**LIABILITY FOR PAYMENT** – Please note that by signing and lodging this application form you are acknowledging that the details in the invoicing section are responsible for payment of invoices and in addition will be liable to pay all costs and expenses of debt recovery and/or legal costs incurred by QLDC related to the enforcement of any debt.

**ADMINISTRATION FEE** - The initial fee includes an administration lodgement fee for staff time spent setting up your application and generating your invoice.

**MONITORING FEES** – Please also note that the initial fee paid at lodgement includes an initial monitoring fee as per our Charges and Fees for Land Use Consent applications as once Resource Consent is approved you will be required to meet the costs of monitoring any conditions applying to the consent, pursuant to Section 35 of the Resource Management Act 1991. This initial monitoring fee also applies to designation related applications. For all application types the monitoring team may still charge an hourly rate if monitoring is deemed required.

**DEVELOPMENT CONTRIBUTIONS** – Your development may also incur development contributions under the Local Government Act 2002. You will be liable for payment of any such contributions.

A list of Charges and Fees is available on our website.



**PAYMENT**// An initial fee is payable upon receiving the initial fee invoice following the lodgment of this application.

Please wait for the initial fee invoice to be issued and **use the application reference on the invoice for your payment.**

This fee **MUST** be paid with the correct application reference in order for the processing to begin.

Incorrectly referenced payments will be refunded directly to your bank account and you will be required to resubmit payment using the correct application reference.

Amount to Pay - Land Use and Subdivision Resource Consent fees - please select from drop down list below

\$2426 - Land Use Restricted Discretionary Activity (overall consent status)

## APPLICATION & DECLARATION

The Council relies on the information contained in this application being complete and accurate. The Applicant must take all reasonable steps to ensure that it is complete and accurate and accepts responsibility for information in this application being so.

If lodging this application as **the Applicant:**

I/we hereby represent and warrant that I am/we are aware of all of my/our obligations arising under this application including, in particular but without limitation, my/our obligation to pay all fees and administrative charges (including debt recovery and legal expenses) payable under this application as referred to within the Fees Information section.

OR:

If lodging this application as **agent of the Applicant:**

I/we hereby represent and warrant that I am/we are authorised to act as agent of the Applicant in respect of the completion and lodging of this application and that the Applicant / Agent whose details are in the invoicing section is aware of all of his/her/its obligations arising under this application including, in particular but without limitation, his/her/its obligation to pay all fees and administrative charges (including debt recovery and legal expenses) payable under this application as referred to within the Fees Information section.

PLEASE TICK

I hereby apply for the resource consent(s) for the Proposal described above and I certify that, to the best of my knowledge and belief, the information given in this application is complete and accurate.

Signed (by or as authorised agent of the Applicant) \*\*



Full name of person lodging this form **Jim He**

Firm/Company **J Studio Ltd**

Dated **12/4/2025**

\*\*If this form is being completed on-line you will not be able, or required, to sign this form and the on-line lodgement will be treated as confirmation of your acknowledgement and acceptance of the above responsibilities and liabilities and that you have made the above representations, warranties and certification.

Section 2 of the District Plan provides additional information on the information that should be submitted with a land use or subdivision consent.

The RMA (Fourth Schedule to the Act) requires the following:

### 1 INFORMATION MUST BE SPECIFIED IN SUFFICIENT DETAIL

- Any information required by this schedule, including an assessment under clause 2(1)(f) or (g), must be specified in sufficient detail to satisfy the purpose for which it is required.

### 2 INFORMATION REQUIRED IN ALL APPLICATIONS

- (1) An application for a resource consent for an activity (the activity) must include the following:

- (a) a description of the activity;
- (b) a description of the site at which the activity is to occur;
- (c) the full name and address of each owner or occupier of the site;
- (d) a description of any other activities that are part of the proposal to which the application relates;
- (e) a description of any other resource consents required for the proposal to which the application relates;
- (f) an assessment of the activity against the matters set out in Part 2;
- (g) an assessment of the activity against any relevant provisions of a document referred to in section 104(1)(b).

(2) The assessment under subclause (1)(g) must include an assessment of the activity against—

- (a) any relevant objectives, policies, or rules in a document; and
- (b) any relevant requirements, conditions, or permissions in any rules in a document; and
- (c) any other relevant requirements in a document (for example, in a national environmental standard or other regulations).

(3) An application must also include an assessment of the activity's effects on the environment that—

- (a) includes the information required by clause 6; and
- (b) addresses the matters specified in clause 7; and
- (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

Information provided within the Form above

Include in an attached Assessment of Effects (see Clauses 6 & 7 below)

### ADDITIONAL INFORMATION REQUIRED IN SOME APPLICATIONS

- An application must also include any of the following that apply:
  - (a) if any permitted activity is part of the proposal to which the application relates, a description of the permitted activity that demonstrates that it complies with the requirements, conditions, and permissions for the permitted activity (so that a resource consent is not required for that activity under section 87A(1));
  - (b) if the application is affected by section 124 or 165ZH(1)(c) (which relate to existing resource consents), an assessment of the value of the investment of the existing consent holder (for the purposes of section 104(2A));



## Clause 6: Information required in assessment of environmental effects

- (1) An assessment of the activity's effects on the environment must include the following information:
  - (a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity;
  - (b) an assessment of the actual or potential effect on the environment of the activity;
  - (c) if the activity includes the use of hazardous substances and installations, an assessment of any risks to the environment that are likely to arise from such use;
  - (d) if the activity includes the discharge of any contaminant, a description of—
    - (i) the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and
    - (ii) any possible alternative methods of discharge, including discharge into any other receiving environment;
  - (e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect;
  - (f) identification of the persons affected by the activity, any consultation undertaken, and any response to the views of any person consulted;
  - (g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved;
  - (h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).
  
- (2) A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.
  
- (3) To avoid doubt, subclause (1)(f) obliges an applicant to report as to the persons identified as being affected by the proposal, but does not—
  - (a) oblige the applicant to consult any person; or
  - (b) create any ground for expecting that the applicant will consult any person.

## CLAUSE 7: MATTERS THAT MUST BE ADDRESSED BY ASSESSMENT OF ENVIRONMENTAL EFFECTS

- (1) An assessment of the activity's effects on the environment must address the following matters:
  - (a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects;
  - (b) any physical effect on the locality, including any landscape and visual effects;
  - (c) any effect on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity;
  - (d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations;
  - (e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants;
  - (f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or the use of hazardous substances or hazardous installations.
  
- (2) The requirement to address a matter in the assessment of environmental effects is subject to the provisions of any policy statement or plan.



## UNDER THE FOURTH SCHEDULE TO THE ACT:

- An application for a subdivision consent must also include information that adequately defines the following:
  - (a) the position of all new boundaries:
  - (b) the areas of all new allotments, unless the subdivision involves a cross lease, company lease, or unit plan:
  - (c) the locations and areas of new reserves to be created, including any esplanade reserves and esplanade strips:
  - (d) the locations and areas of any existing esplanade reserves, esplanade strips, and access strips:
  - (e) the locations and areas of any part of the bed of a river or lake to be vested in a territorial authority under section 237A:
  - (f) the locations and areas of any land within the coastal marine area (which is to become part of the common marine and coastal area under section 237A):
  - (g) the locations and areas of land to be set aside as new roads.

## Will your resource consent result in a Development Contribution and what is it?

- A Development Contribution can be triggered by the granting of a resource consent and is a financial charge levied on new developments. It is assessed and collected under the Local Government Act 2002. It is intended to ensure that any party, who creates additional demand on Council infrastructure, contributes to the extra cost that they impose on the community. These contributions are related to the provision of the following council services:
  - Water supply
  - Wastewater supply
  - Stormwater supply
  - Reserves, Reserve Improvements and Community Facilities
  - Transportation (also known as Rooding)

[Click here for more information on development contributions and their charges](#)

OR Submit an Estimate request \*please note administration charges will apply



Please note that some land use consents can be dealt with as fast-track land use consent. This term applies to resource consents where they require a controlled activity and no other activity. A 10-day processing time applies to a fast-track consent.

If the consent authority determines that the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the Act.

It's important that all your documents are named correctly - it helps us to process your application quickly and efficiently.

**If you do not follow the required naming convention, your application will be rejected.**

You may have documents that do not fit these names; therefore below is a guide of some of the documents we receive for resource consents. Please use a generic name indicating the type of document.

Application Form

AEE (Assessment of Environmental Effects)

Landscape Report

Engineering Report

Affected Party Approval/s

Ecological Report

Traffic Report

**Record of Title including the title identifier at the end and to be separate documents if multiple titles** i.e. Record of Title 12345, Record of Title 678910  
Must be official order copy from Land Information New Zealand (LINZ) and includes copy of LT.

**Covenants, Consent Notices, Easement Instruments etc including the title identifier at end and to be separate documents**  
i.e. Consent Notice 123456, Easement Instrument 123456, Covenant 123456

Geotechnical Report

Urban Design Report



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land  
Transfer Act 2017**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **1092732**  
**Land Registration District** **Otago**  
**Date Issued** 03 March 2023

**Prior References**  
2702

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**Estate** Fee Simple  
**Area** 901 square metres more or less  
**Legal Description** Lot 1 Deposited Plan 582977  
**Registered Owners**  
Zenith Residential Limited

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**Estate** Fee Simple - 1/10 share  
**Area** 657 square metres more or less  
**Legal Description** Lot 42 Deposited Plan 300507  
**Registered Owners**  
Zenith Residential Limited

**Interests**

Appurtenant hereto are rights of way specified in Easement Certificate 844153.19 - 17.12.1993 at 9:13 am

5167204.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 6.3.2002 at 9:38 am (affects Lot 1 DP 582977)

5167204.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 6.3.2002 at 9:38 am (affects Lot 42 DP 300507)

Subject to a right (in gross) to convey telecommunications over part Lot 1 DP 582977 marked KK on DP 582977 and Lot 42 DP 300507 marked DD on DP 300507 in favour of Telecom New Zealand Limited created by Transfer 5167204.7 - 6.3.2002 at 9:38 am

The easements created by Transfer 5167204.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to a pedestrian right of way and a right to drain storm water over part Lot 1 DP 582977 marked A and a right to convey water over part Lot 1 DP 582977 marked KK all on DP 582977 and right to convey water and drain sewage and stormwater over Lot 42 DP 300507 marked DD on DP 300507 in favour of Queenstown Lakes District Council created by Transfer 5167204.8 - 6.3.2002 at 9:38 am

The easements created by Transfer 5167204.8 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity over part Lot 1 DP 582977 marked KK on DP 582977 and Lot 42 DP 300507 marked DD on DP 300507 in favour of Dunedin Electricity Limited created by Transfer 5167204.9 - 6.3.2002 at 9:38 am

The easements created by Transfer 5167204.9 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right of way over Lot 42 DP 300507 marked DD on DP 300507 specified in Easement Certificate 5167204.10 - 6.3.2002 at 9:38 am

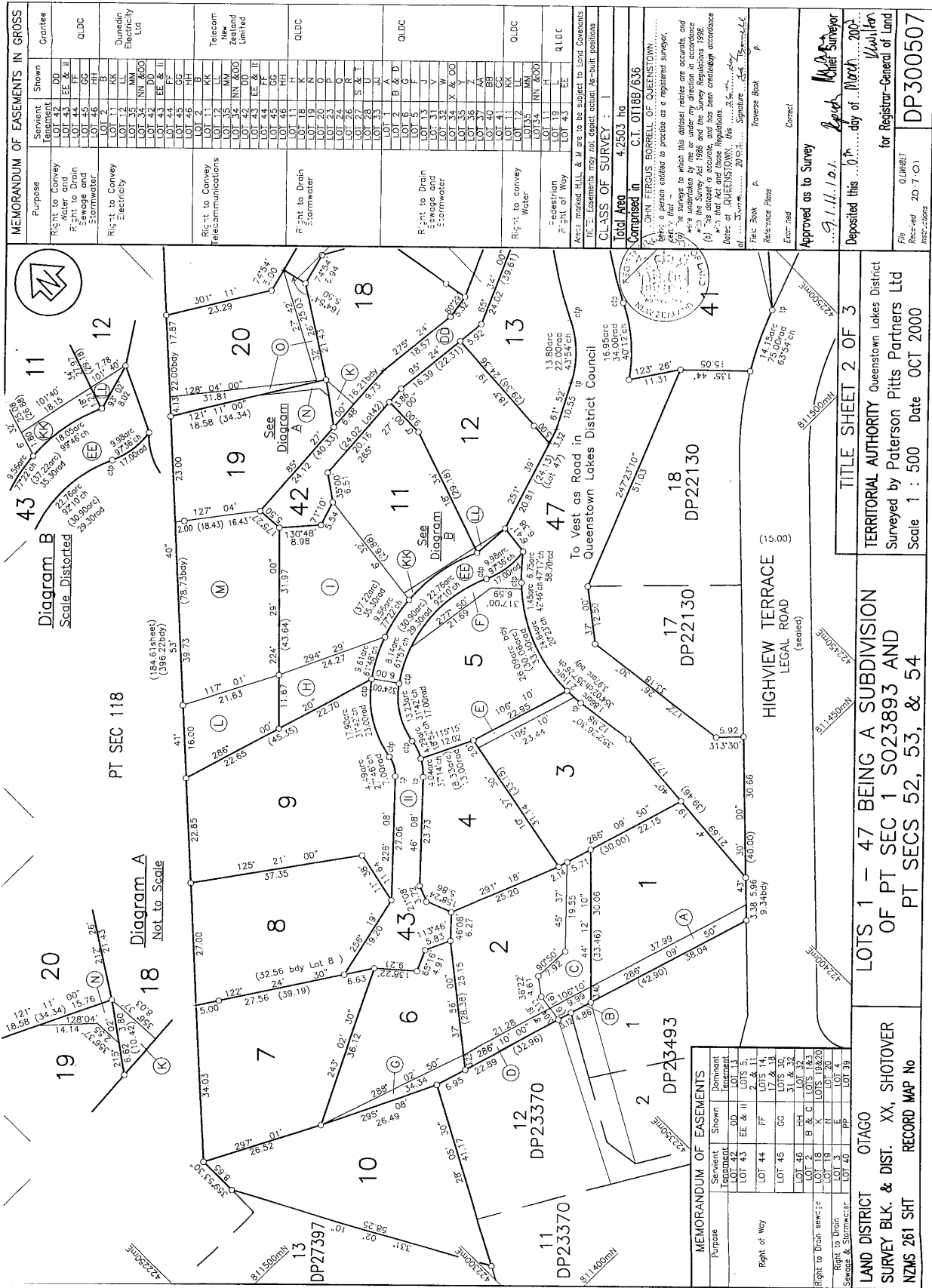
The easements specified in Easement Certificate 5167204.10 are subject to Section 243 (a) Resource Management Act 1991

Appurtenant to Lot 1 DP 582977 are rights of way specified in Easement Certificate 5167204.10 - 6.3.2002 at 9:38 am  
Subject to Section 241(2) Resource Management Act 1991 (affects DP 582977)

12658931.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.3.2023 at 4:12 pm (affects Lot 1 DP 582977)

Subject to a right to drain sewage over part Lot 1 DP 582977 marked A on DP 582977 created by Easement Instrument 12658931.4 - 3.3.2023 at 4:12 pm

The easements created by Easement Instrument 12658931.4 are subject to Section 243 (a) Resource Management Act 1991



MEMORANDUM OF EASEMENTS	
Purpose	Dominant Tenement
Right of Way	LOT 44
Right to Drain Sewage & Stormwater	LOT 45
Right to Convey Electricity	LOT 46
Right to Convey Telecommunications	LOT 47
Right to Drain Sewage and Stormwater	LOT 48
Right to Convey Water	LOT 49
Right to Convey Electricity	LOT 50
Right to Convey Telecommunications	LOT 51
Right to Drain Sewage and Stormwater	LOT 52
Right to Convey Water	LOT 53
Right to Convey Electricity	LOT 54
Right to Convey Telecommunications	LOT 55
Right to Drain Sewage and Stormwater	LOT 56
Right to Convey Water	LOT 57
Right to Convey Electricity	LOT 58
Right to Convey Telecommunications	LOT 59
Right to Drain Sewage and Stormwater	LOT 60
Right to Convey Water	LOT 61
Right to Convey Electricity	LOT 62
Right to Convey Telecommunications	LOT 63
Right to Drain Sewage and Stormwater	LOT 64
Right to Convey Water	LOT 65
Right to Convey Electricity	LOT 66
Right to Convey Telecommunications	LOT 67
Right to Drain Sewage and Stormwater	LOT 68
Right to Convey Water	LOT 69
Right to Convey Electricity	LOT 70

**MEMORANDUM OF EASEMENTS IN GROSS**

**LAND DISTRICT OTAGO**

**SURVEY BLK. & DIST. XX, SHOTOVER**

**NZMS 261 SHIT RECORD MAP No**

**LOTS 1 - 47 BEING A SUBDIVISION OF PT SEC 1 S023893 AND PT SECS 52, 53, & 54**

**TERRITORIAL AUTHORITY Queenstown Lakes District**

**Surveyed by Paterson Pitts Partners Ltd**

**Scale 1 : 500 Date OCT 2000**

**TITLE SHEET 2 OF 3**

**APPROVED AS TO SURVEY** ... 9.11.11/01 ... day of March 2011

**DEPOSITED THIS** ... day of March 2011

**FOR REGISTRAR-GENERAL OF LAND**

**DP23370 DP23370 DP23493 DP22130 DP22130**

**CLASS OF SURVEY** : 4.2503 ha

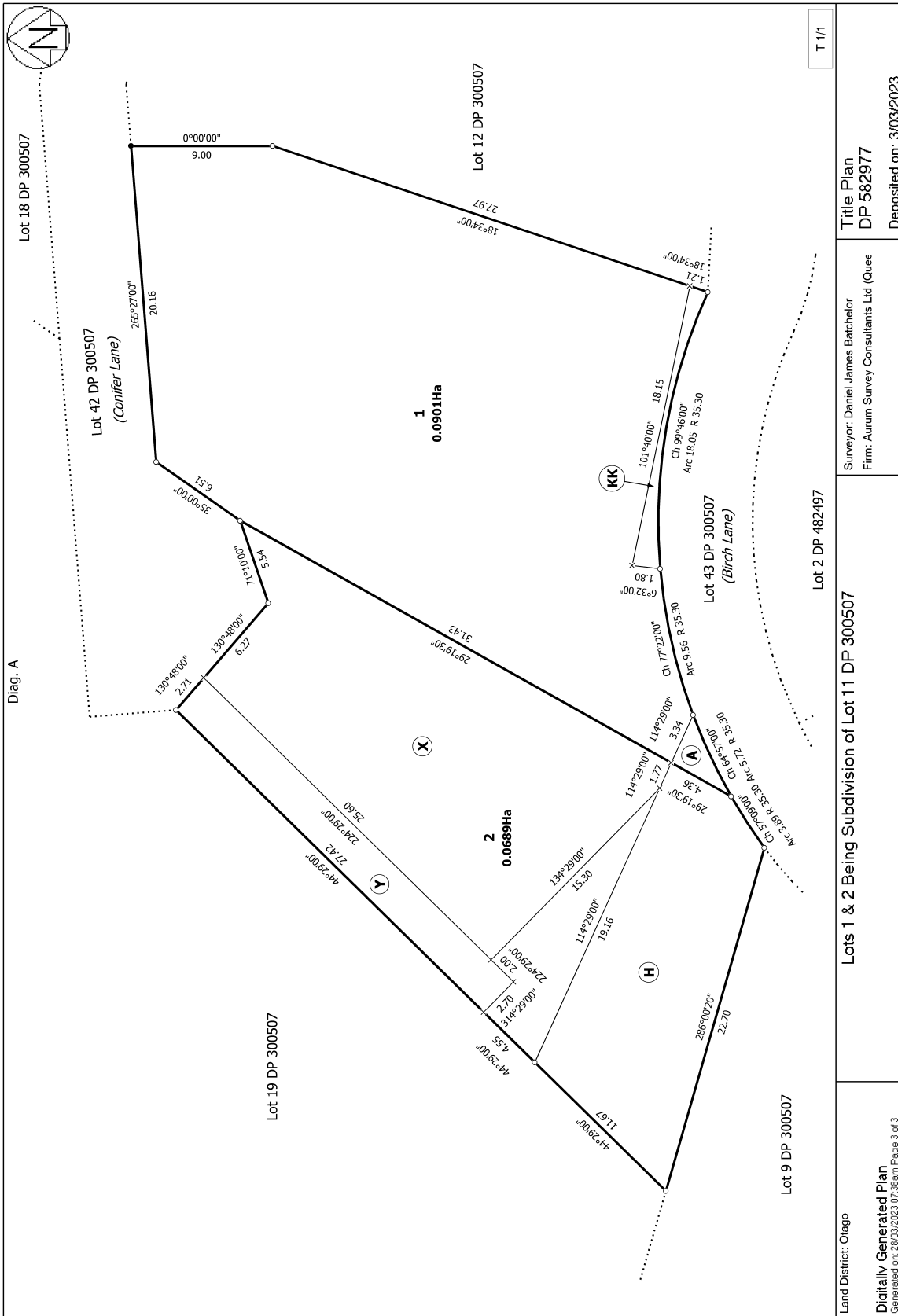
**Total Area** : 4.2503 ha

**Comprised in** : C.I. 01188/636

**JOHN FERGIUS BORRELL OF QUEENSTOWN**

**Chief Surveyor**

**DP300507**



# ASSESSMENT OF EFFECTS ON THE ENVIRONMENT

**Resource Consent Application – Residential Visitor Accommodation (RVA)**

**5 Conifer Lane, Queenstown 9300**

**November 2025**

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## APPLICANT DETAILS

**Applicant:** Zenith Residential Ltd

**Site Address:** 5 Conifer Lane, Queenstown 9300

**Legal Description:** Lot 1 DP 582977 and 1/10 share in Lot 42 DP 300507

**Record of Title:** 1092732

**Site Area:** 901 m<sup>2</sup>

**Zone:** Lower Density Suburban Residential Zone (PDP)

**Overlay:** Wāhi Tūpuna – Te Tapunui (Queenstown Hill)

**Proposal:** Residential Visitor Accommodation (RVA)

### **Address for Service:**

C/- J Studio Ltd

40 Cassidy Drive, Orewa, Auckland

M: 021 239 0326

Email: agoodweekend@gmail.com

Attention: Jim He

---

## 1. INTRODUCTION

This application seeks resource consent to operate **Residential Visitor Accommodation (RVA)** from the existing dwelling at **5 Conifer Lane, Queenstown**, for up to **nine (9) guests**, for up to **365 nights per year**, rented to **one group at a time**.

The dwelling is **fully consented under RM250342**, which approved all earthworks, access arrangements, servicing, landscaping, and the construction of the three-level residential dwelling.

**No changes to the approved built form, earthworks, access, or external appearance are proposed.**

The RVA will be managed by a **locally based property manager, available 24/7**. Bookings will be made primarily through **Airbnb**, with optional use of Bookabach.

---

## 1.1 Legal Documents

Several legal encumbrances are registered on the Record of Title. Copies accompany this application. Key instruments include:

### Consent Notice 5167204.4

Requires that any building platforms, earthworks, and foundation works involving cut or fill over 2 metres be subject to specific engineering design.

### Consent Notice 5167204.5

Requires all owners of Conifer Lane to jointly maintain and use Conifer Lane in accordance with Schedule 9 of the Property Law Act 1952.

This provides rights of access, rights to establish and maintain the driveway, and rights to reasonable contributions from other owners.

### Consent Notice 12658931.3

Imposes ongoing land-use and development conditions related to the originating subdivision, including platform location, earthworks controls, and site-specific management requirements.

None of the consent notices restrict or conflict with the proposed RVA activity.

---

## 2. EXISTING ENVIRONMENT

### 2.1 Site Characteristics

- Lot 1 DP 582977 + 1/10 share in Lot 42 DP 300507 (ROW).
- Site area: 901 m<sup>2</sup>
- Zoning: **Lower Density Suburban Residential Zone (PDP)**
- Overlays: **Wāhi Tūpuna – Te Tapunui (Queenstown Hill)**
- Steep site with a southern fall of approximately **29–33 degrees**
- Accessed from **Conifer Lane**, a privately-owned shared right-of-way with a formed turning head adjacent to the site

## 2.2 Surrounding Environment

- **North:** 6 & 10 Lancewood Lane (approx. 13 m higher)
- **South:** 1 & 1A Birch Lane (approx. 23–40 m separation, with mature vegetation screening)
- **East:** 3 Conifer Lane
- **West:** 9 & 11 Conifer Lane

The site is surrounded by modern detached dwellings and maintains a high level of residential amenity.

The site is indicated in photographs below:



Figure 1: Subject site 5 Conifer Lane (highlighted in blue). Source: QLDC GIS

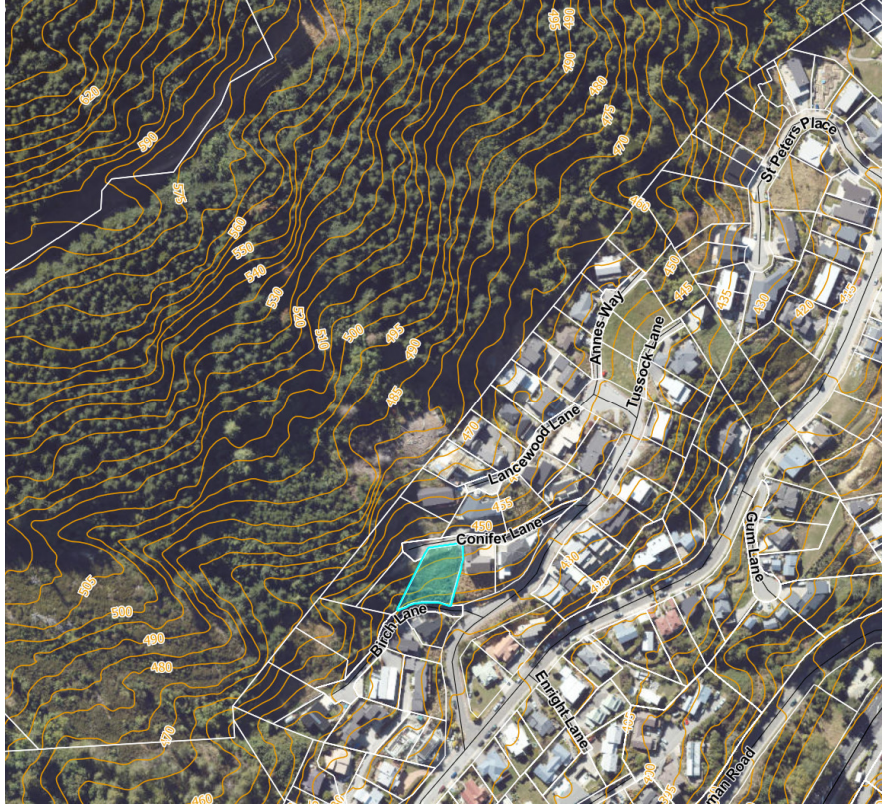


Figure 2: Subject site 5 Conifer Lane (highlighted in blue) with contours illustrating the slope of surrounding area Source :QLDC GIS



Figure 3 Photograph taken from the northeastern corner of the site along Conifer Lane

### 3. APPROVED DWELLING (RM250342)

The approved dwelling is a **three-level, five-bedroom** home comprising:

#### Ground Floor

- Double garage
- One bedroom
- One bathroom + WC
- Kitchen & scullery
- Dining, family, and living areas (with fireplace)
- Two deck areas

#### Lower Level

- Two bedrooms (each with ensuite)
- Sitting area / retreat
- Wine cellar
- Laundry
- Deck

#### Basement Level

- Two bedrooms
- Two bathrooms
- Rumpus room
- Deck

#### Parking

- **Two fully compliant internal carparks**
- Turning head located immediately beside the site

The dwelling easily accommodates nine guests within normal residential capacity.

---

### 4. DESCRIPTION OF THE RVA ACTIVITY

The proposal is to operate RVA as follows:

- Maximum **nine (9)** guests
- Entire dwelling rented to **one group at a time**
- No room-by-room letting

- Stays typically **2–7 nights**
- No events or parties
- Two vehicles parked **inside the garage**
- Managed by a **professional 24/7 property manager**
- Noise controls, waste controls, and house rules in place
- Airbnb as the primary booking platform

No external lighting changes, signage, business activity, or on-site staff are proposed.

## 5. DISTRICT PLAN FRAMEWORK

The site is located in the **Lower Density Suburban Residential Zone** of the Proposed District Plan.

The activity requires consent as:

### **Restricted Discretionary – Rule 7.5.18**

Residential Visitor Accommodation used for **more than 90 nights per year**.

Council’s discretion is restricted to:

- a. Location, nature, and scale of activities
- b. Vehicle access and parking
- c. Management of noise, rubbish, recycling, and outdoor activities
- d. Privacy and overlooking
- e. Outdoor lighting
- f. Guest management and complaints procedures
- g. Record-keeping and inspection availability
- h. Monitoring requirements

### **Restricted Discretionary – Rule 29.5.4**

Mobility parking requirements for VA for 6+ guests.

Consent is only required because the garage parks are **not sign-posted** as mobility parking spaces.

---

## 6. ASSESSMENT OF ENVIRONMENTAL EFFECTS

### 6.1 Effects on Residential Character & Visual Amenity

- No external alterations
- No change to building bulk, scale, height, colour, or form
- The RC has already confirmed **less than minor** built-form effects

The RVA operates internally and does not change visual character.

**Conclusion: Effects are less than minor.**

---

### 6.2 Traffic & Parking Effects

- Typical occupancy = **2 vehicles**
- Two onsite, internal parks available
- No roadside parking needed
- Low traffic environment
- RC engineering confirmed compliant access and manoeuvring

**Conclusion: Effects are less than minor.**

---

### 6.3 Noise Effects

Managed through the **Noise Management Plan** (attached).

Key measures:

- Quiet hours **8pm–8am**
- No outdoor area use **10pm–7am**
- No outdoor amplified sound
- No parties or events
- Signage inside the dwelling
- Property manager responds within **15 minutes**

The activity complies with PDP noise limits.

**Conclusion: Effects are less than minor.**

---

## 6.4 Privacy & Overlooking

The RC identified:

- Significant vertical separation to Lancewood Lane
- 23–40 m separation to Birch Lane with vegetation
- Deck setbacks improved during RC
- Mature existing screening

The RVA introduces no new windows or decks.

**Conclusion: Effects are less than minor.**

---

## 6.5 Servicing (Water, Wastewater, Stormwater)

The RC confirms all servicing capacity is adequate.

RVA occupancy mirrors that of a large family household.

**Conclusion: Effects are less than minor.**

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## 6.6 Cultural Values – Wāhi Tūpuna

The RC confirmed:

- No ground disturbance
- No infringement of Chapter 39
- Earthworks already assessed

RVA involves **no new earthworks**.

**Conclusion: Effects are less than minor.**

---

## 6.7 Effects on Persons

Given:

- Residential scale
- No external works
- Controls on noise & parking
- Large separation distances

**No persons are adversely affected.**

---

## 7. OBJECTIVES & POLICIES

The proposal aligns with:

### Chapter 7 – Residential Zone

- Maintains residential character
- Low-intensity, small-scale activity
- Protects amenity values
- Provides diverse visitor accommodation options

### Chapter 29 – Transport

- Safe access
- Adequate parking

### Chapter 36 – Noise

- Full compliance with noise limits

### Chapter 39 – Wāhi Tūpuna

- No disturbance or earthworks

**Overall: Consistent with the PDP framework.**

---

## 8. CONCLUSION

The proposed Residential Visitor Accommodation at **5 Conifer Lane**:

- Produces **less than minor** environmental effects
- Does not adversely affect any person
- Is consistent with relevant PDP objectives and policies
- Is suitable for **non-notified processing**

**Accordingly, resource consent should be granted.**

## AEE ADDENDUM

Response to Council Comments on Notification and Effects

Residential Visitor Accommodation (RVA)

5 Conifer Lane, Queenstown

Application Reference: RM2151041

Applicant: Zenith Residential Ltd

Prepared by: J Studio Ltd

Date: 4<sup>th</sup> Feb 2026

### 1. Purpose of this Addendum

This AEE Addendum has been prepared in response to Council's comments regarding the scale, intensity, and potential cumulative effects of the proposed Residential Visitor Accommodation (RVA) activity, and potential effects on surrounding properties including 6, 3, 9, and 11 Conifer Lane and 1 Birch Lane.

The purpose of this addendum is to:

Clarify the nature and operation of the proposed RVA activity

Address specific matters raised by Council

Confirm that the proposal continues to result in less than minor adverse effects

Assist Council in proceeding toward a non-notified notification decision

This addendum should be read alongside the original Assessment of Effects on the Environment (November 2025).

## 2. Scale and Intensity of the Proposed RVA Activity

Council has raised concern that the proposed RVA activity for up to nine (9) guests for up to 365 days per year represents an intensity greater than anticipated in the Lower Density Suburban Residential Zone.

It is noted that:

The Proposed District Plan does not define intensity by guest-days or numerical multipliers

RVA intensity is assessed under the PDP based on effects, not duration alone

Once the permitted threshold of 90 nights is exceeded, the activity is assessed as restricted discretionary, with discretion confined to specific effects matters

The dwelling at 5 Conifer Lane is a large, five-bedroom dwelling across multiple levels, already approved and constructed under RM250342. Accommodation of up to nine persons is well within normal residential capacity, comparable to occupation by:

A large extended family

A household hosting visiting relatives or guests

A shared residential living arrangement

The proposed activity does not involve:

Room-by-room letting

Multiple unrelated groups simultaneously

Events, functions, or gatherings

On-site staff or commercial operations

The activity is limited to one group at a time, ensuring that the scale and intensity remains residential in nature.

### 3. Comings, Goings, and Parking Effects

Council has raised concern regarding irregular comings and goings, loading and unloading of guests and luggage, and irregular parking activity.

The following clarifications are provided:

Typical RVA stays are anticipated to be 2–7 nights

Arrival and departure events typically occur once per booking

Average vehicle numbers are expected to be one to two private vehicles per group

Two fully compliant internal garage parking spaces are provided onsite

No on-street parking is required or encouraged

The pattern of vehicle movements is comparable to:

A residential household receiving visitors

Short-term family stays

Visiting friends or relatives

There is no evidence that the proposed activity would generate vehicle movements materially different from normal residential activity at this scale.

### 4. Use of Outdoor Living Areas

Council has raised concern regarding use of outdoor living areas and potential amenity impacts.

It is noted that:

All decks and outdoor living areas were previously assessed and approved under RM250342

No new decks, platforms, or outdoor activity areas are proposed

No increase in built form or external amenity space is proposed

Operational controls include:

Quiet hours between 8:00 pm and 8:00 am

No outdoor activity between 10:00 pm and 7:00 am

No parties, events, or outdoor amplified sound

Clear house rules enforced by the property manager

The use of outdoor areas remains consistent with normal residential use and does not represent an intensification beyond what has already been approved.

#### 5. Cumulative Effects of RVA in the Surrounding Area

Council has noted the presence of other short-term visitor accommodation in the surrounding streets and raised concern regarding cumulative effects.

It is noted that:

Council has not identified or quantified any specific cumulative effects

The presence of other RVA consents demonstrates that RVA is already an anticipated activity in the area

Each RVA consent is assessed independently based on its specific effects

Importantly:

The proposed activity does not rely on shared parking or public space

No infrastructure upgrades are required

The site benefits from large separation distances, professional management, and onsite parking

No evidence has been provided of neighbourhood saturation or amenity degradation attributable to RVA activity

In the absence of demonstrable cumulative effects, cumulative impact does not elevate effects beyond minor.

## 6. Effects on 1 Birch Lane

Council has raised concern regarding potential amenity effects on 1 Birch Lane due to orientation of the dwelling and outdoor decks.

The following is noted:

There is significant separation distance (approximately 23–40 m) between the subject site and Birch Lane

Existing mature vegetation provides visual screening

No new windows, decks, or platforms are proposed

No increase in overlooking beyond what was previously assessed and consented

Noise limits and operational controls apply equally to all outdoor areas

Orientation of an approved dwelling alone does not equate to an adverse amenity effect. The proposed activity does not materially alter the way the dwelling is used in a manner that would adversely affect 1 Birch Lane.

## 7. Management and Control Measures

The RVA will continue to operate under the following controls:

One group at a time

Maximum nine guests

No events or parties

Professional local property manager available 24/7

Noise Management Plan

Waste and recycling controls

Guest compliance enforcement procedures

These measures ensure that the activity operates at a residential scale and that any potential effects are effectively managed.

#### 8. Conclusion on Effects and Notification

Based on the clarifications provided in this AEE Addendum:

The scale and intensity of the proposed RVA remains residential in nature

Effects on residential amenity, traffic, parking, noise, and privacy are less than minor

No person is adversely affected

There is no evidential basis for public or limited notification

Accordingly, the application continues to meet the statutory tests under the RMA for non-notified processing.

## AEE ADDENDUM

Response to Council Comments on Notification and Effects

Residential Visitor Accommodation (RVA)

5 Conifer Lane, Queenstown

Application Reference: RM2151041

Applicant: Zenith Residential Ltd

Prepared by: J Studio Ltd

Date: 17 March 17, 2026

### 1. Purpose of this Addendum

This AEE Addendum has been prepared in response to Council's comments regarding the scale, intensity, and potential cumulative effects of the proposed Residential Visitor Accommodation (RVA) activity, and potential effects on surrounding properties including 6, 3, 9, and 11 Conifer Lane and 1 Birch Lane.

The purpose of this addendum is to:

- Clarify the nature and operation of the proposed RVA activity
- Address specific matters raised by Council
- Confirm that the proposal continues to result in less than minor adverse effects
- Assist Council in proceeding toward a non-notified notification decision

This addendum should be read alongside the original Assessment of Effects on the Environment (November 2025).

## 2. Scale and Intensity of the Proposed RVA Activity

Council has raised concern that the proposed RVA activity for up to nine (9) guests for up to 179 nights per year represents an intensity greater than anticipated in the Lower Density Suburban Residential Zone.

It is noted that:

- The Proposed District Plan does not define intensity by guest-days or numerical multipliers
- RVA intensity is assessed under the PDP based on effects, not duration alone
- Once the permitted threshold of 90 nights is exceeded, the activity is assessed as restricted discretionary

The dwelling at 5 Conifer Lane is a large, five-bedroom dwelling across multiple levels, already approved and constructed under RM250342. Accommodation of up to nine persons is well within normal residential capacity.

The proposed activity does not involve:

- Room-by-room letting
- Multiple unrelated groups simultaneously
- Events, functions, or gatherings
- On-site staff or commercial operations

The activity is limited to one group at a time, ensuring that the scale and intensity remains residential in nature. The limitation to a **maximum of 179 nights per year** further ensures the activity remains intermittent in nature and consistent with the residential character of the zone.

### 3. Comings, Goings, and Parking Effects

Council has raised concern regarding irregular comings and goings, loading and unloading of guests and luggage, and irregular parking activity.

The following clarifications are provided:

- Typical RVA stays are anticipated to be 2–7 nights
- Arrival and departure events typically occur once per booking
- Average vehicle numbers are expected to be one to two private vehicles per group
- Two fully compliant internal garage parking spaces are provided onsite
- No on-street parking is required or encouraged

The pattern of vehicle movements is comparable to:

- A residential household receiving visitors
- Short-term family stays
- Visiting friends or relatives

There is no evidence that the proposed activity would generate vehicle movements materially different from normal residential activity at this scale.

### 4. Use of Outdoor Living Areas

Council has raised concern regarding use of outdoor living areas and potential amenity impacts.

It is noted that:

- All decks and outdoor living areas were previously assessed and approved under RM250342

- No new decks, platforms, or outdoor activity areas are proposed
- No increase in built form or external amenity space is proposed

Operational controls include:

- Quiet hours between 8:00 pm and 8:00 am
- No outdoor activity between 10:00 pm and 7:00 am
- No parties, events, or outdoor amplified sound
- Clear house rules enforced by the property manager

The use of outdoor areas remains consistent with normal residential use and does not represent an intensification beyond what has already been approved.

## 5. Cumulative Effects of RVA in the Surrounding Area

Council has noted the presence of other short-term visitor accommodation in the surrounding streets and raised concern regarding cumulative effects.

It is noted that:

- Council has not identified or quantified any specific cumulative effects
- The presence of other RVA consents demonstrates that RVA is already an anticipated activity in the area
- Each RVA consent is assessed independently based on its specific effects

Importantly:

- The proposed activity does not rely on shared parking or public space
- No infrastructure upgrades are required
- The site benefits from large separation distances, professional management, and onsite parking

- No evidence has been provided of neighbourhood saturation or amenity degradation attributable to RVA activity

In the absence of demonstrable cumulative effects, cumulative impact does not elevate effects beyond minor.

## 6. Effects on 1 Birch Lane

Council has raised concern regarding potential amenity effects on 1 Birch Lane due to orientation of the dwelling and outdoor decks.

The following is noted:

- There is significant separation distance (approximately 23–40 m) between the subject site and Birch Lane
- Existing mature vegetation provides visual screening
- No new windows, decks, or platforms are proposed
- No increase in overlooking beyond what was previously assessed and consented
- Noise limits and operational controls apply equally to all outdoor areas

Orientation of an approved dwelling alone does not equate to an adverse amenity effect. The proposed activity does not materially alter the way the dwelling is used in a manner that would adversely affect 1 Birch Lane.

## 7. Management and Control Measures

The RVA will continue to operate under the following controls:

- One group at a time
- Maximum nine guests

- No events or parties
- Professional local property manager available 24/7
- Noise Management Plan
- Waste and recycling controls
- Guest compliance enforcement procedures

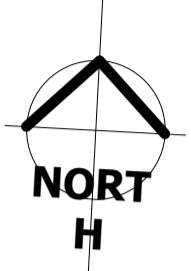
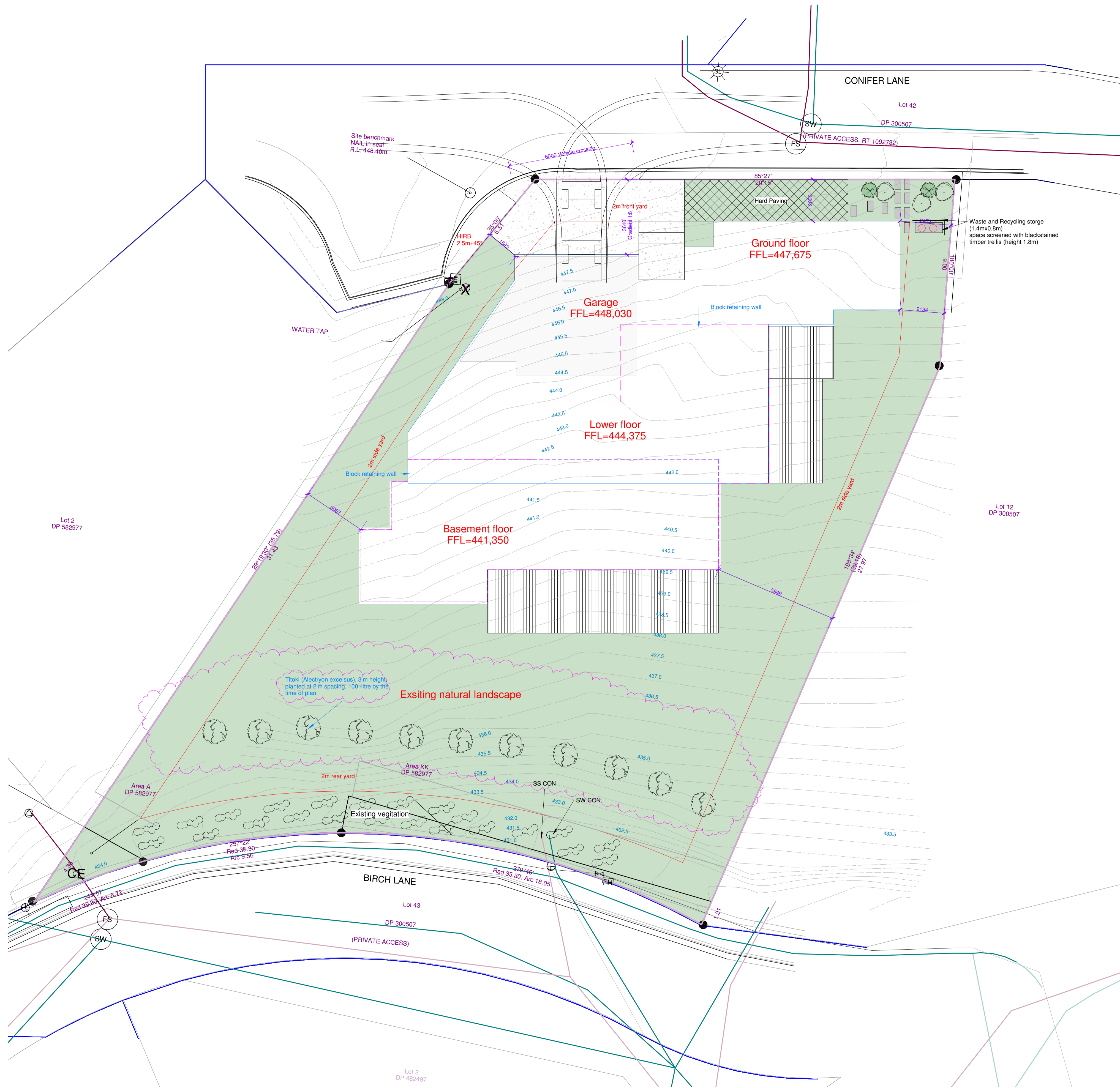
These measures ensure that the activity operates at a residential scale and that any potential effects are effectively managed.

#### 8. Conclusion on Effects and Notification

Based on the clarifications provided in this AEE Addendum:

- The scale and intensity of the proposed RVA remains residential in nature
- Effects on residential amenity, traffic, parking, noise, and privacy are less than minor
- No person is adversely affected
- There is no evidential basis for public or limited notification

Accordingly, the application continues to meet the statutory tests under the RMA for non-notified processing.



SITE DESCRIPTION

Lot	1
DP	582977
Site Area	901 sqm
Proposed building cover area	333.71 sqm
Driveway & Pathway	38.17 sqm
Landscaped permeable surface	529.12 sqm

SITE COVERAGE

Residential Zone	Lower Density Suburban Residential
Building Coverage	333.71/901=37%<40%
Landscaped permeable surface Coverage	529.12/901=58.73%>30%

- Legend**
- Basement floor outline ---
  - Lower floor outline ---
  - Ground floor outline ---
  - Roof outline ---
  - Building area
  - Decking area
  - Concrete
  - Landscape area
  - Paving

1 : 100 Plan  
A1-01 Site Plan

J Studio Ltd  
agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**SITE PLAN**

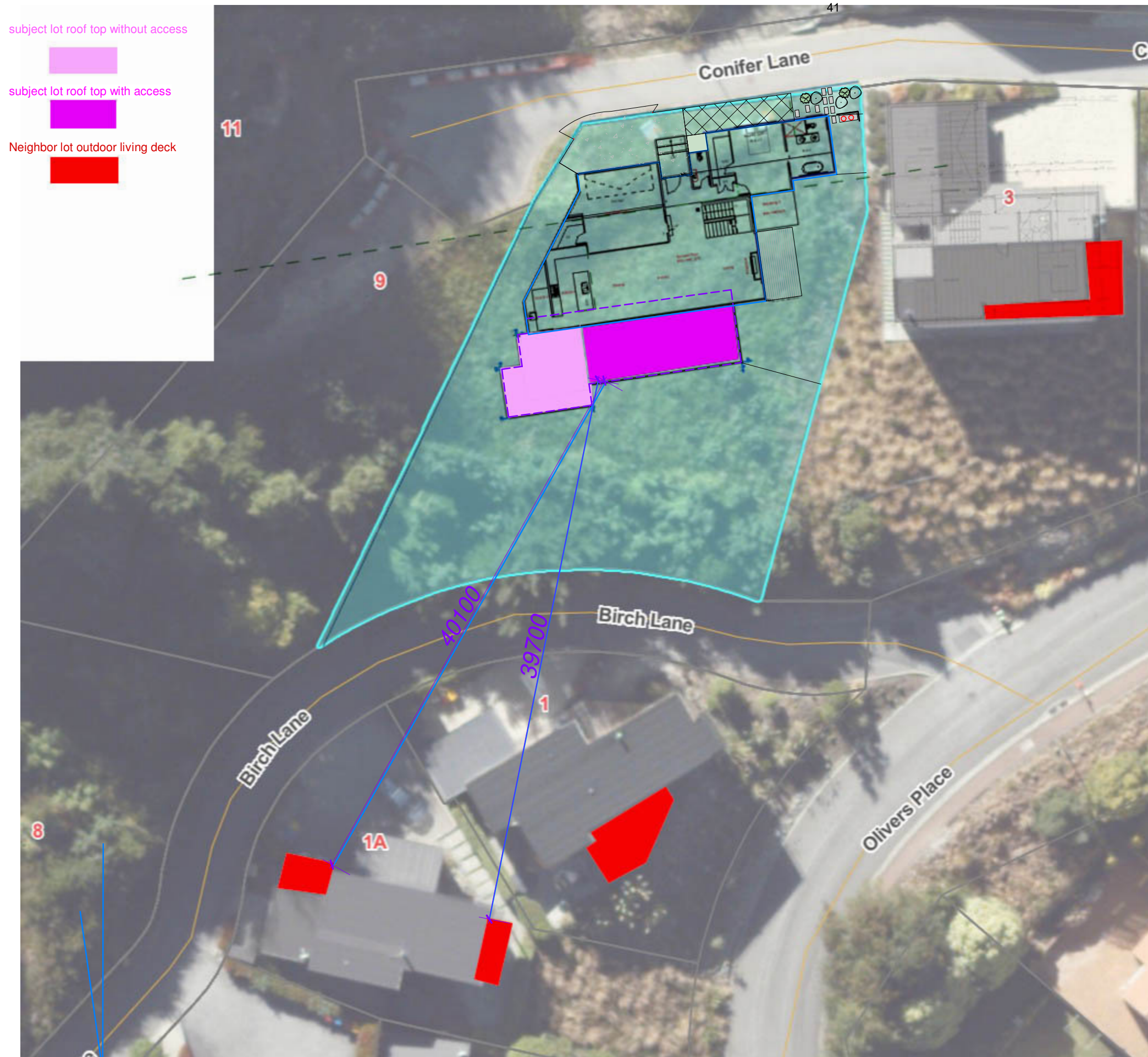
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DESIGN JH  
DRAWN JW

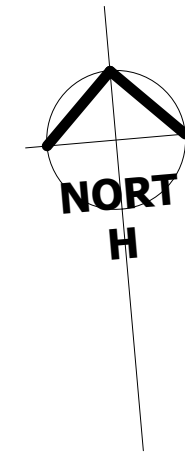
**ARCHITECTURAL**

Drawing Number Revision  
**A1-01** **D**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



- subject lot roof top without access
- subject lot roof top with access
- Neighbor lot outdoor living deck



J Studio Ltd  
 agoodweekend@gmail.com  
 Tel: 09 4145366

Project Number: 225005  
**NEW DWELLING**  
 5 Conifer Lane, Queenstown

Sheet  
 Site overall plan with  
 neighbor lots

SCALE @ A3= 1 : 300

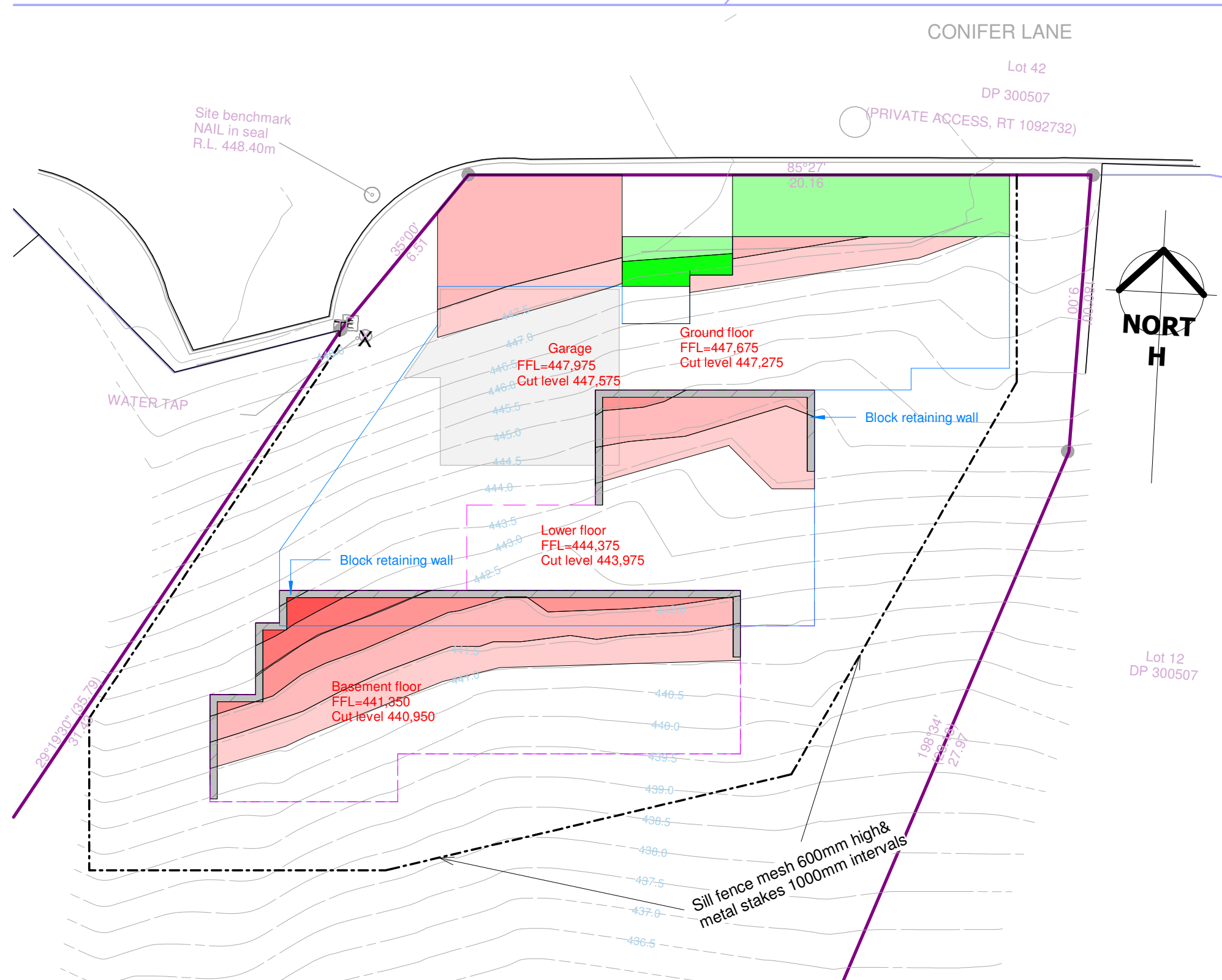
DESIGN	Designer
DRAWN	Author

# ARCHITECTURAL

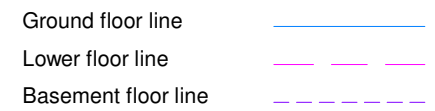
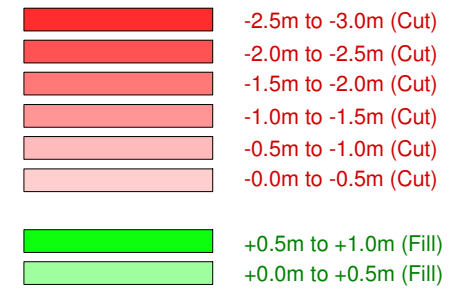
Drawing Number	Revision
<b>A1-01B</b>	<b>D</b>

DO NOT SCALE OFF THIS DRAWING  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
 SITE BEFORE COMMENCING ANY WORK

1 1 : 300 Plan  
 A1-01b Site overall with neighbors outdoor living plan



Legend



Fill Area	23.2m <sup>2</sup>	7m <sup>3</sup>
Cut Area	105.7m <sup>2</sup>	73.1m <sup>3</sup>
Earthwork	128.9m <sup>2</sup>	80.1m <sup>3</sup>

Note: Maintain the Stabilized Construction Entrance in a condition to prevent sediment from leaving the construction site. After each rainfall inspect any structure used to trap sediment from the Stabilized Construction Entrance and clean out as necessary. When wheel washing is also required, ensure this is done on an area stabilized with aggregate which drains to an approved sediment retention facility.

J Studio Ltd.  
agoodweekend@gmail.com

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**SITE MANAGEMANT PLAN**

DESIGN	JH
DRAWN	QL

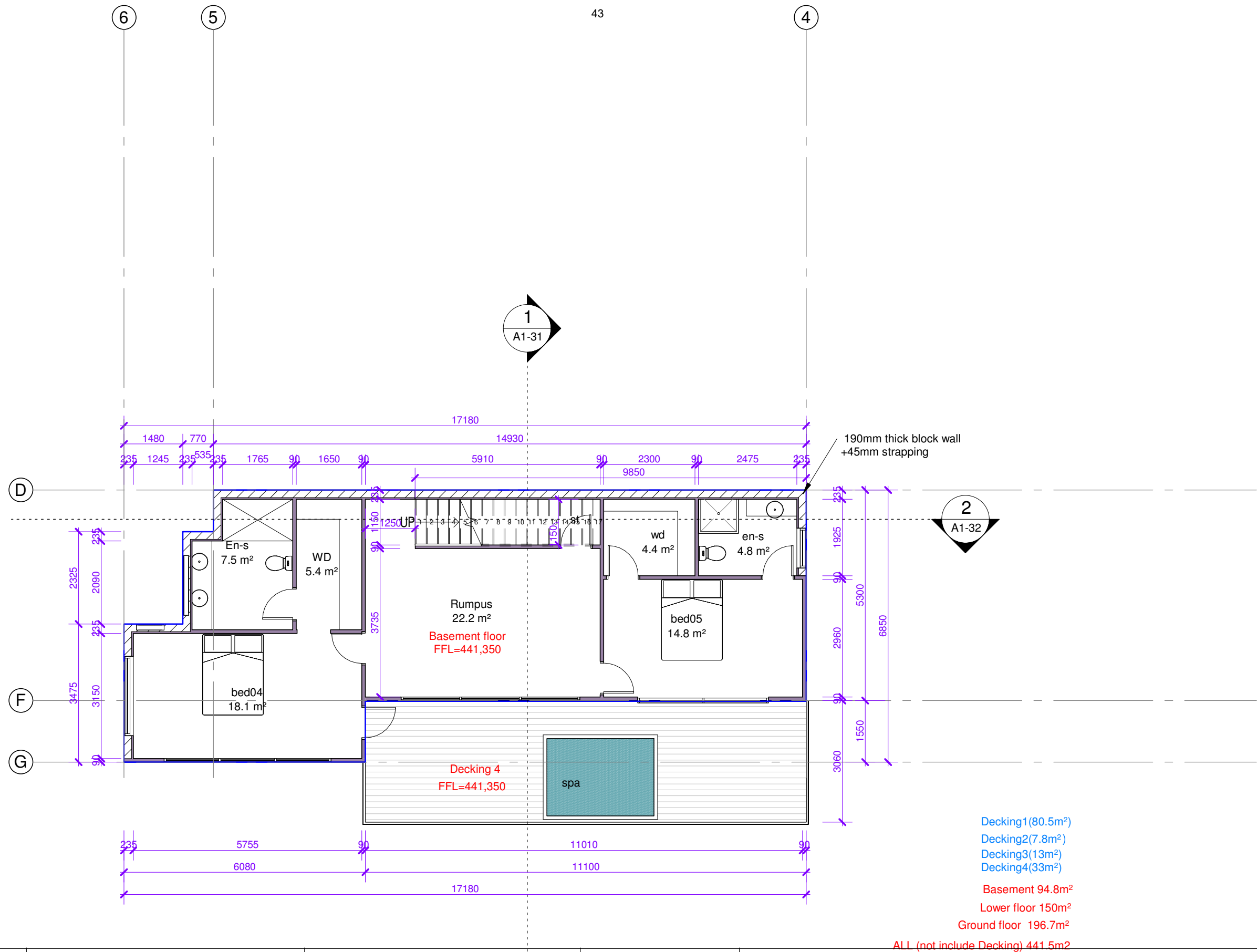
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1 1 : 150 Plan  
A1-02 MANAGEMANT PLAN

**ARCHITECTURAL**

Drawing Number **A1-02** Revision **A**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



J Studio Ltd.  
agoodweekend@gmail.com  
09 4145366

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Basement Floor**

SCALE @ A3= 1 : 100

DESIGN	Designer
DRAWN	Author

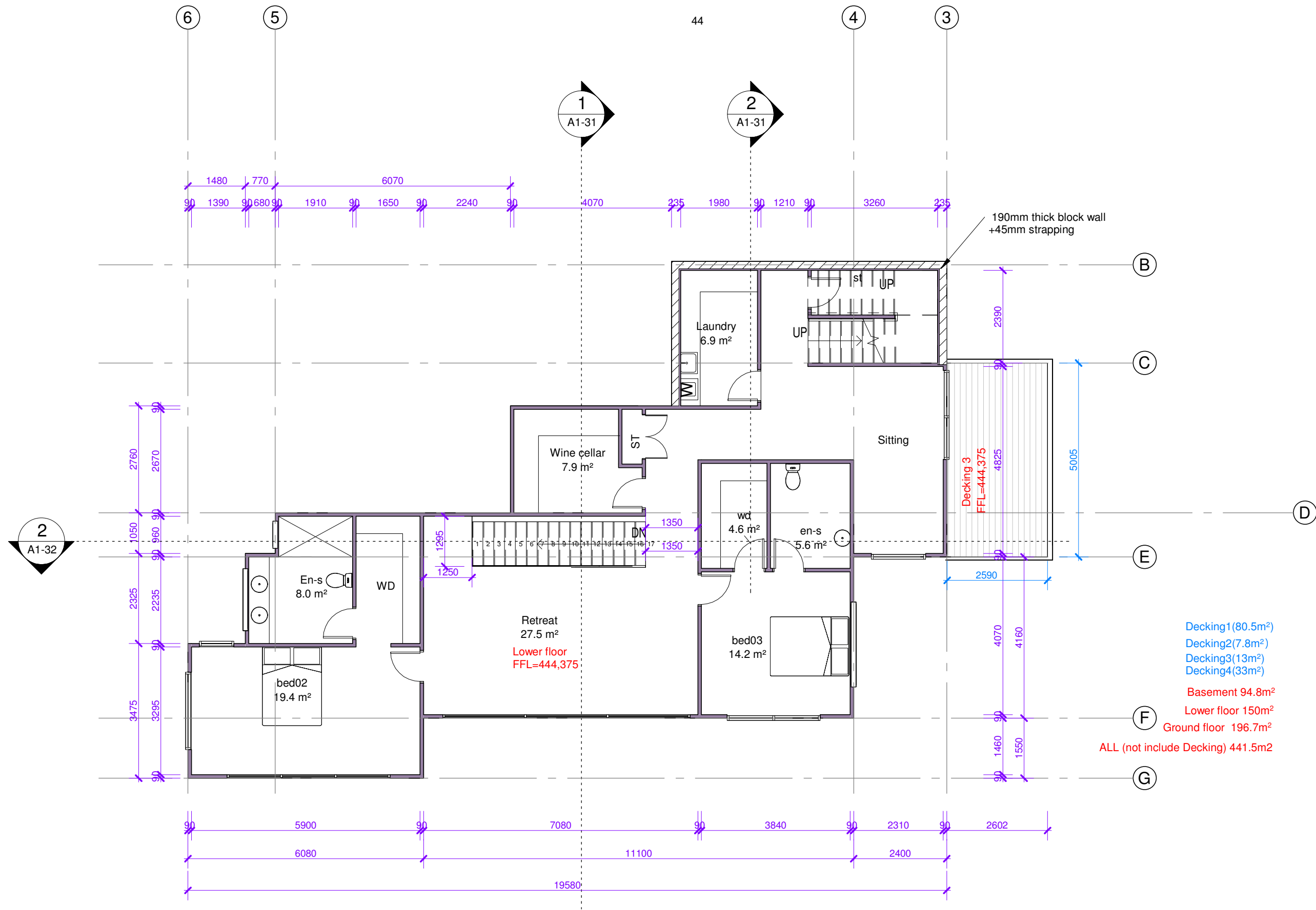
1 1 : 100 Plan  
A1-10 Basement Floor Plan

**ARCHITECTURAL**

Drawing Number Revision

**A1-10** **A**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS  
AND LEVEL HEIGHTS ON SITE BEFORE  
COMMENCING ANY WORK



- Decking1(80.5m²)
- Decking2(7.8m²)
- Decking3(13m²)
- Decking4(33m²)
- Basement 94.8m²
- Lower floor 150m²
- Ground floor 196.7m²
- ALL (not include Decking) 441.5m²

J Studio Ltd  
agoodweekend@gmail.com

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Lower Level Floor**

SCALE @ A3= 1 : 100

DESIGN	JH
DRAWN	

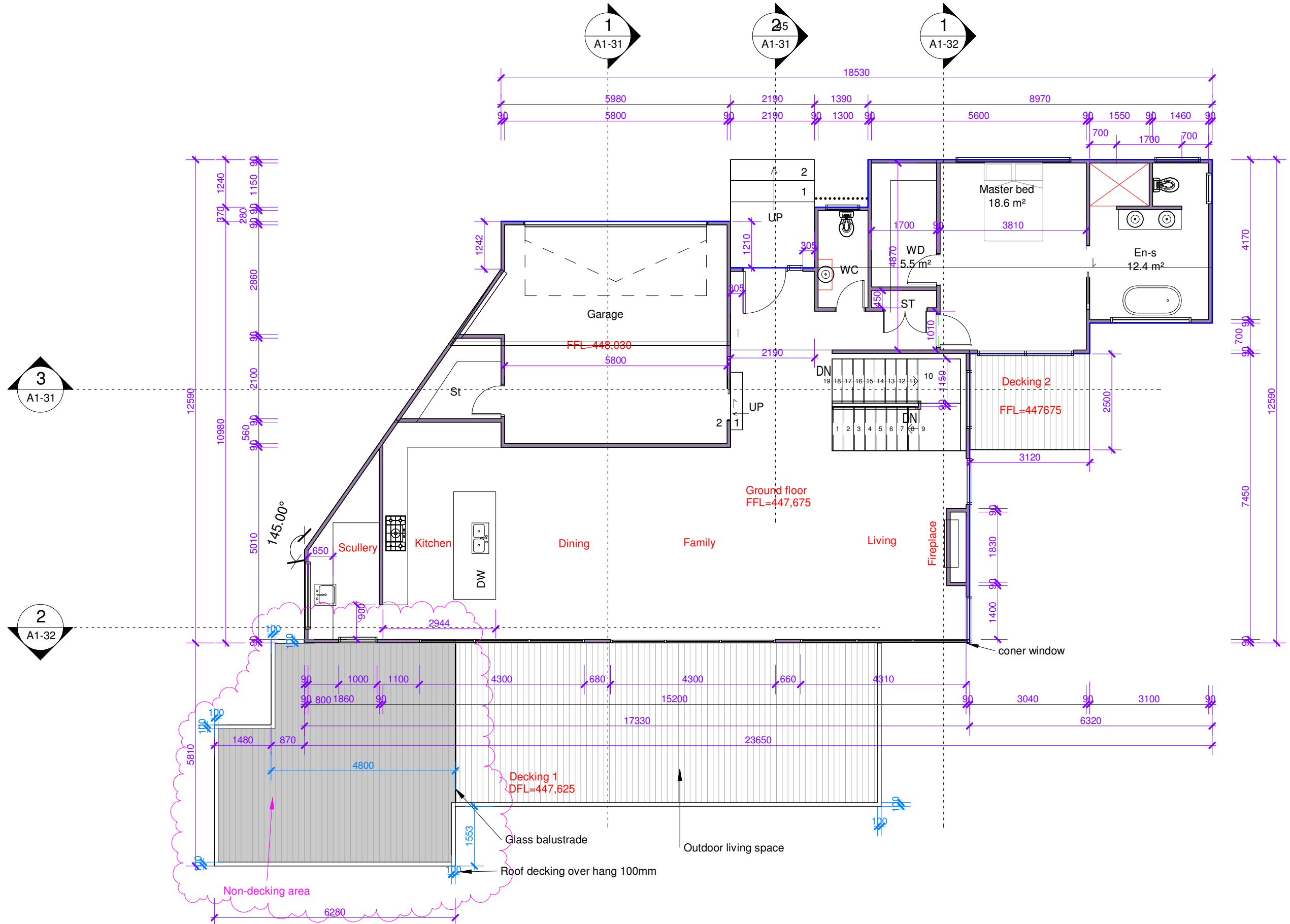
1 1 : 100 Plan  
A1-11 Lower level Floor Plan

**ARCHITECTURAL**

Drawing Number Revision

**A1-11** **A**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



- Decking1(46.7m²)
- Decking2(7.8m²)
- Decking3(13m²)
- Decking4(33m²)
- Basement 94.8m²
- Lower floor 150m²
- Ground floor 196.7m²
- ALL (not include Decking) 441.5m²

J Studio Ltd  
agoodweekend@gmail.com

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

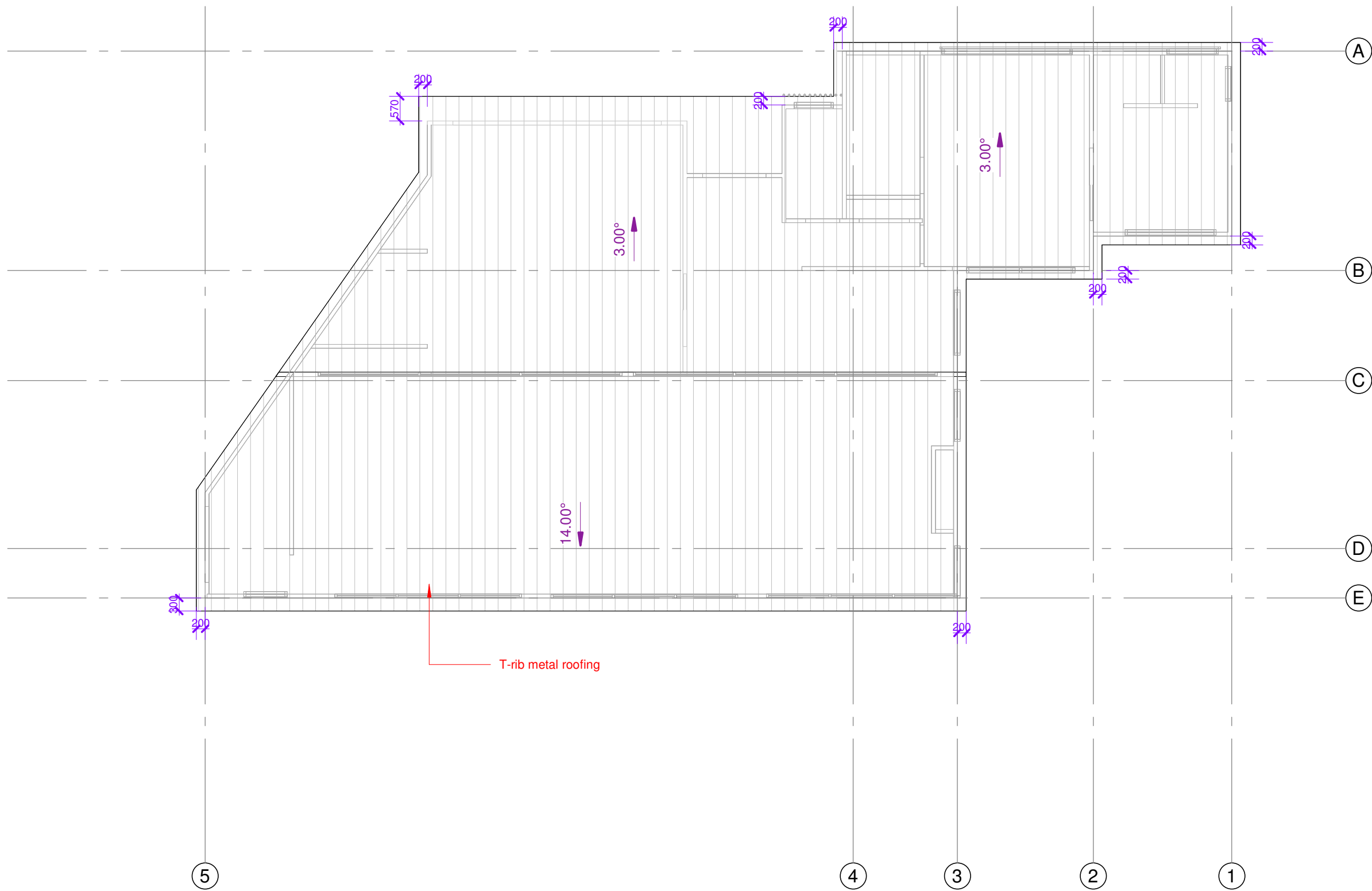
Sheet  
**Ground Floor**  
  
SCALE @ A3= 1 : 100

DESIGN	JH
DRAWN	JW

1 : 100 Plan  
A1-12\_Ground Floor Plan

**ARCHITECTURAL**  
Drawing Number  
**A1-12**  
Revision  
**D**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



J Studio Ltd.  
 agoodweekend@gmail.com  
 09 4145366

Project Number: 225QLDS  
**NEW DWELLING**  
 5 Conifer Lane, Queenstown

Sheet  
**Roof Plan**

SCALE @ A3= 1 : 100

DESIGN	Designer
DRAWN	Author

**1** 1 : 100 Plan  
 A1-21 A1-13 ROOF

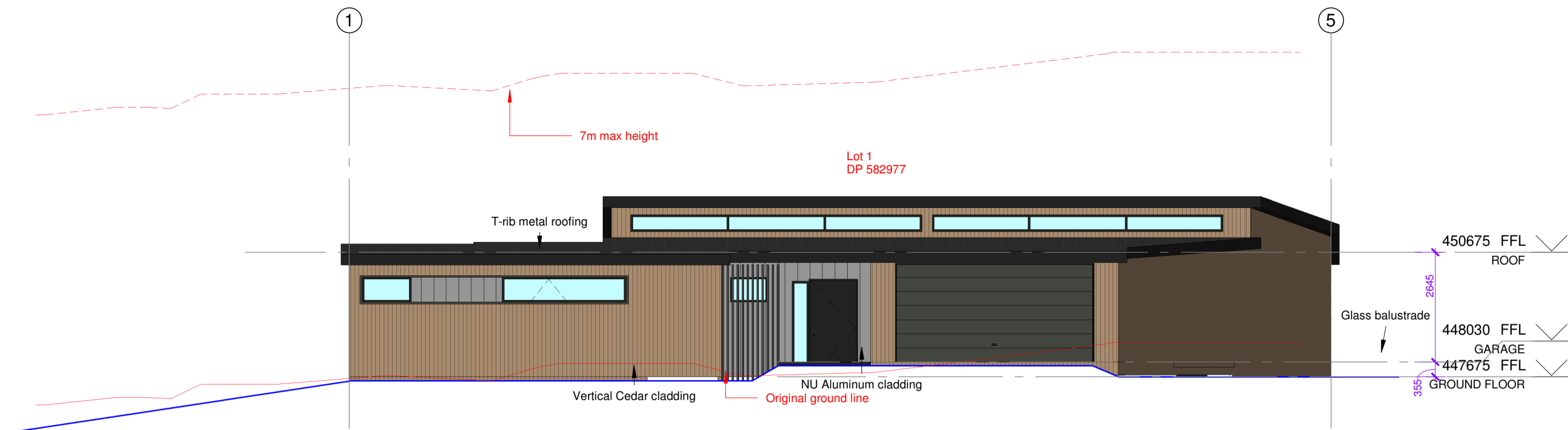
**ARCHITECTURAL**

Drawing Number Revision

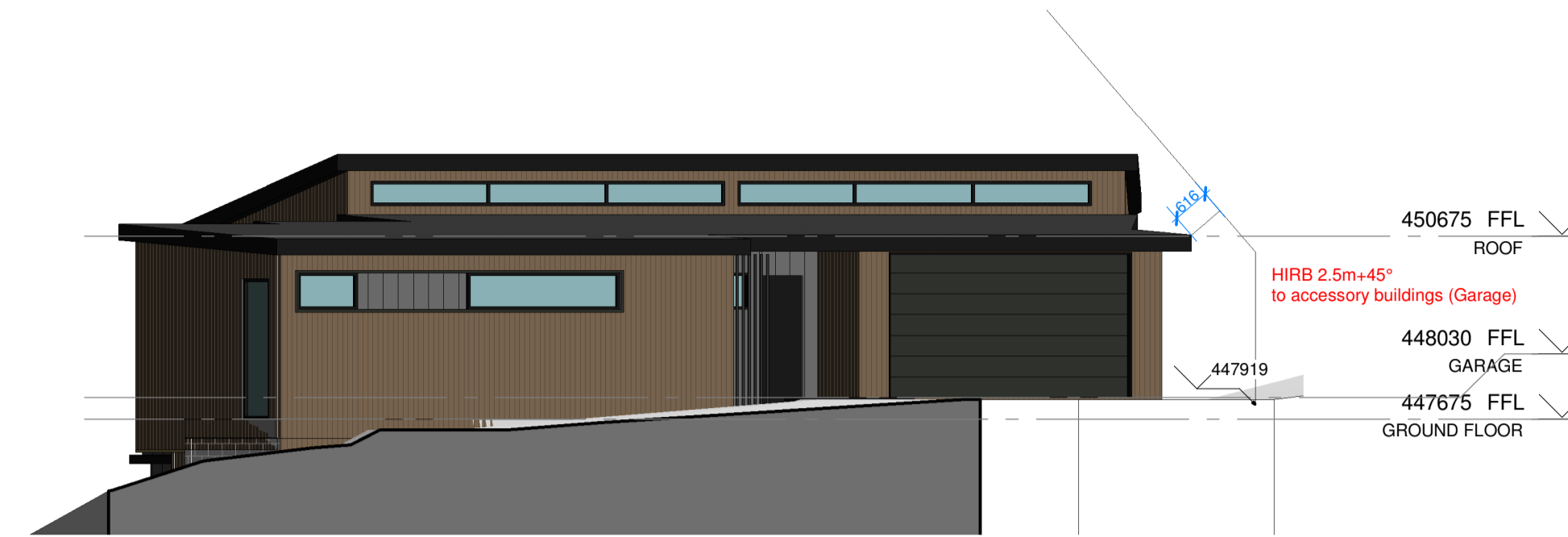
**A1-13** **A**

DO NOT SCALE OFF THIS DRAWING  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS  
 AND LEVEL HEIGHTS ON SITE BEFORE  
 COMMENCING ANY WORK

NOTE: Lighting and Glare  
 All exterior lighting shall be directed downward and away from adjacent sites and roads.  
 No activity on any site shall result in greater than a 3.0 lux spill (horizontal or vertical) of lights onto any other site measured at any point inside the boundary of the other site.



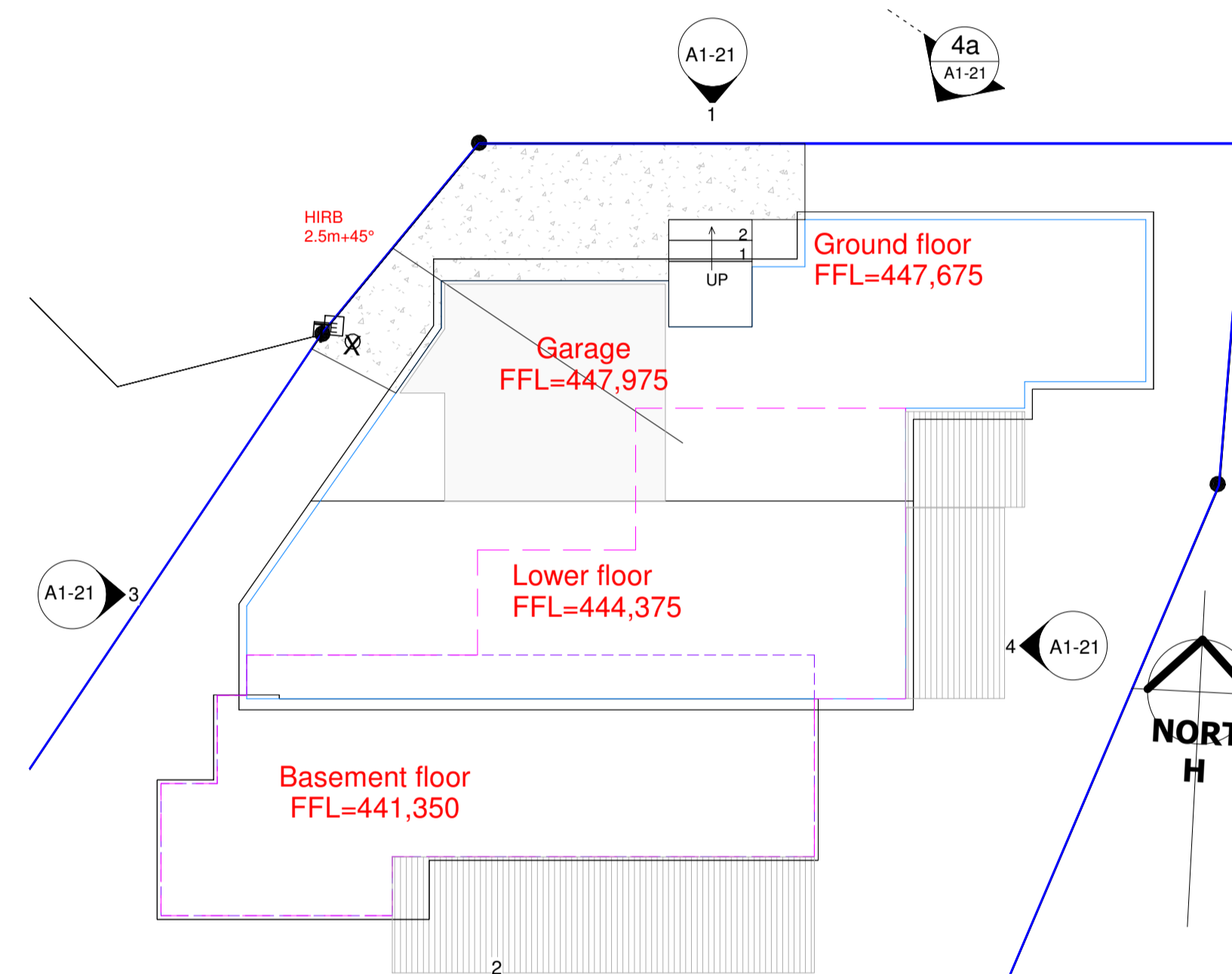
1 1 : 100 Elevation  
North Elevation



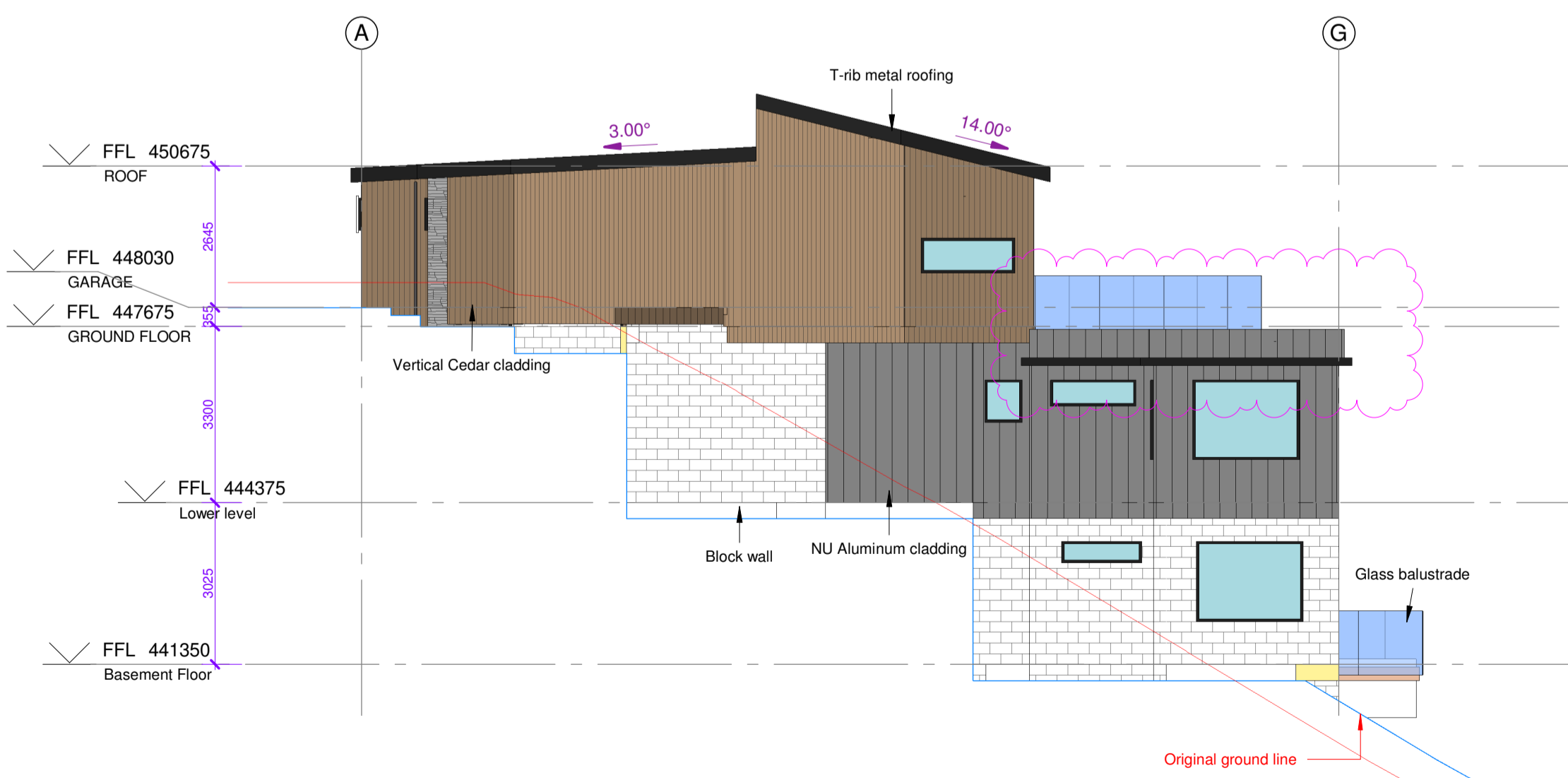
4a 1 : 100 Elevation  
Elevation-HIRB



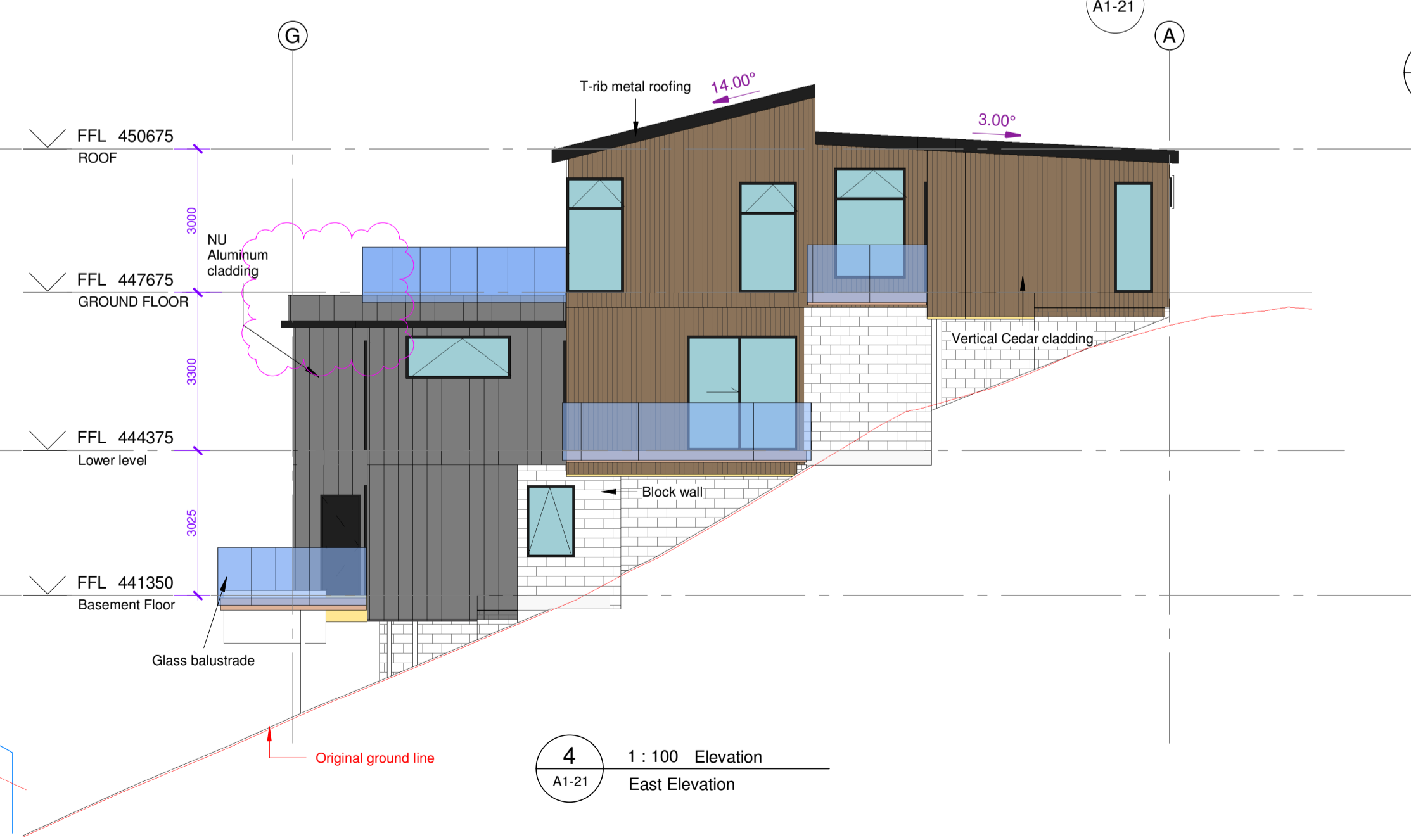
2 1 : 100 Elevation  
South Elevation



5 1 : 150 Plan  
Elevation marker location plan



3 1 : 100 Elevation  
West Elevation



4 1 : 100 Elevation  
East Elevation

J Studio Ltd  
 agoodweekend@gmail.com  
 TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
 5 Conifer Lane, Queenstown

Sheet  
**ELEVATIONS**

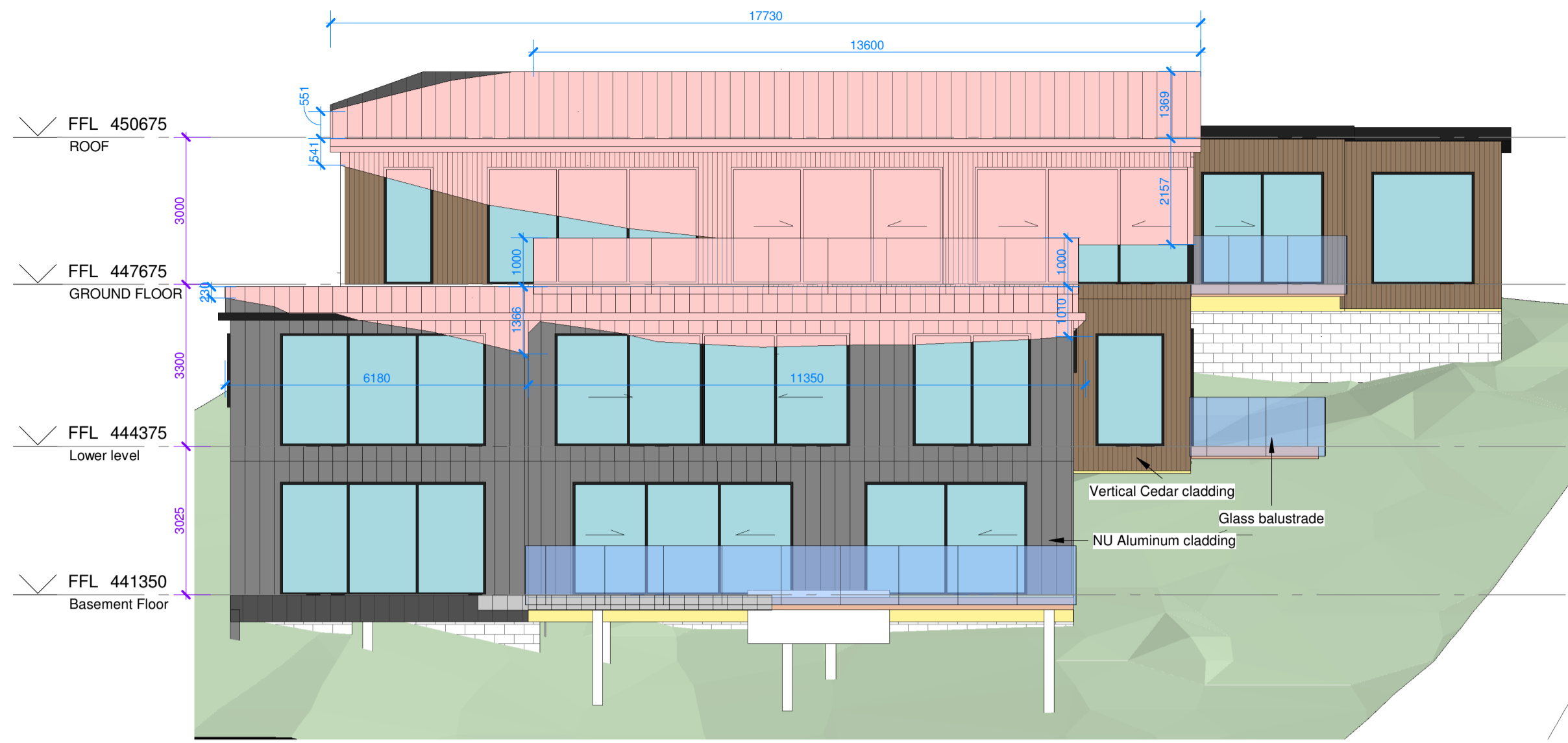
SCALE @ A1= As indicated

DESIGN JH  
 DRAWN JW

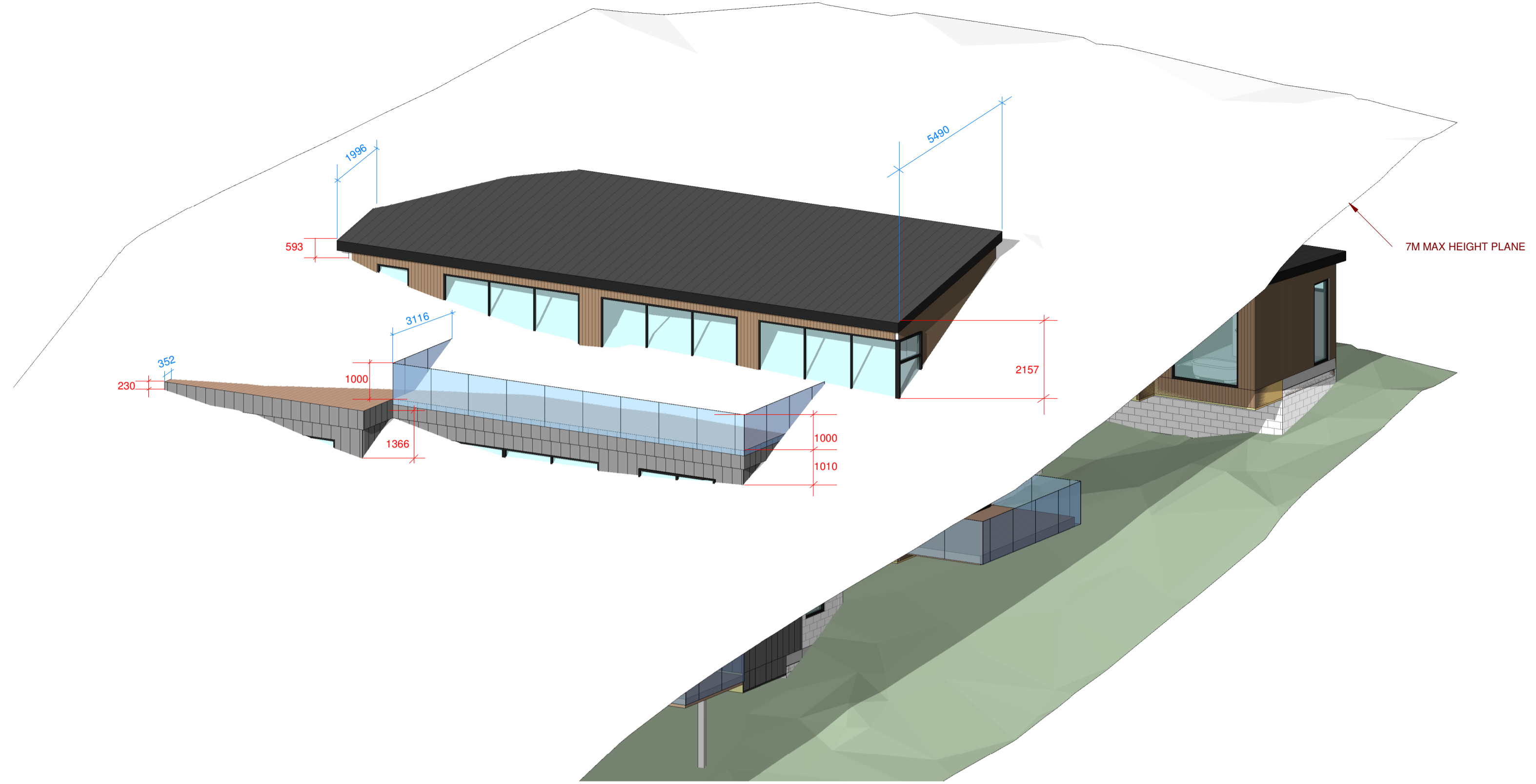
**ARCHITECTURAL**

Drawing Number Revision  
**A1-21** **D**

DO NOT SCALE OFF THIS DRAWING  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
 SITE BEFORE COMMENCING ANY WORK

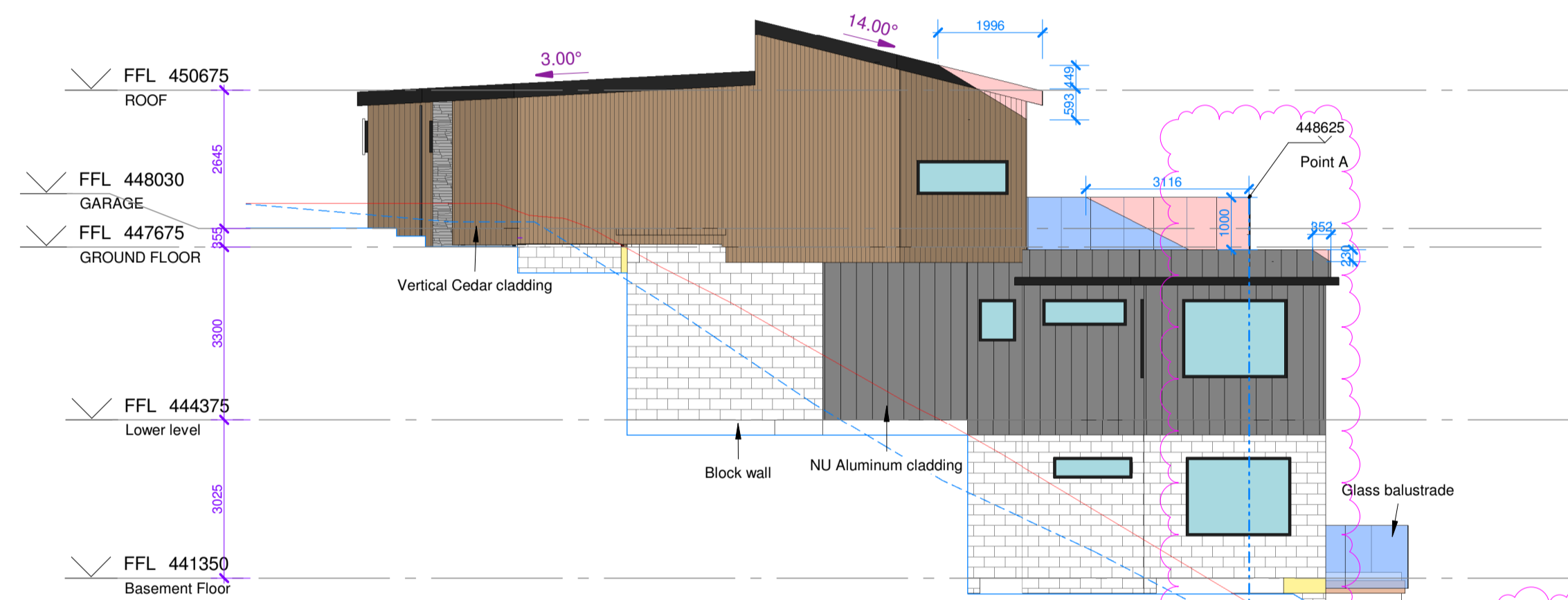


1 1 : 100 Elevation  
A1-01 South Elevation-infridgement

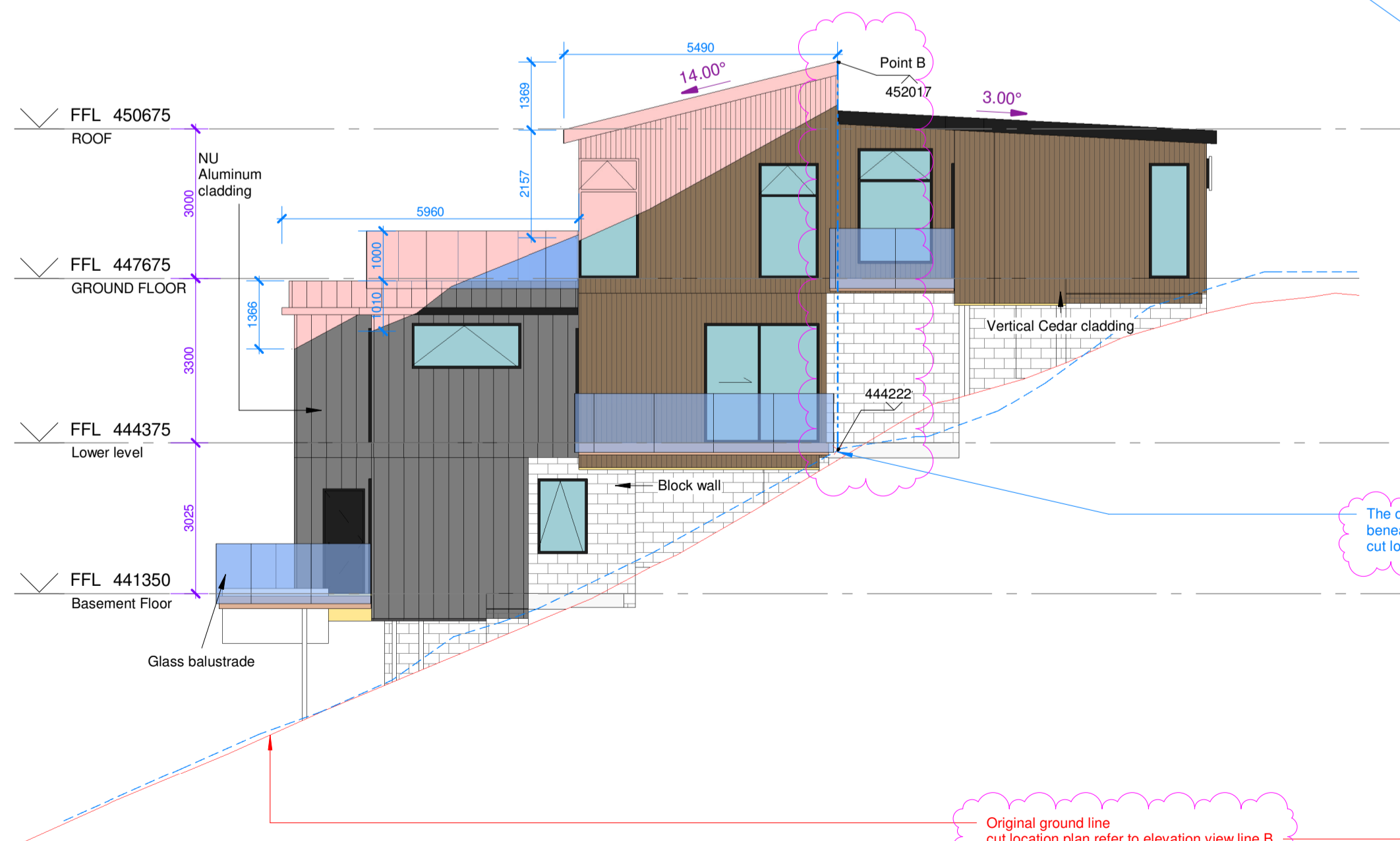


4 3D view  
Building over 7m max height plane

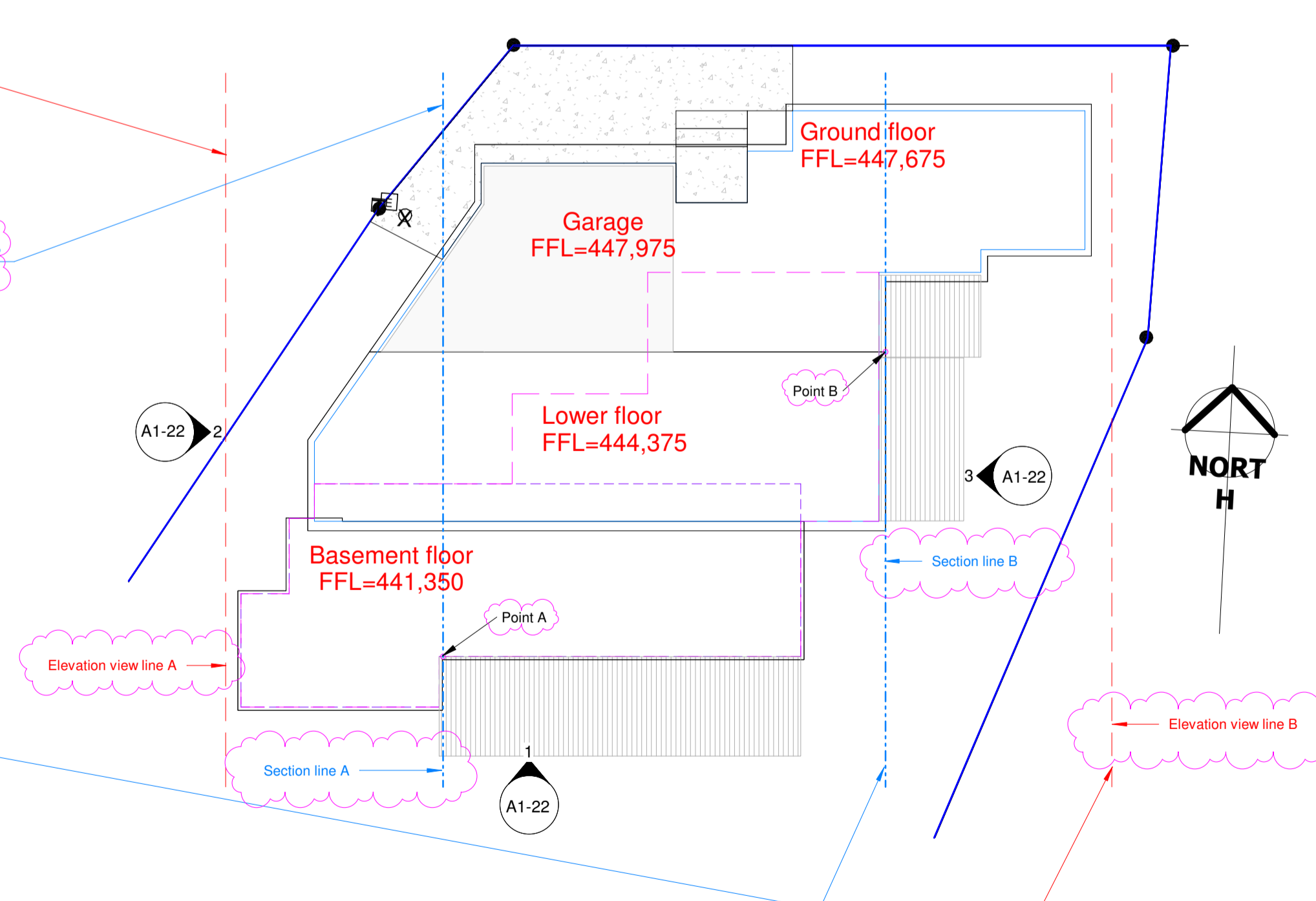
Area of plan infridgement: 127m<sup>2</sup>



2 1 : 100 Elevation  
A1-01 West Elevation-infridgement



3 1 : 100 Elevation  
A1-01 East Elevation-infridgement



5 1 : 150 Detail  
Infridgement Elevation marker location plan

**Legend:**

Building over 7m max height infridgement area

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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**ELEVATION-Infridgement**

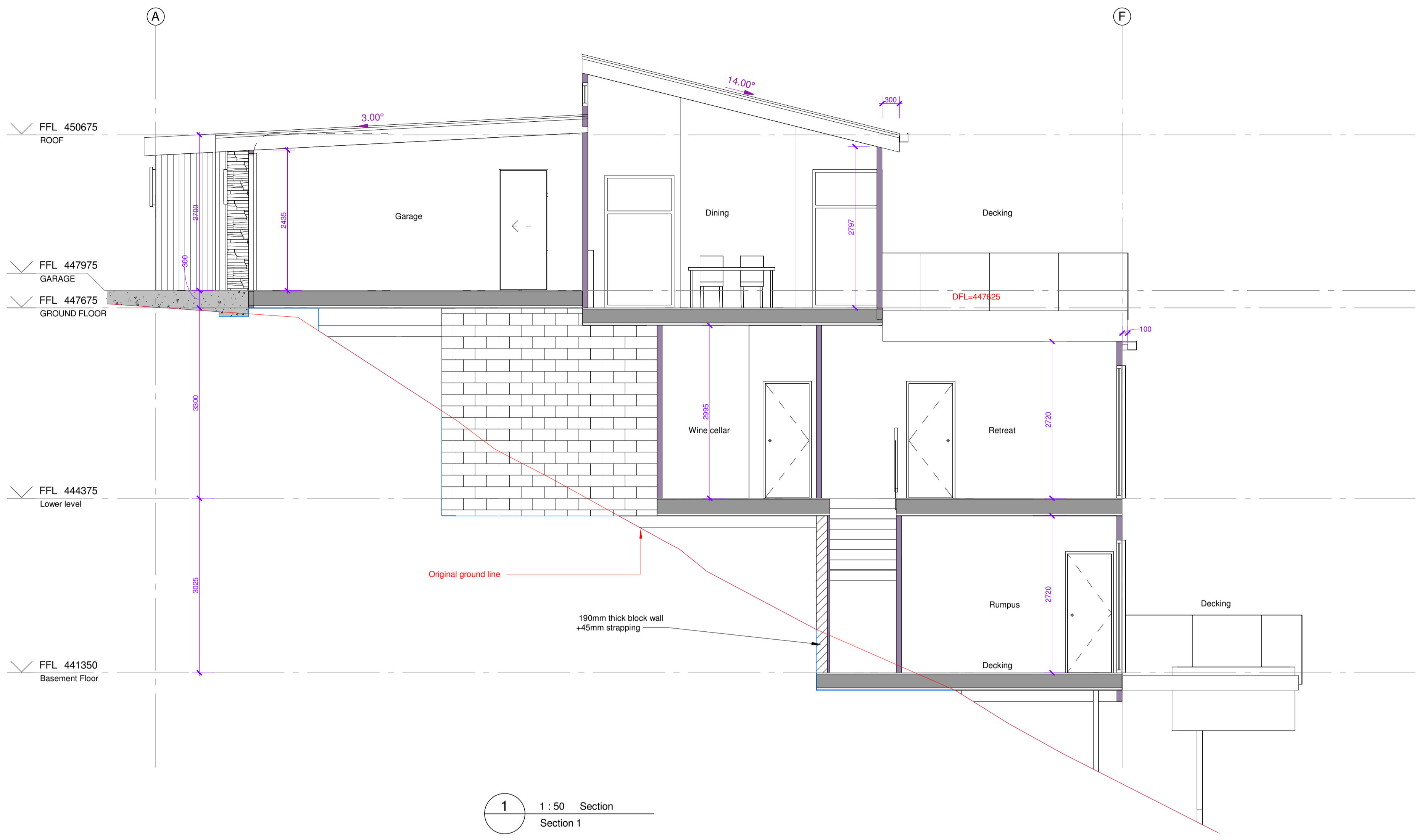
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DESIGN JH  
DRAWN JW

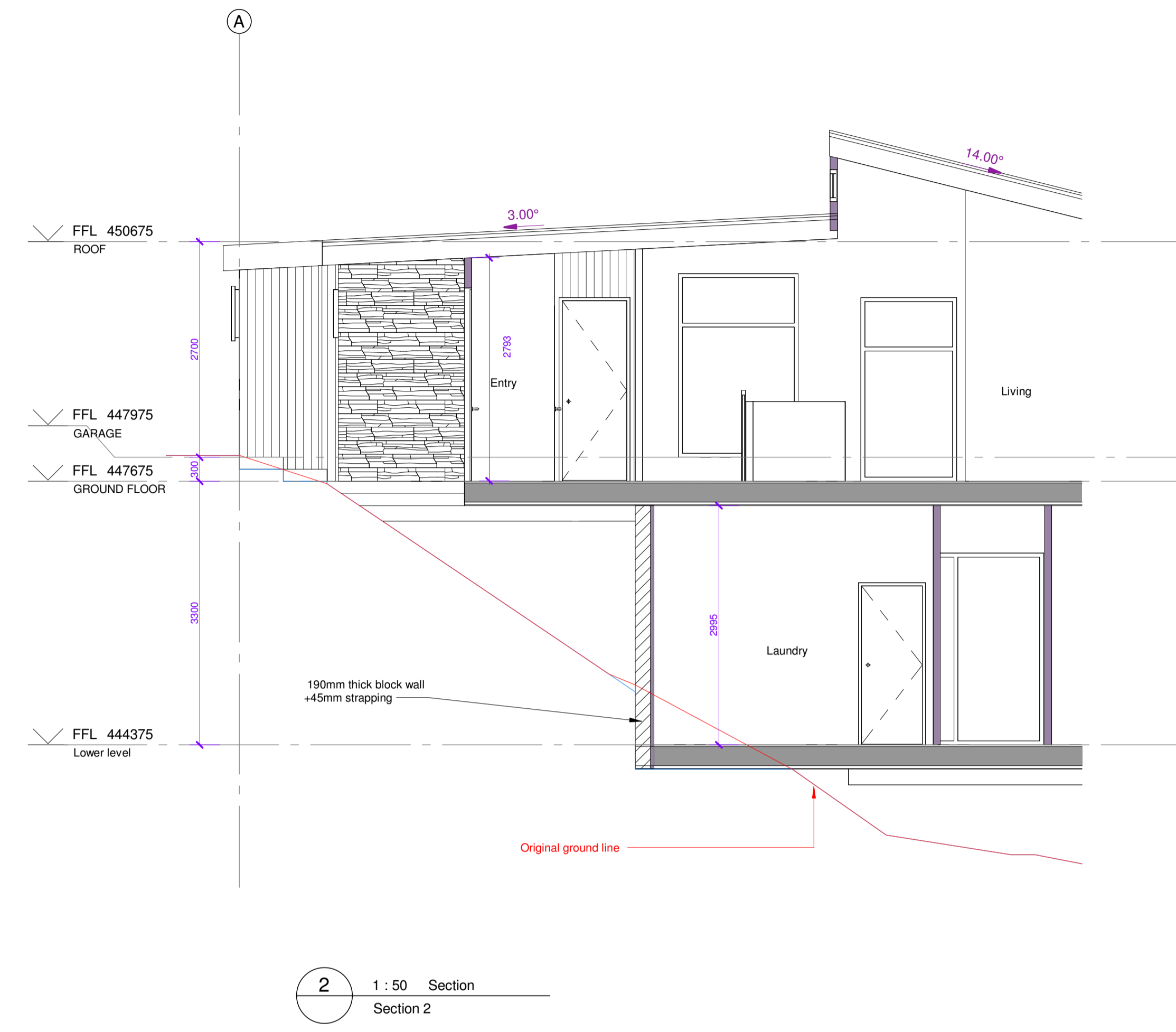
**ARCHITECTURAL**

Drawing Number Revision  
**A1-22** **E**

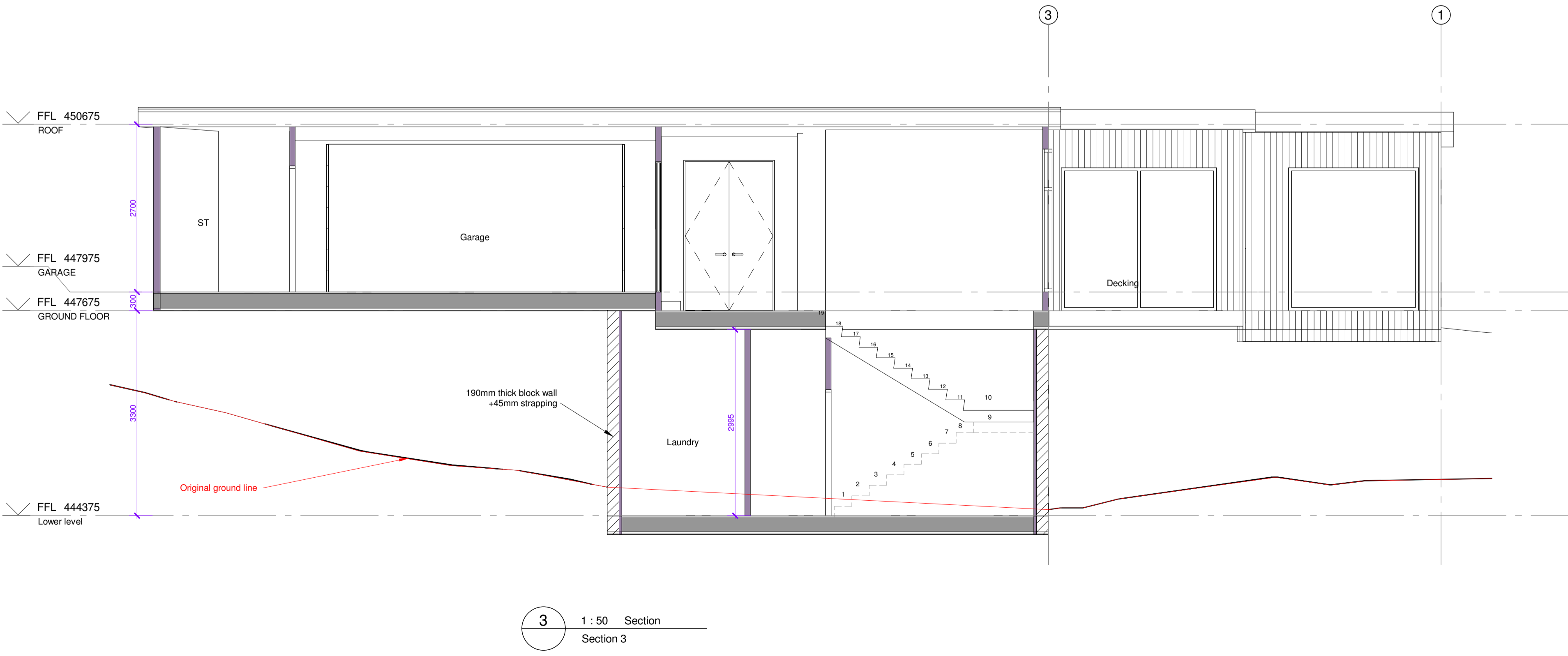
DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



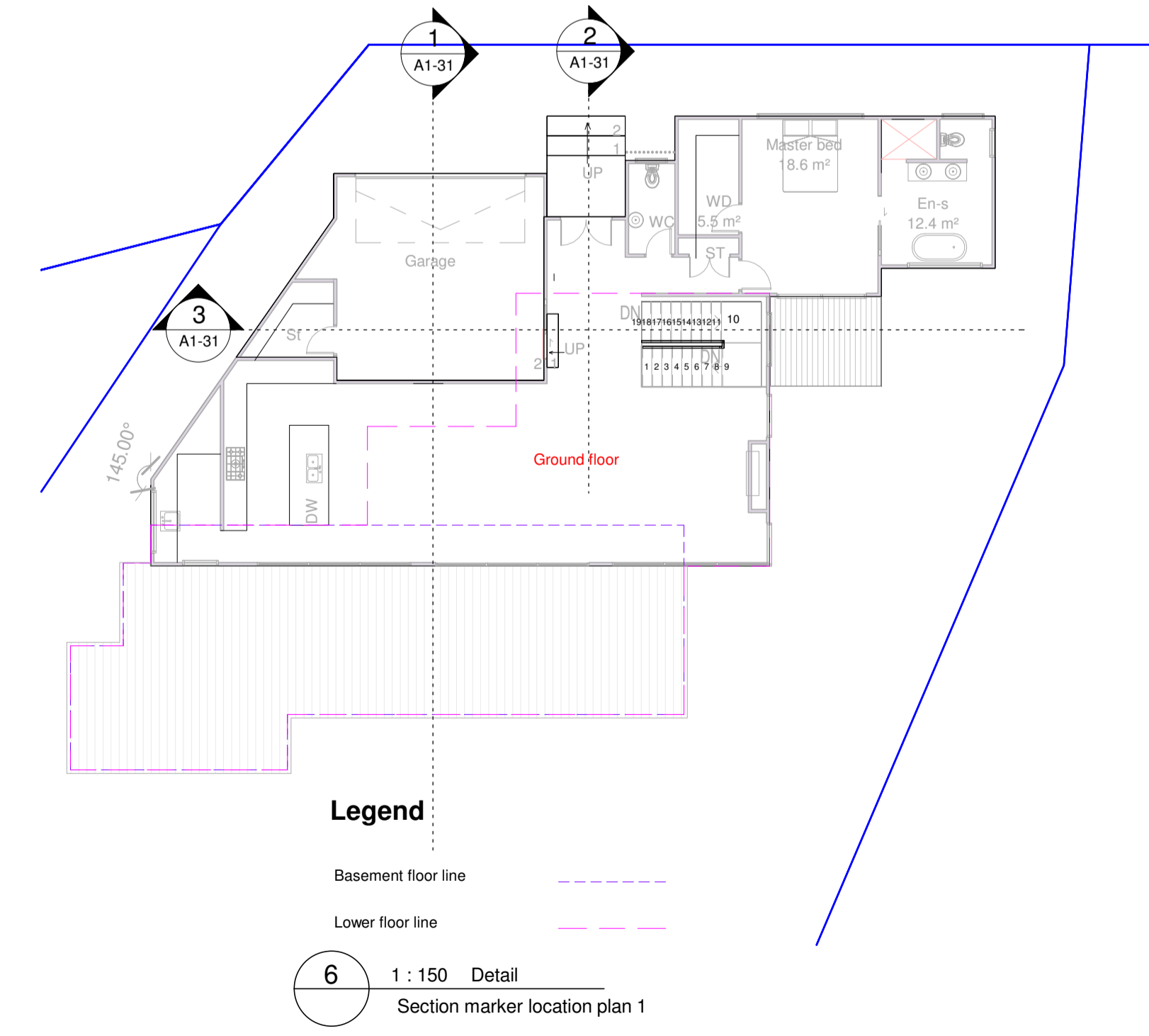
1 1:50 Section Section 1



2 1:50 Section Section 2



3 1:50 Section Section 3



6 1:150 Detail Section marker location plan 1

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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**SECTION**

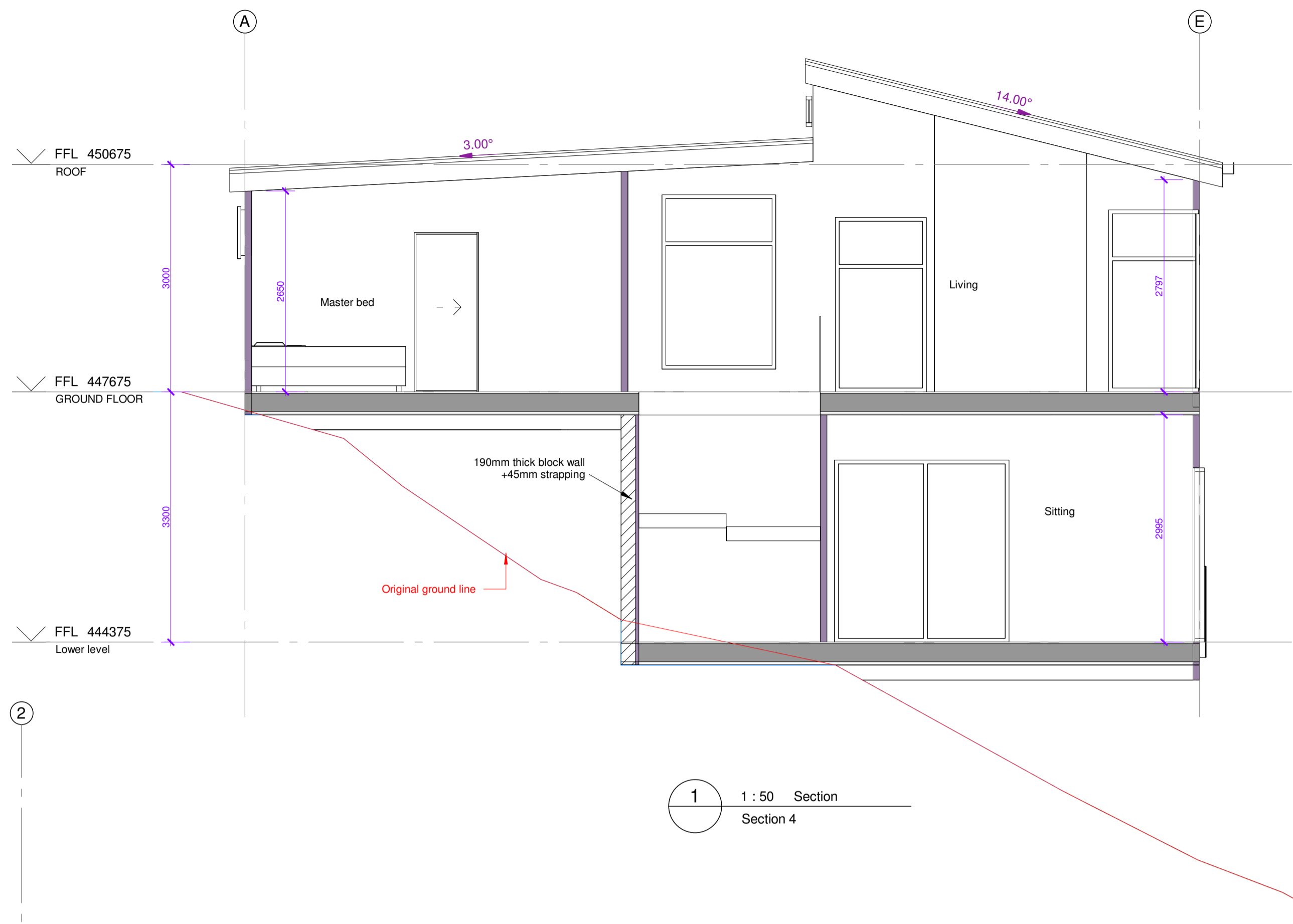
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DESIGN JH  
DRAWN JW

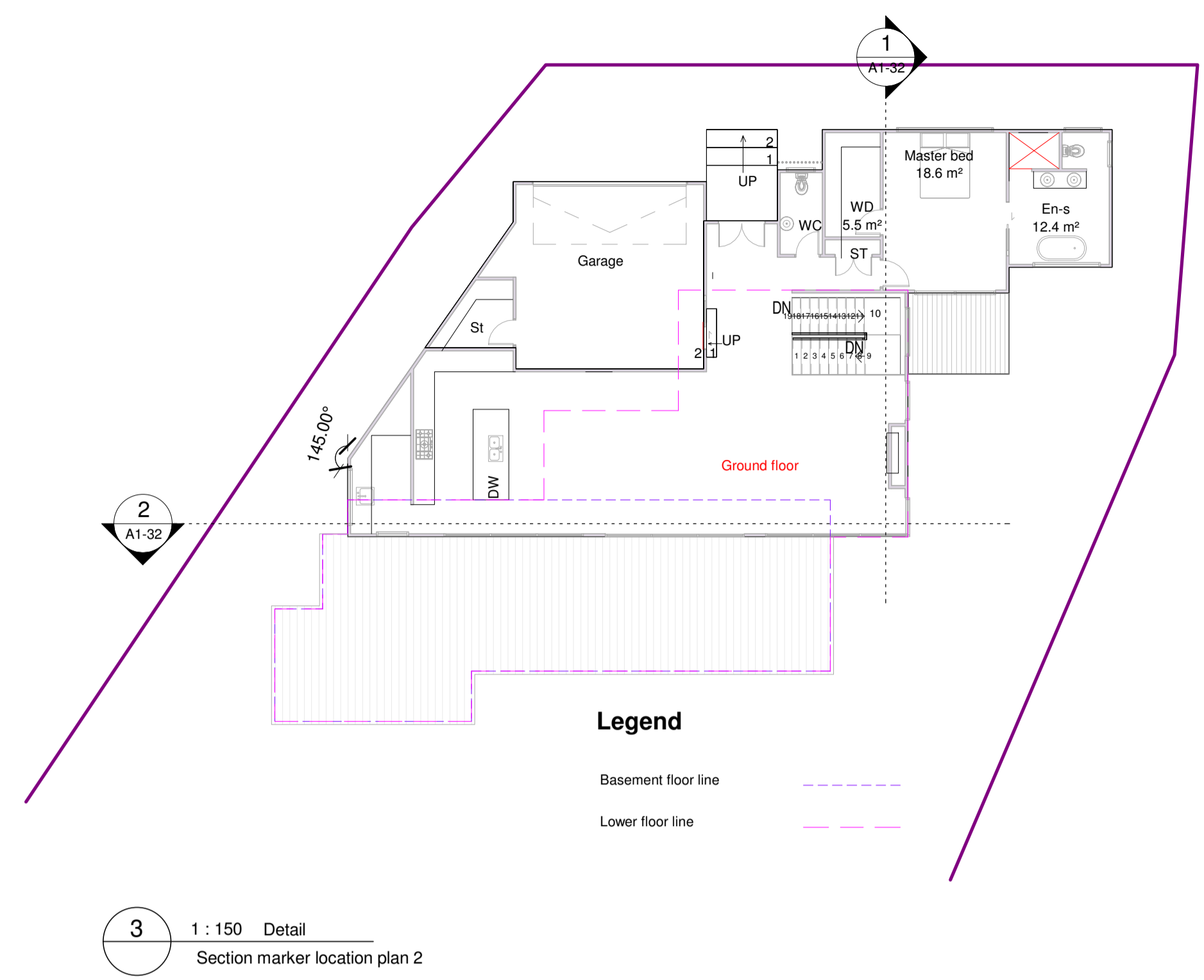
**ARCHITECTURAL**

Drawing Number Revision  
**A1-31** **A**

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SITE BEFORE COMMENCING ANY WORK



1 1 : 50 Section Section 4



3 1 : 150 Detail Section marker location plan 2



2 1 : 50 Section Section 5

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Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet SECTION

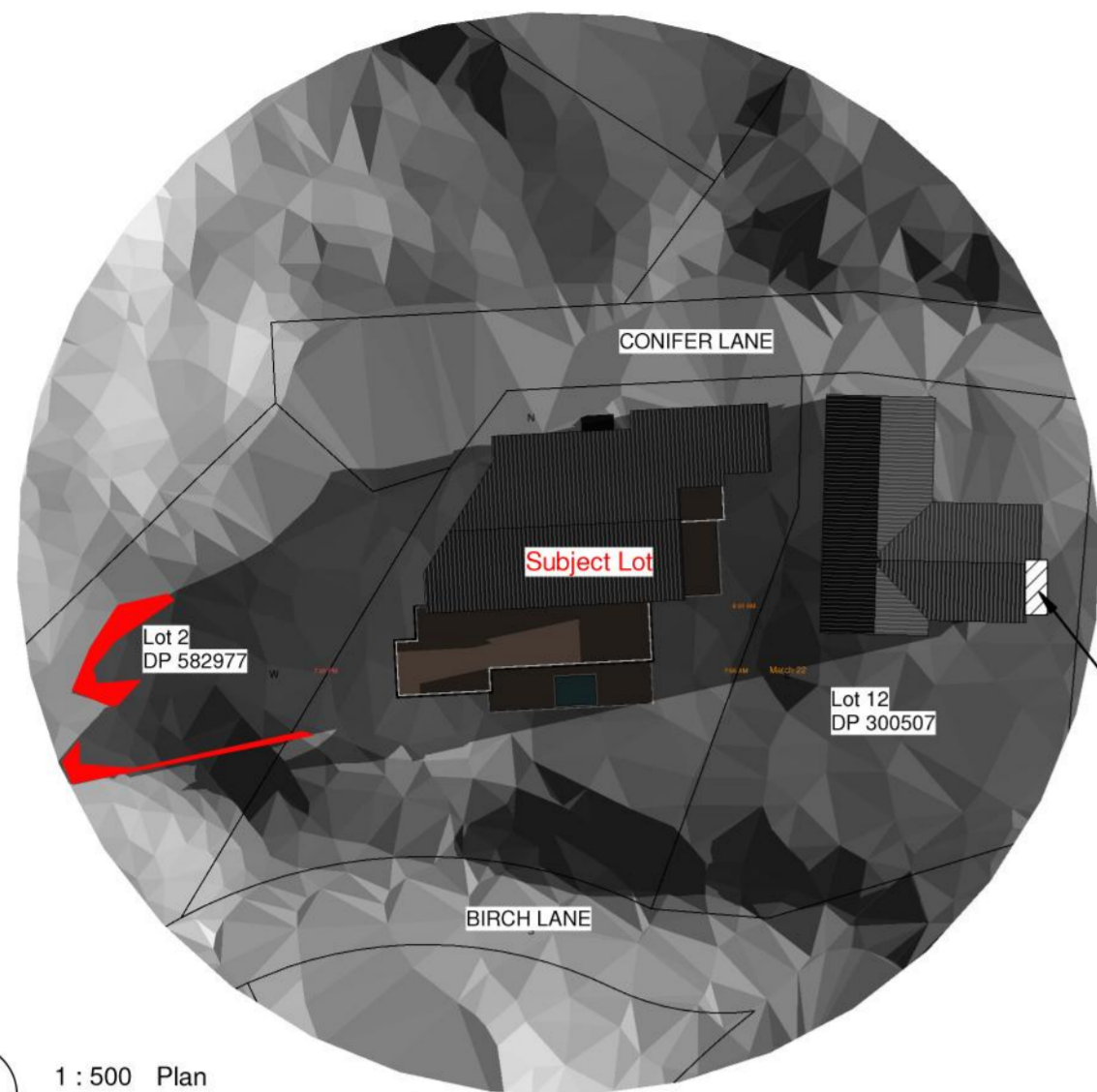
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DESIGN JH  
DRAWN JW

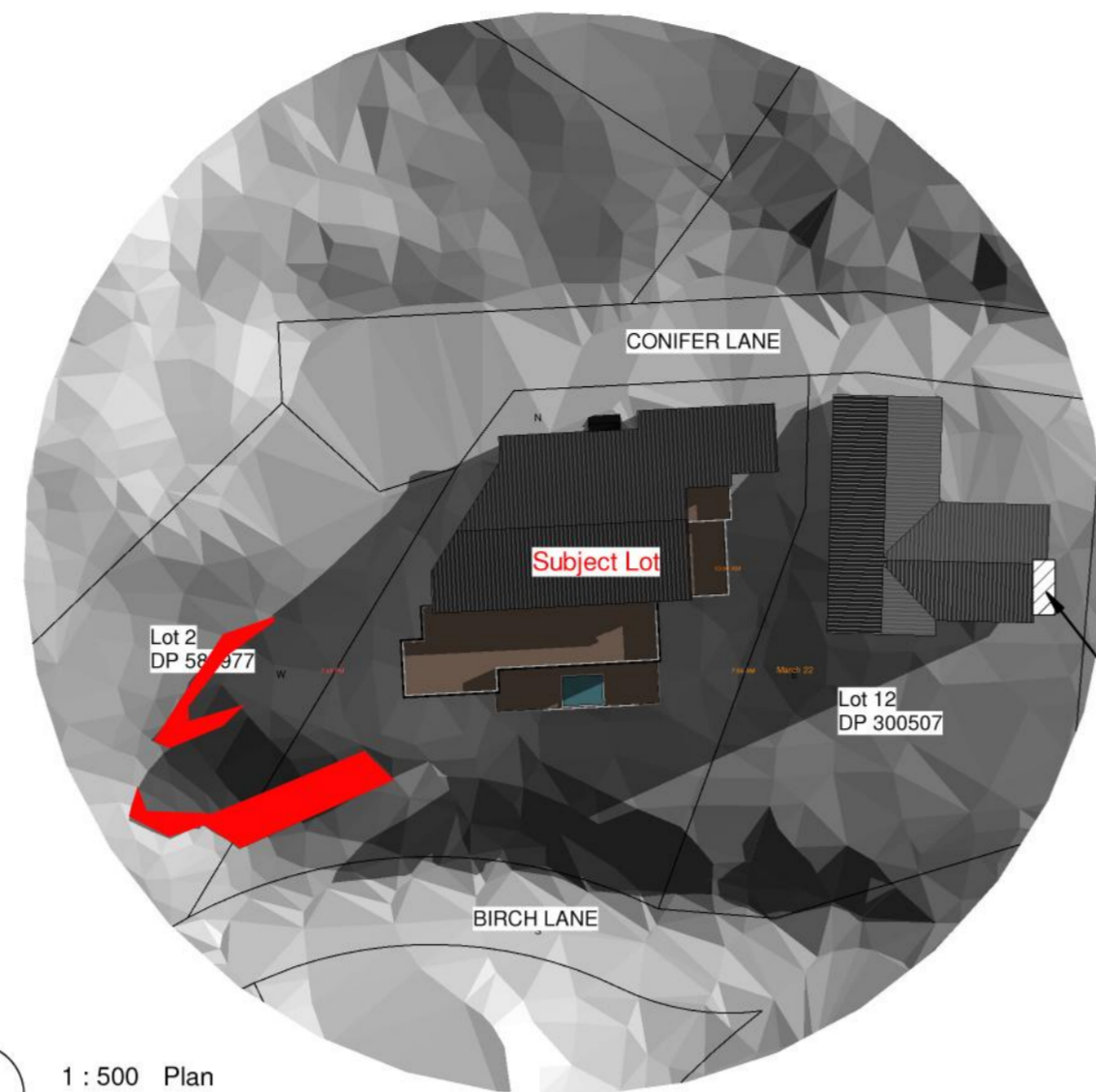
ARCHITECTURAL

Drawing Number Revision  
A1-32 A

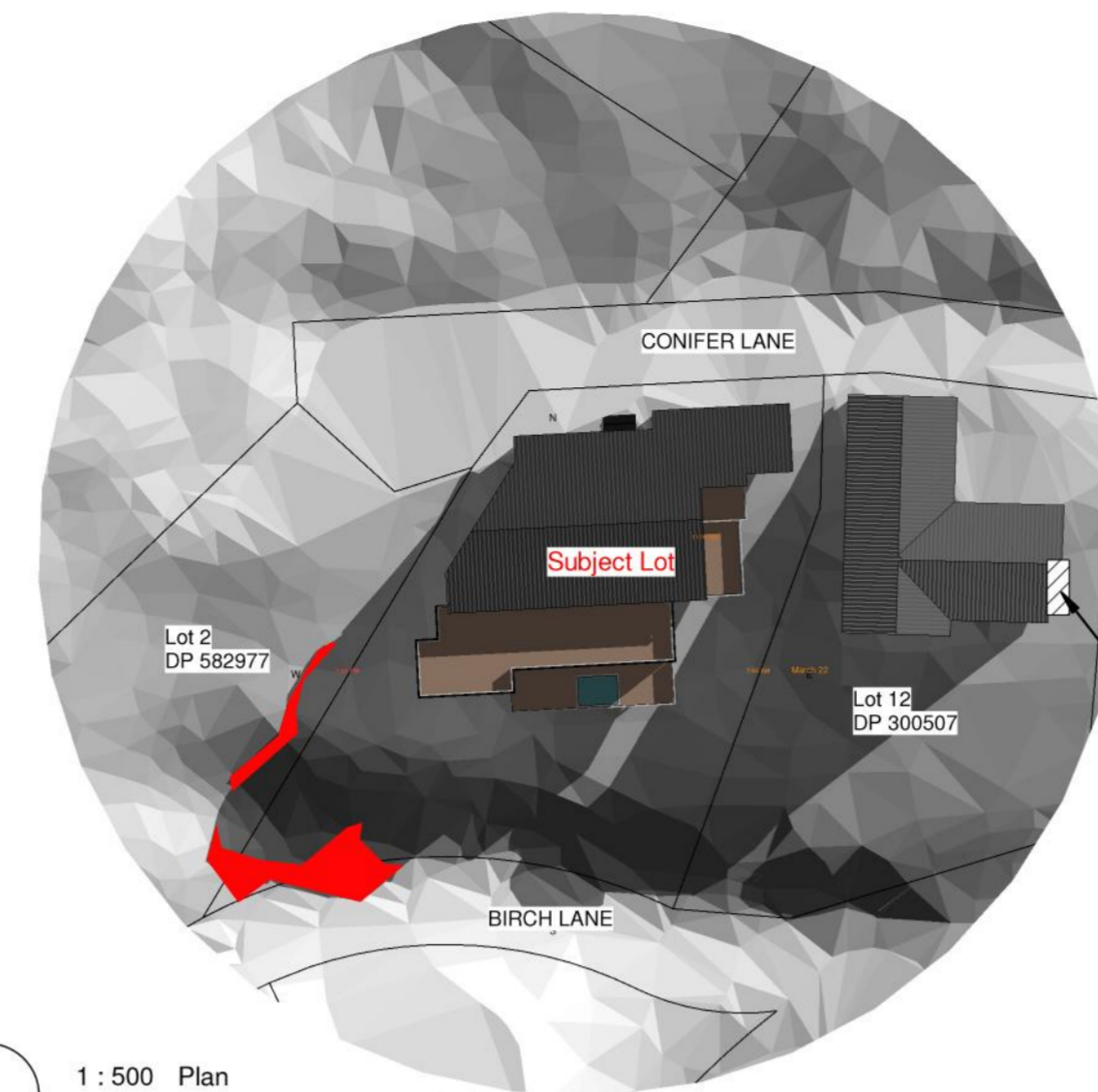
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CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
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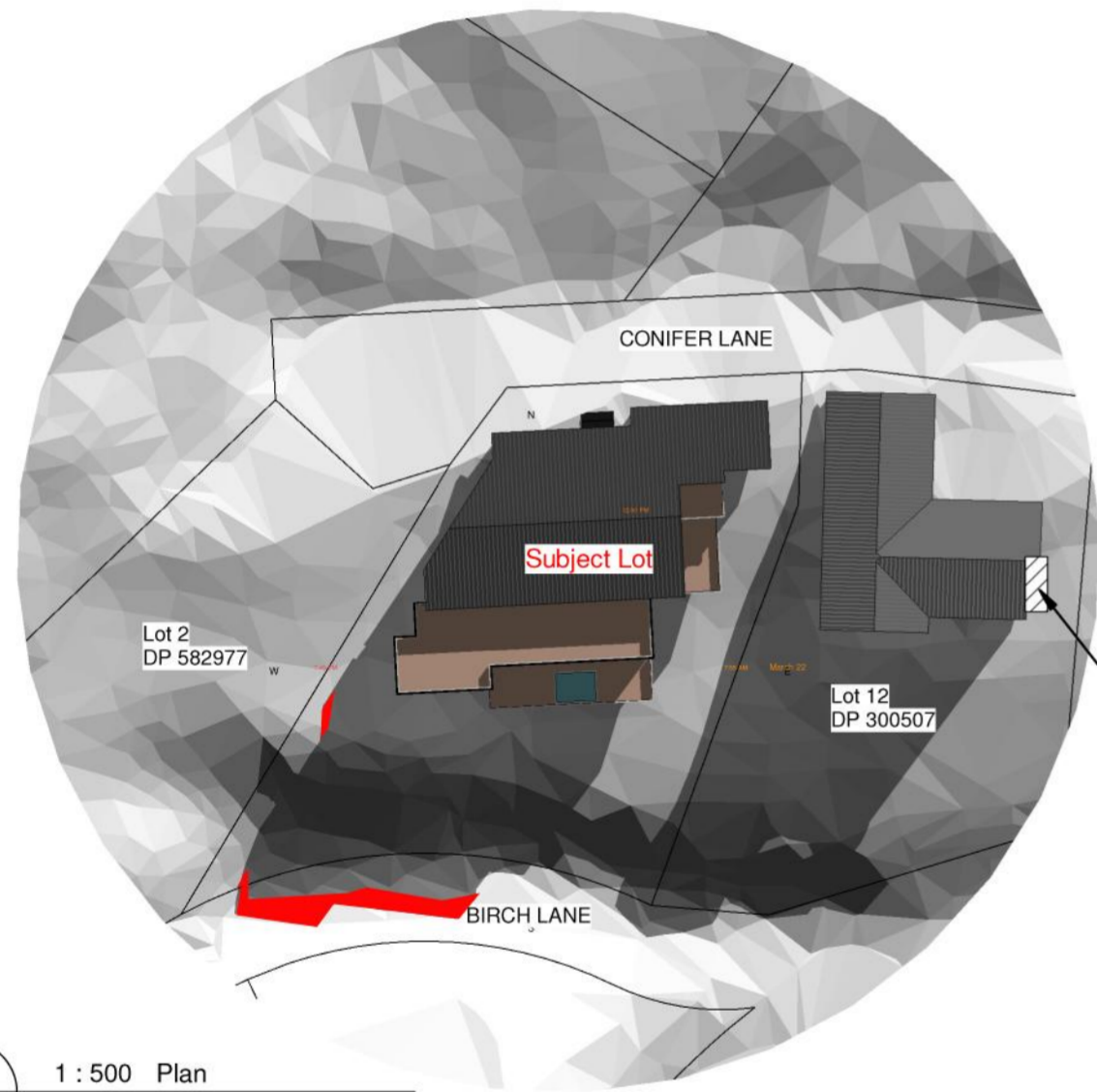
1 1 : 500 Plan  
SUN STUDY March 22 9 AM



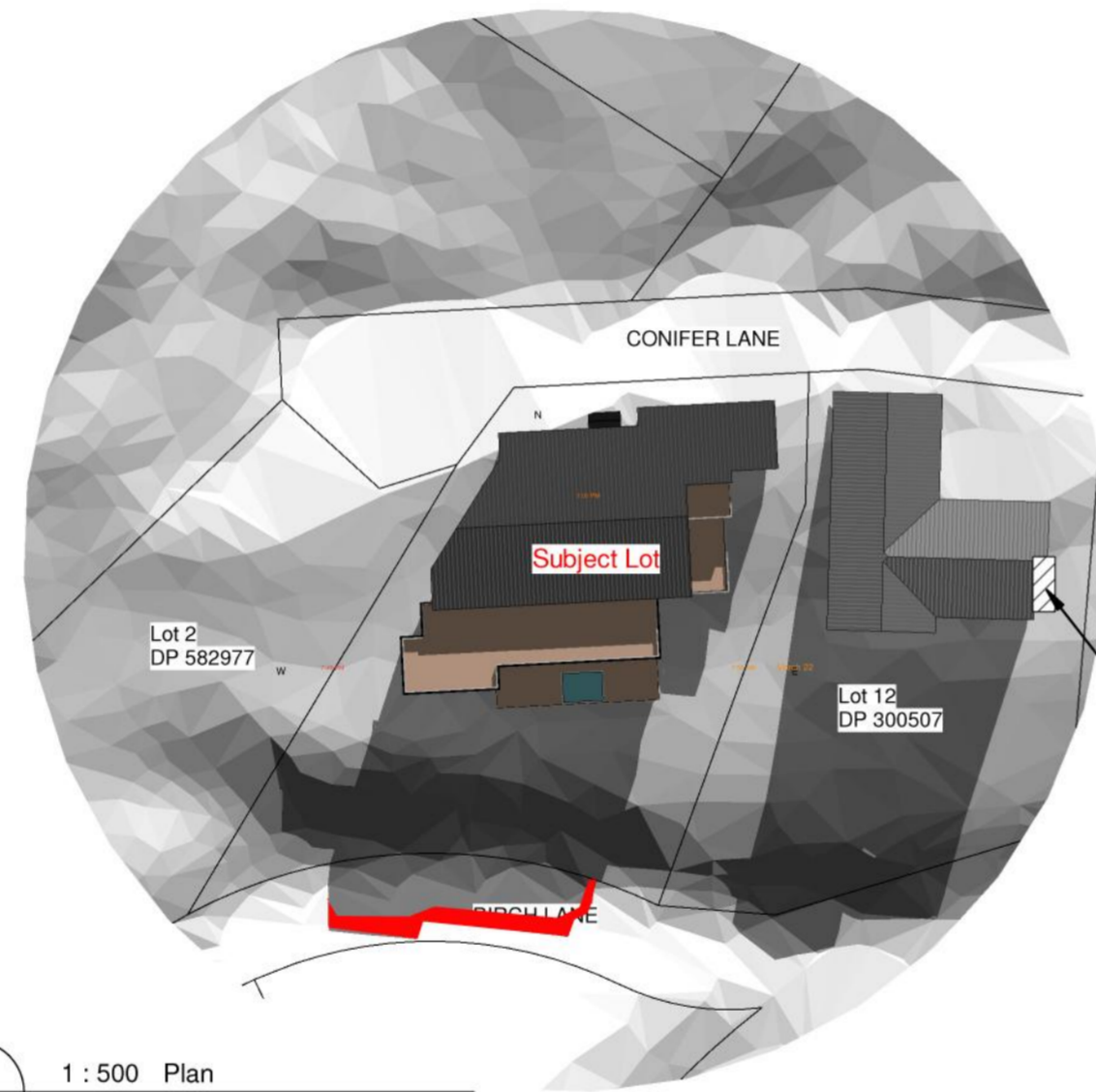
2 1 : 500 Plan  
SUN STUDY March 22 10 AM



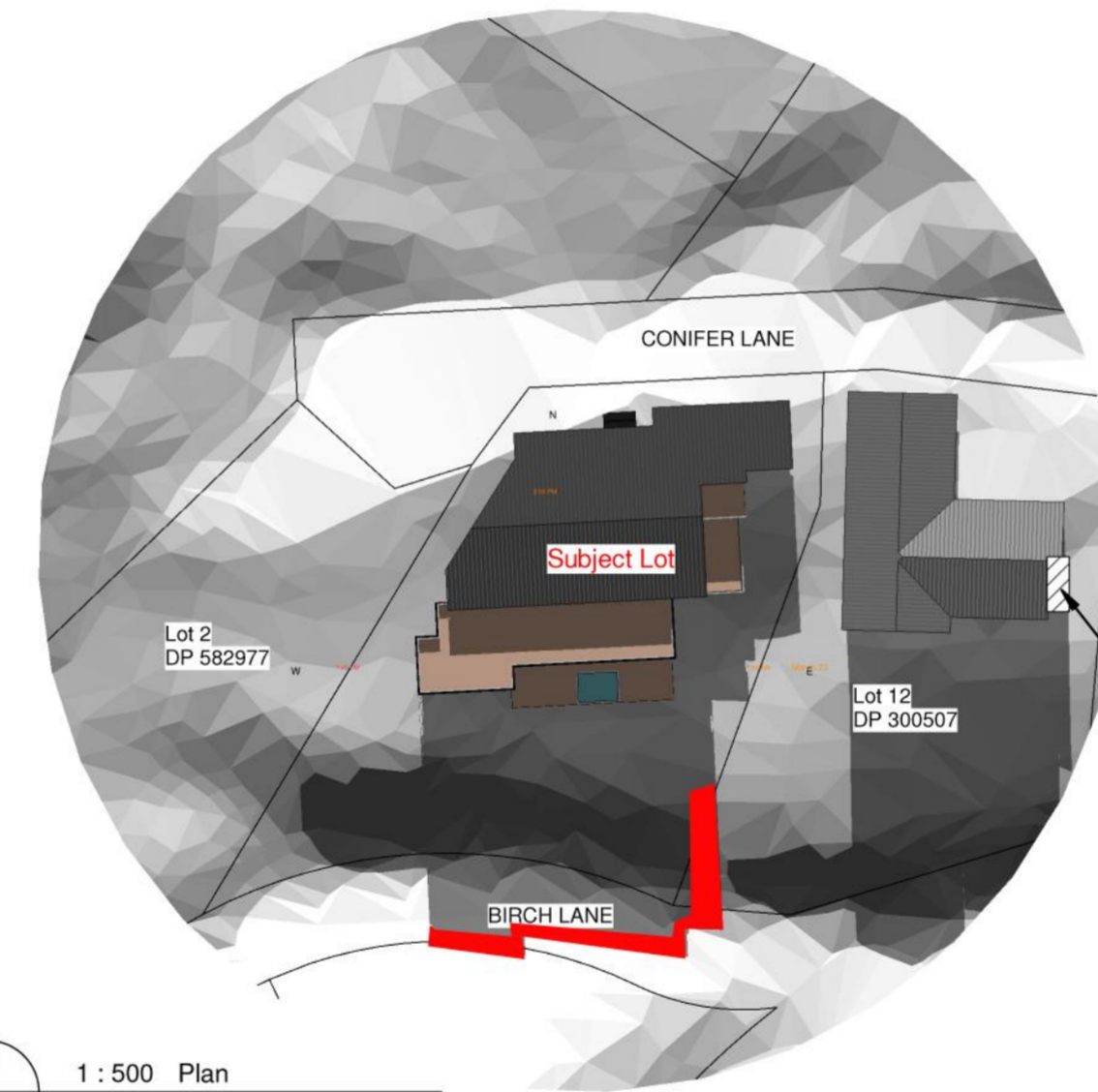
3 1 : 500 Plan  
SUN STUDY March 22 11 AM



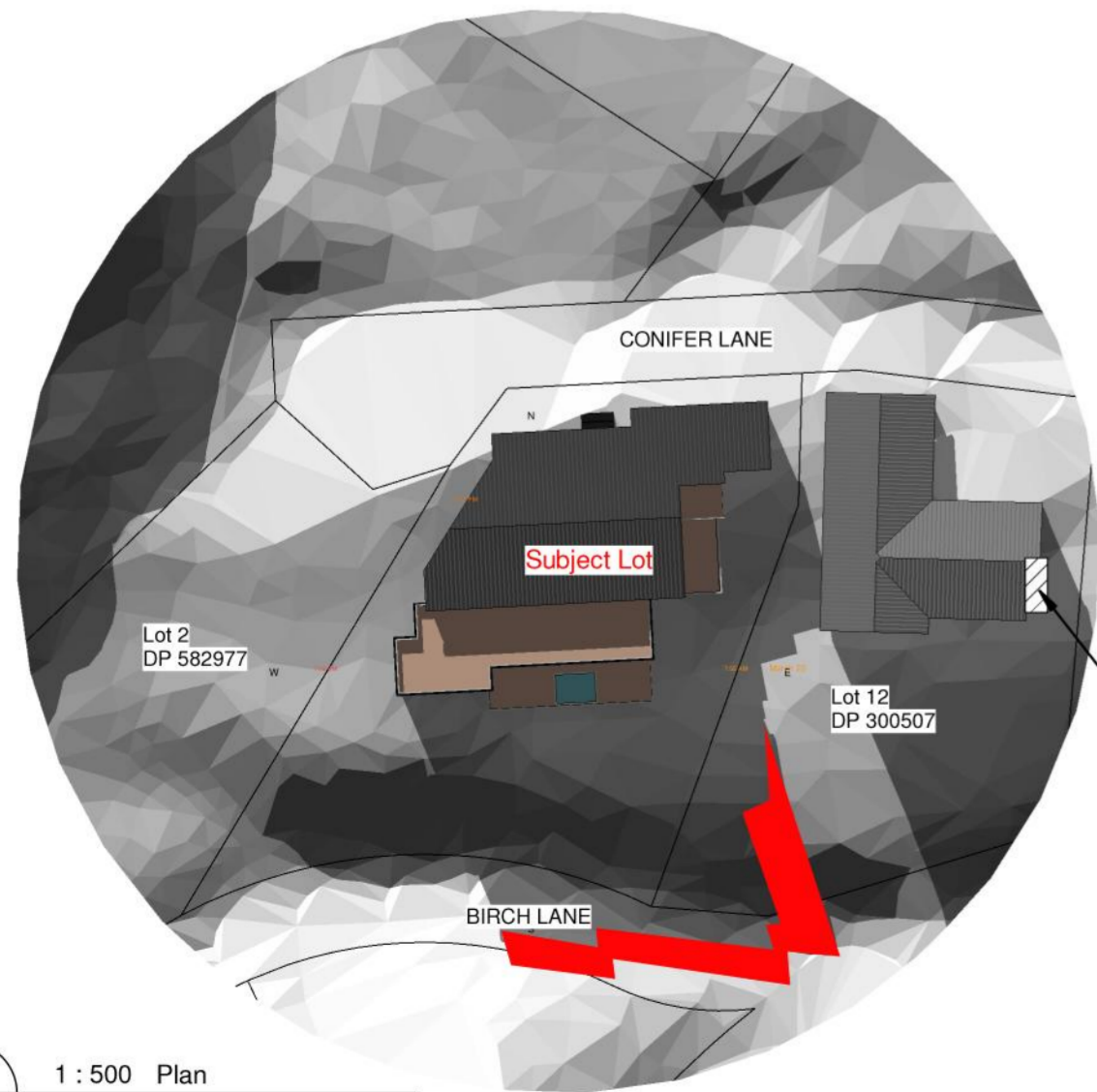
4 1 : 500 Plan  
SUN STUDY March 22 12 AM



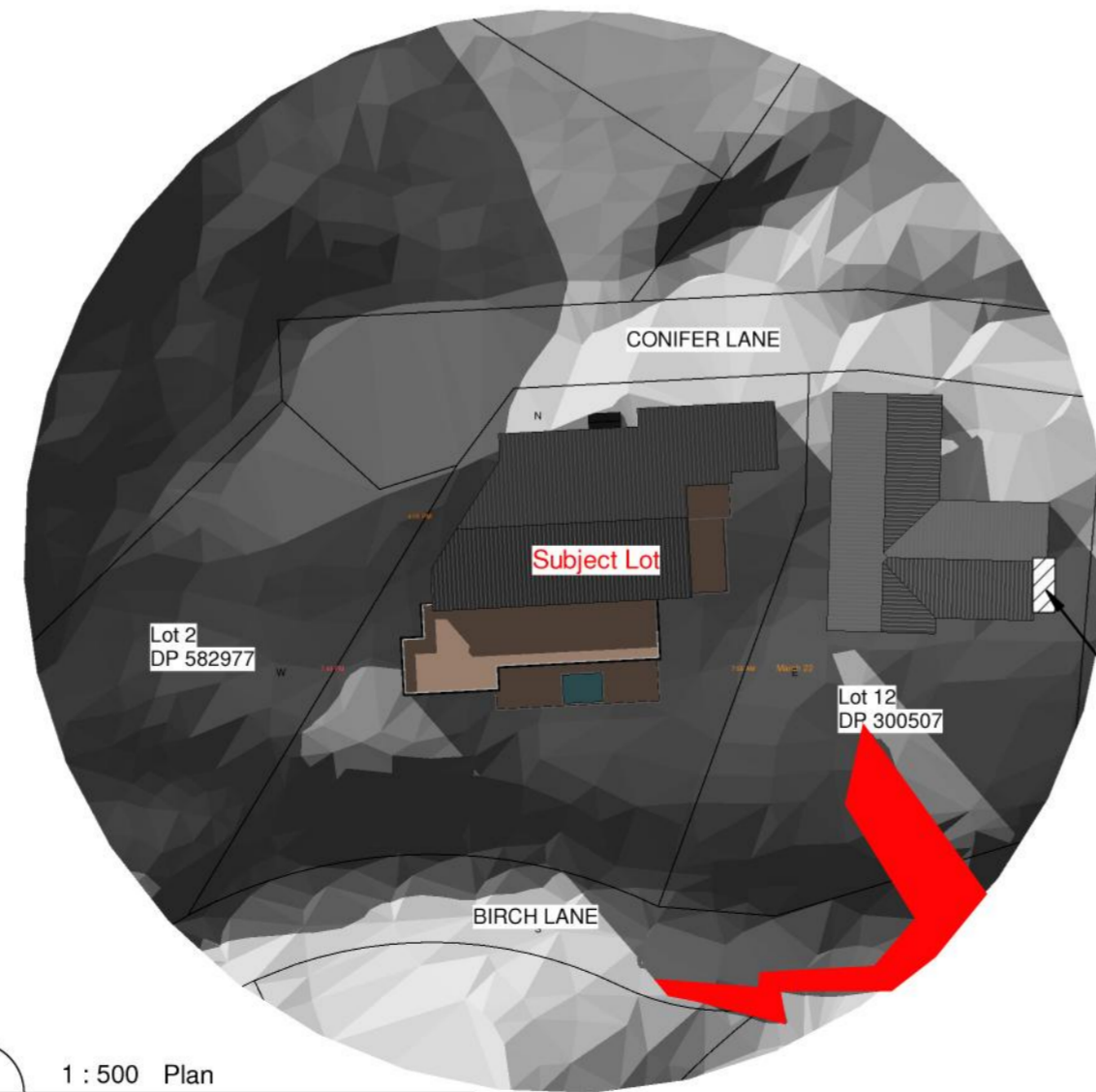
5 1 : 500 Plan  
SUN STUDY March 22 13 PM



6 1 : 500 Plan  
SUN STUDY March 22 14 PM



7 1 : 500 Plan  
SUN STUDY March 22 15 PM



8 1 : 500 Plan  
SUN STUDY March 22 16 PM



Daylight saving

NOTES:

Daylight saving on March  
Date of sunstudy in 22 March

Shade of  
Infridgement area:



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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY PLAN-March

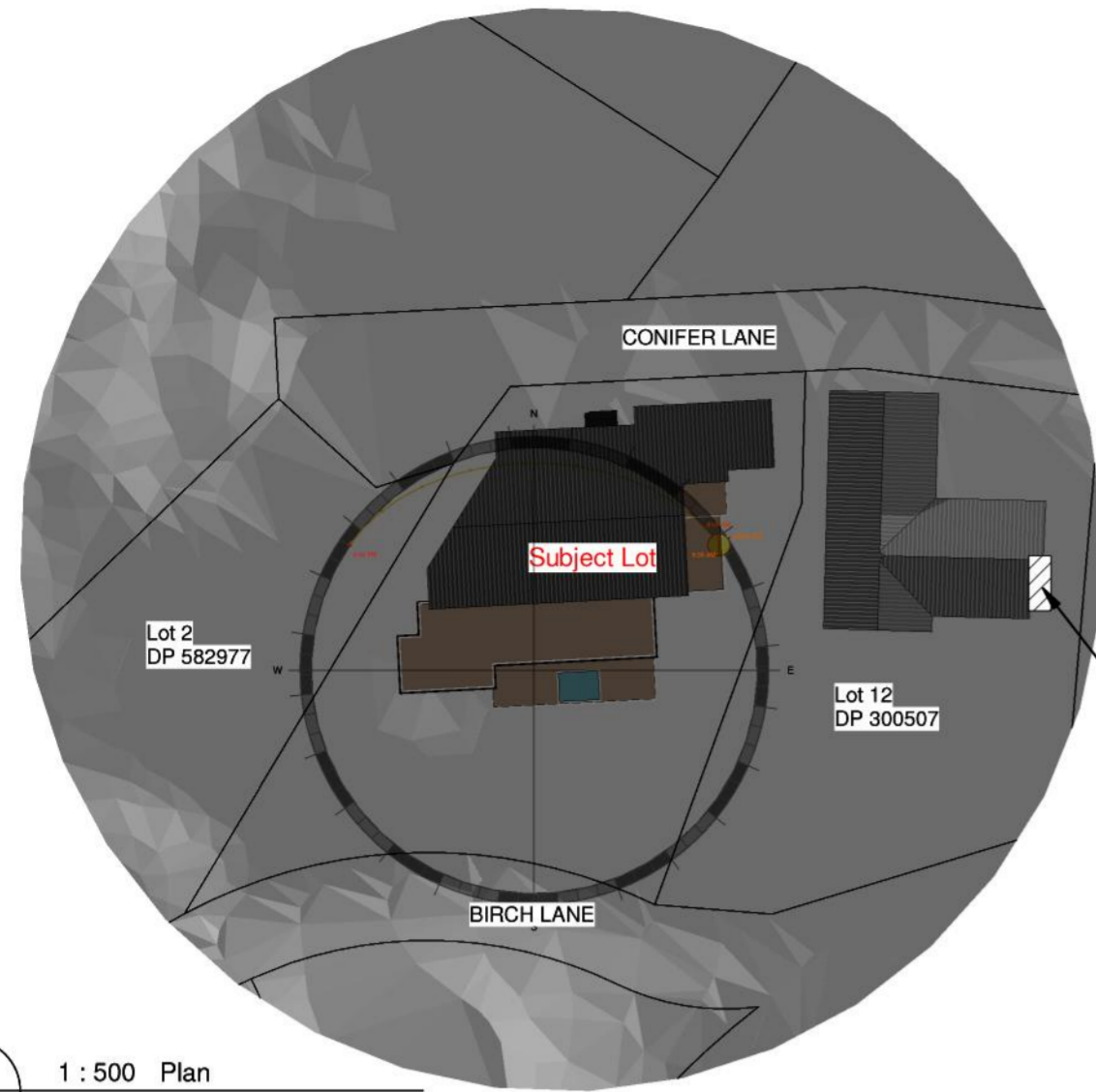
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DESIGN JH  
DRAWN JW

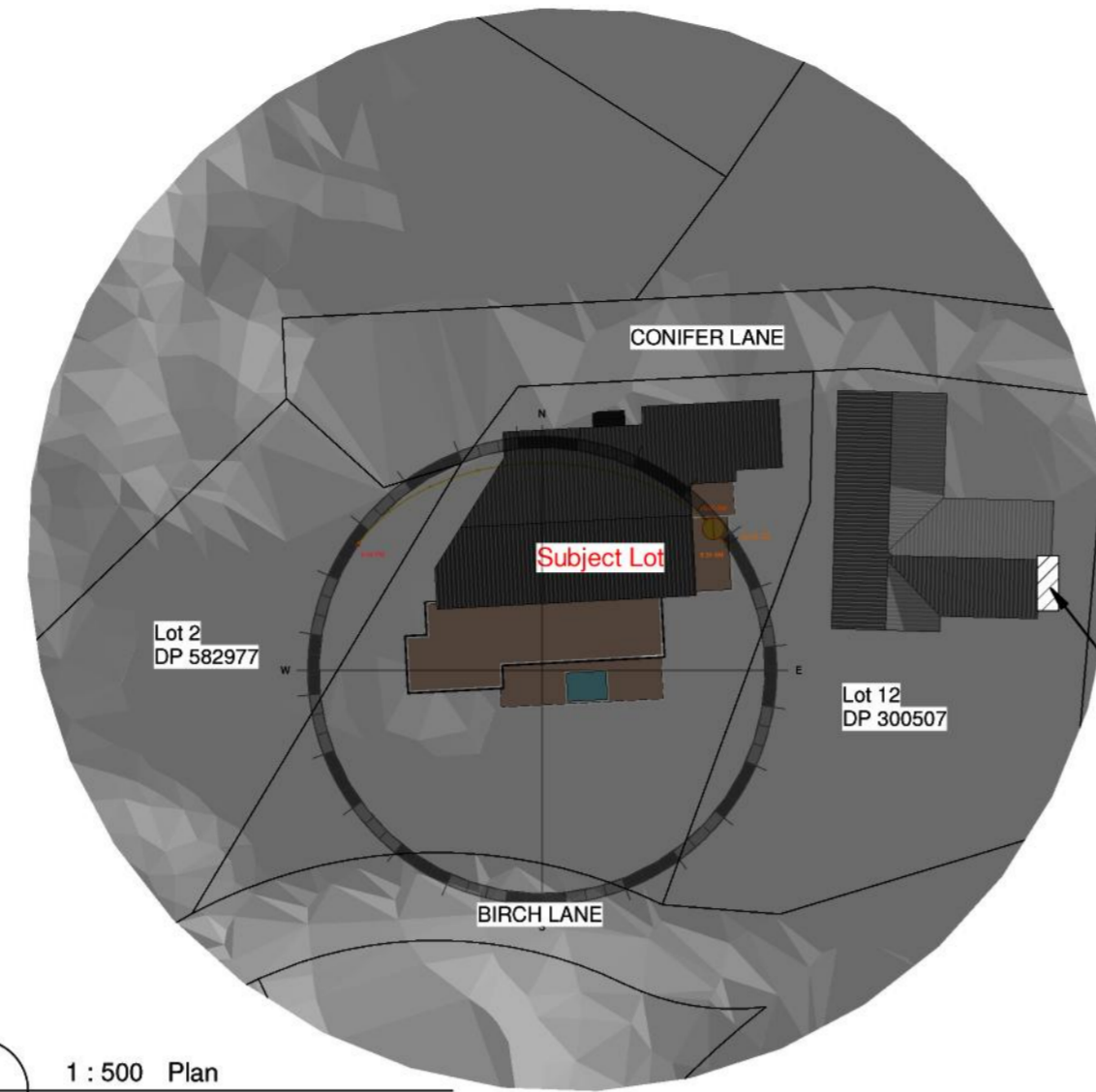
**ARCHITECTURAL**

Drawing Number Revision  
**A1-04A** **A**

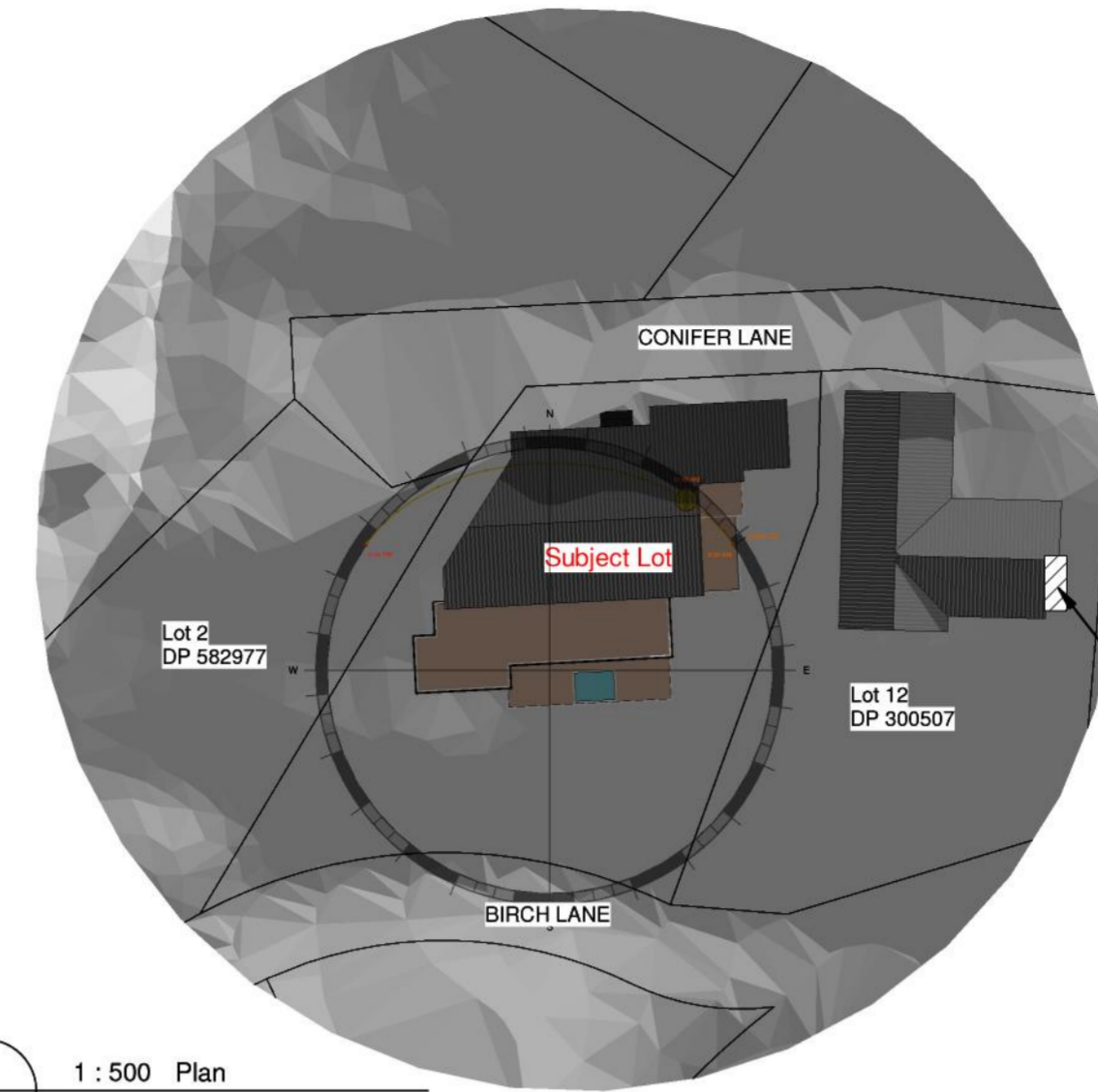
DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
SITE BEFORE COMMENCING ANY WORK



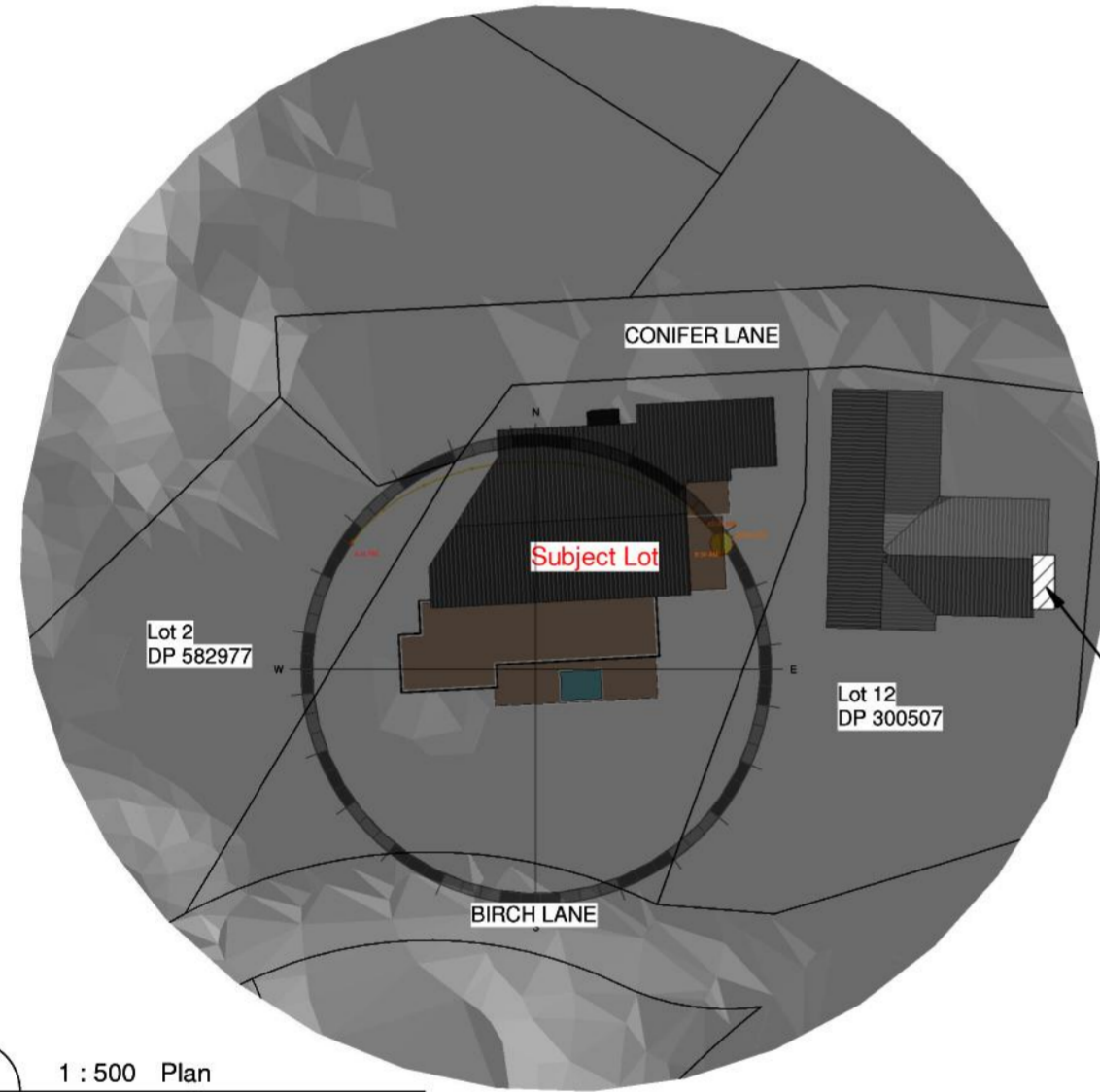
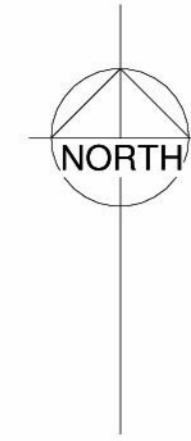
1 1:500 Plan  
SUN STUDY June 22 9 AM



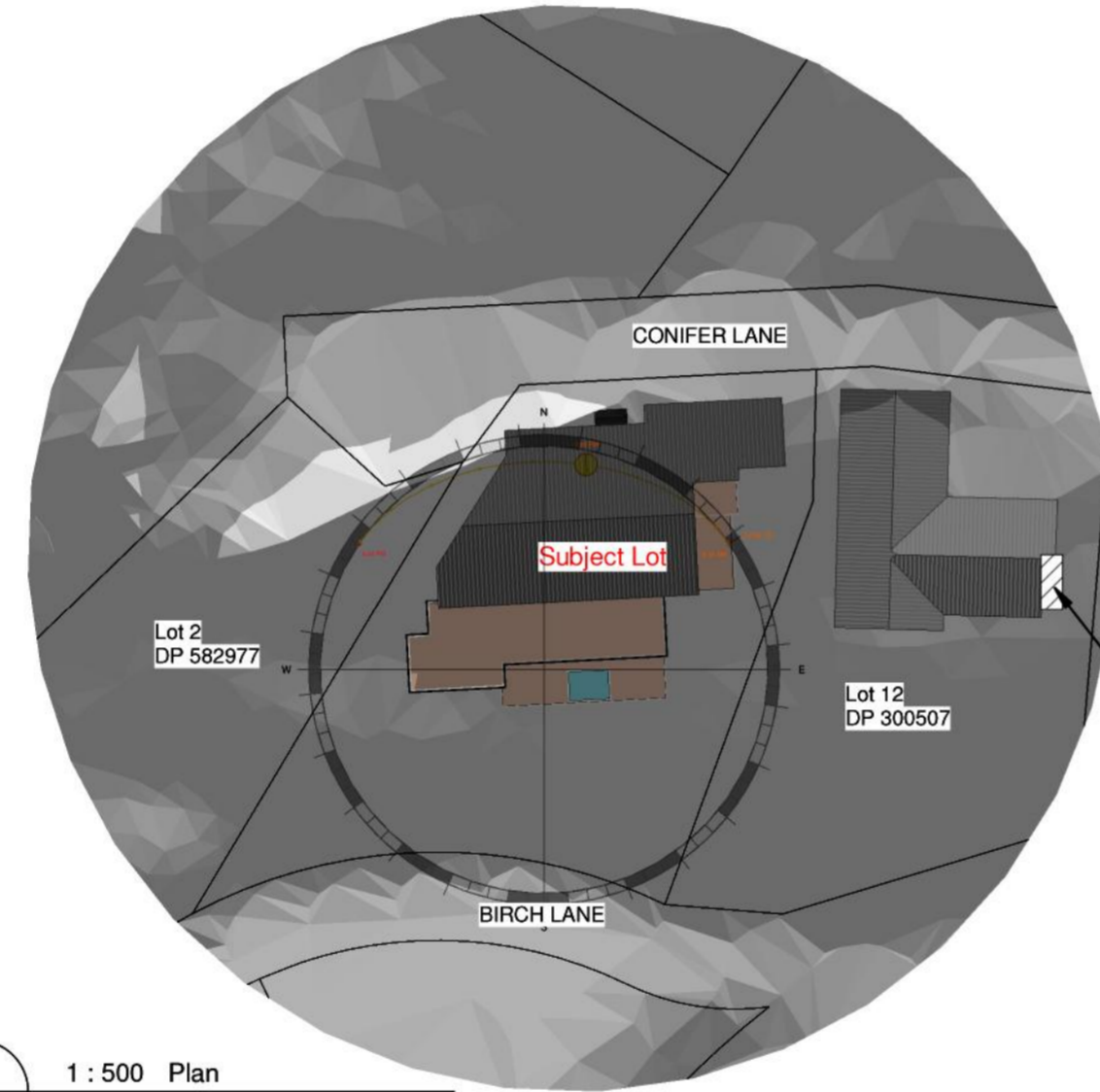
2 1:500 Plan  
SUN STUDY June 22 10 AM



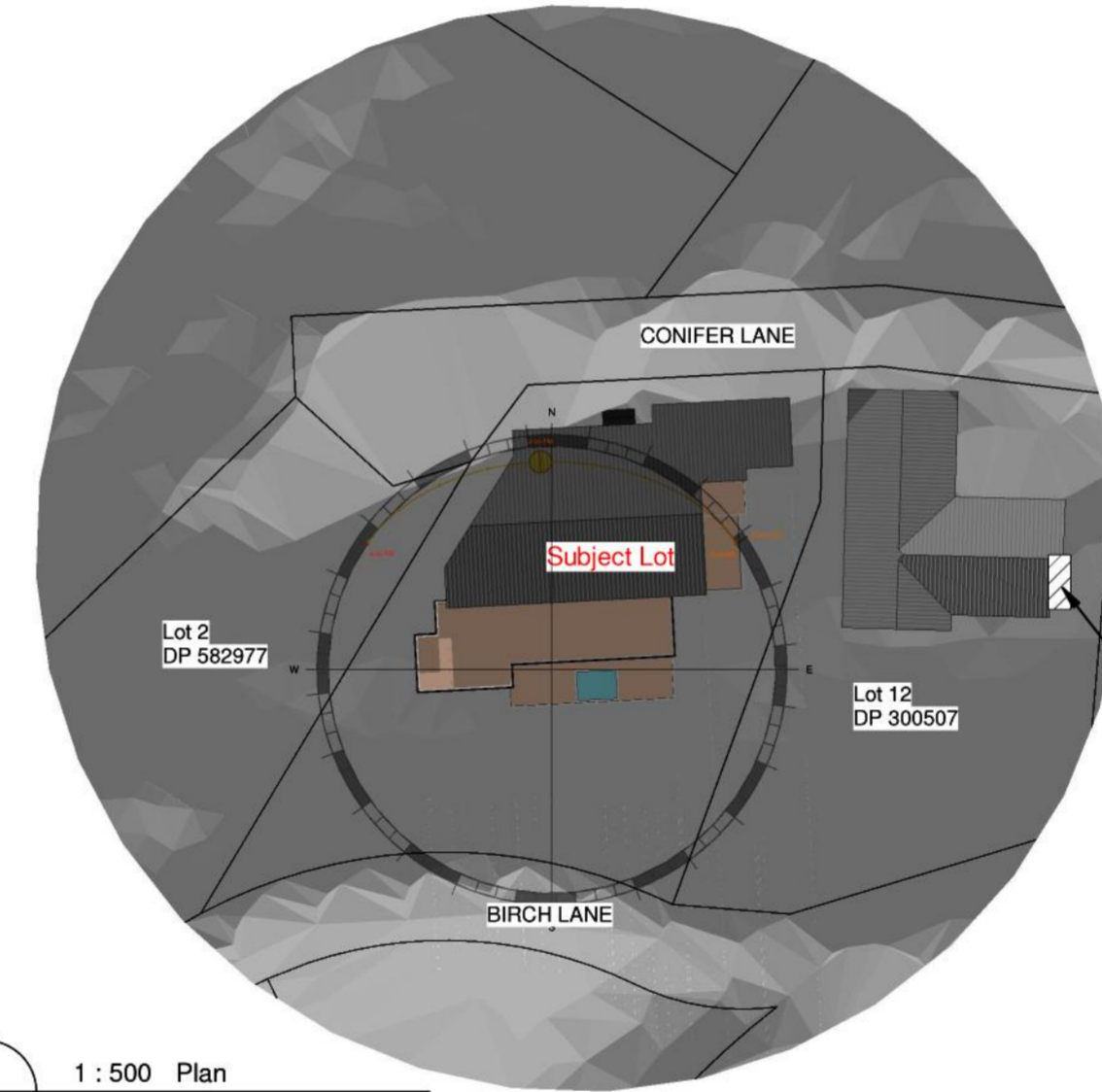
3 1:500 Plan  
SUN STUDY June 22 11 AM



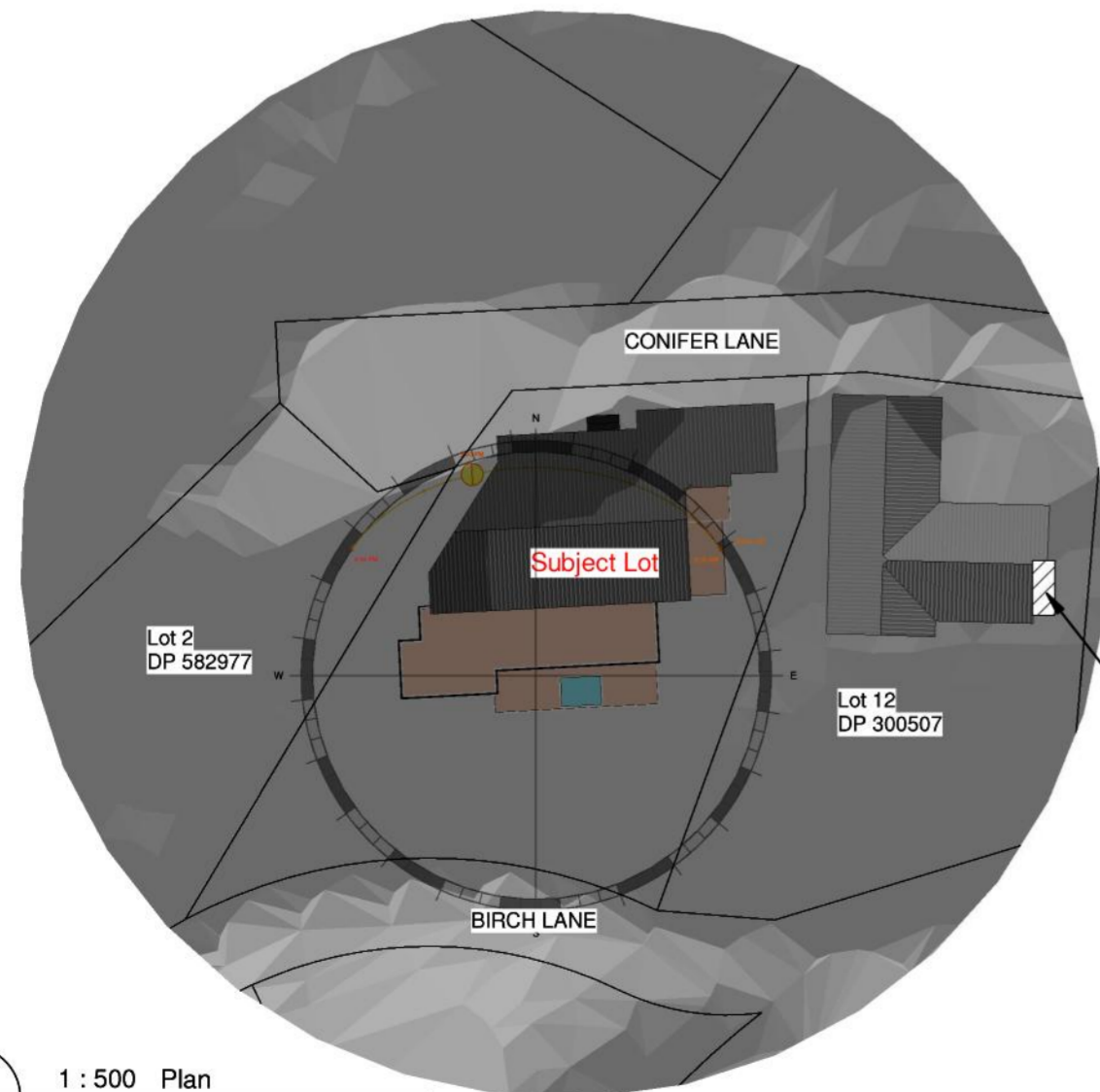
4 1:500 Plan  
A1-21 SUN STUDY June 22 12 AM



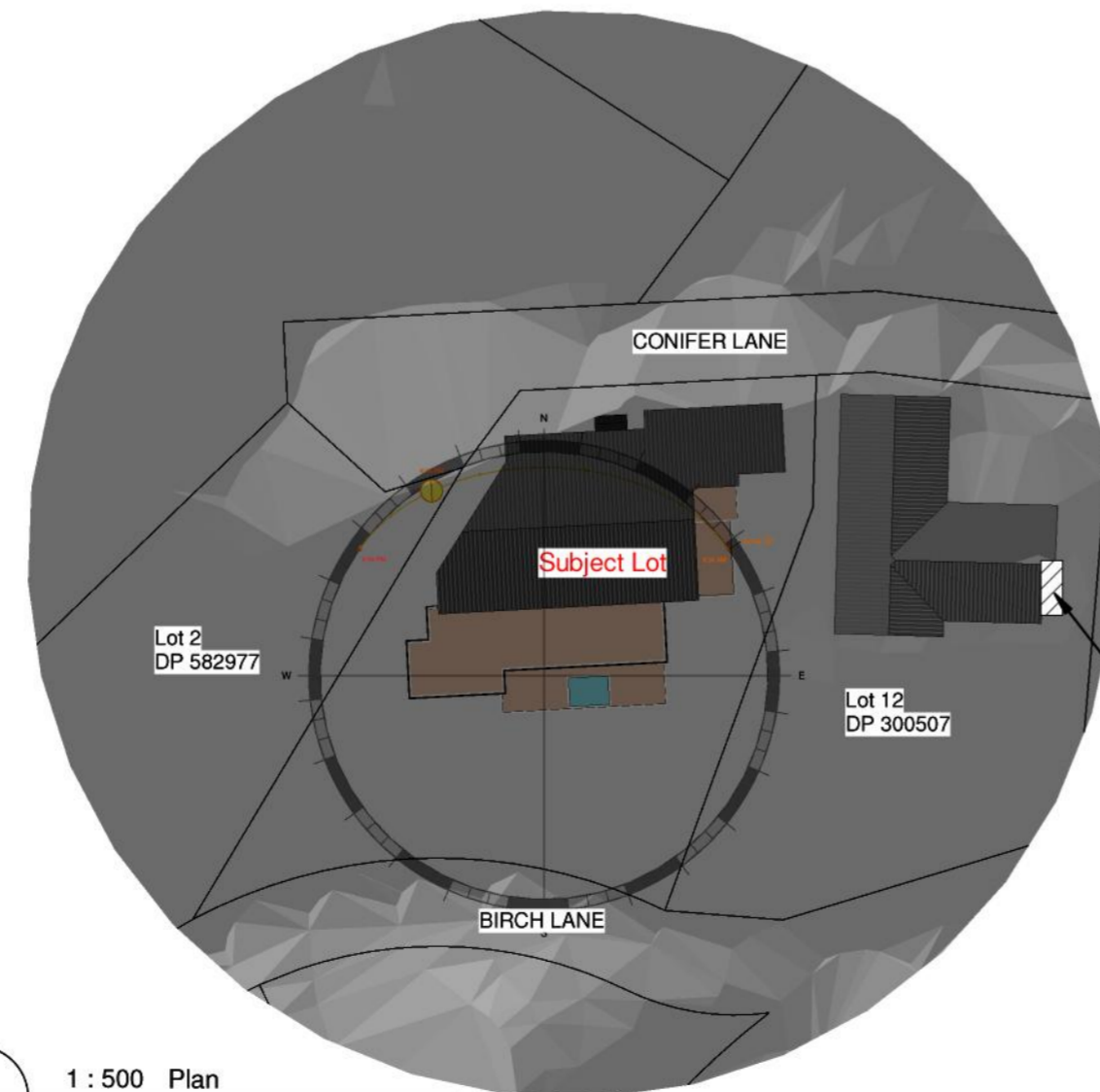
5 1:500 Plan  
A1-21 SUN STUDY June 22 13 PM



6 1:500 Plan  
SUN STUDY June 22 14 PM



7 1:500 Plan  
SUN STUDY June 22 15 PM



8 1:500 Plan  
SUN STUDY June 22 16 PM

NOTES:

Date of sunstudy in 22 June

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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY PLAN-June

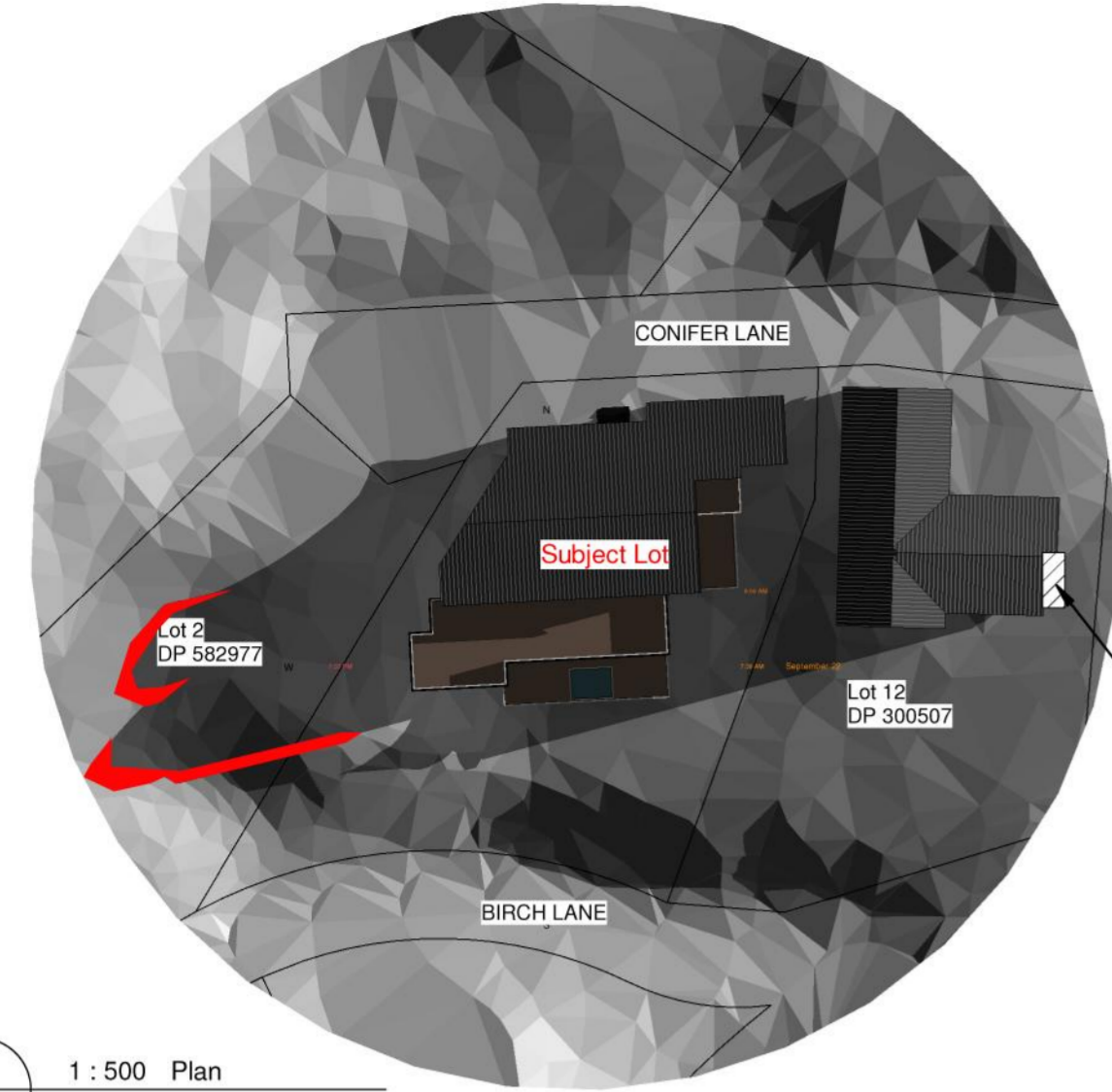
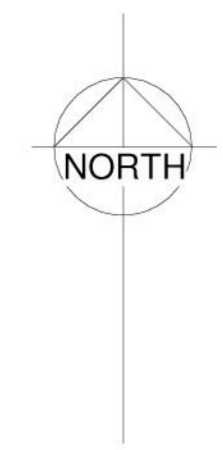
SCALE @ A1= 1 : 500

DESIGN JH  
DRAWN JW

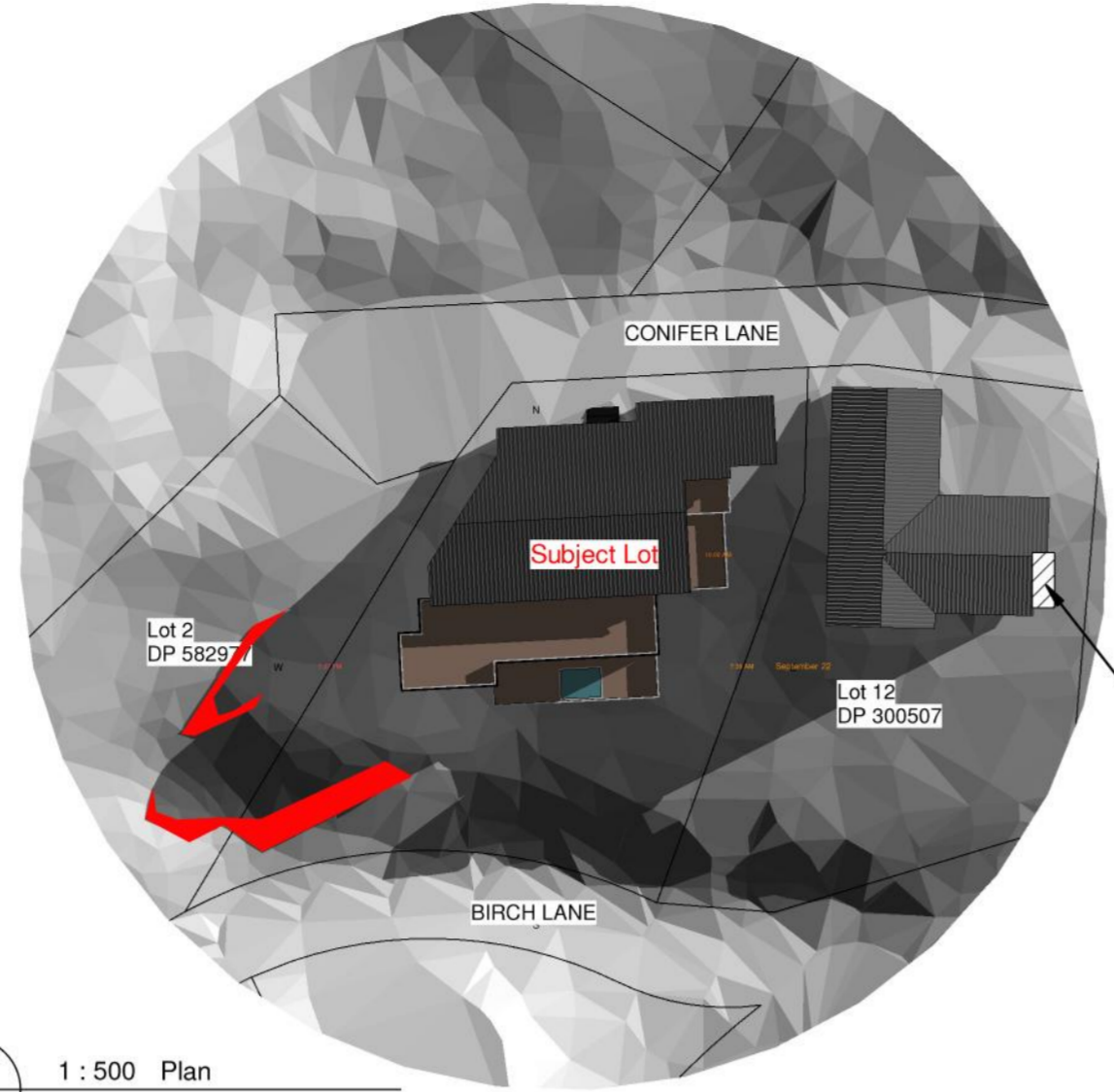
**ARCHITECTURAL**

Drawing Number Revision  
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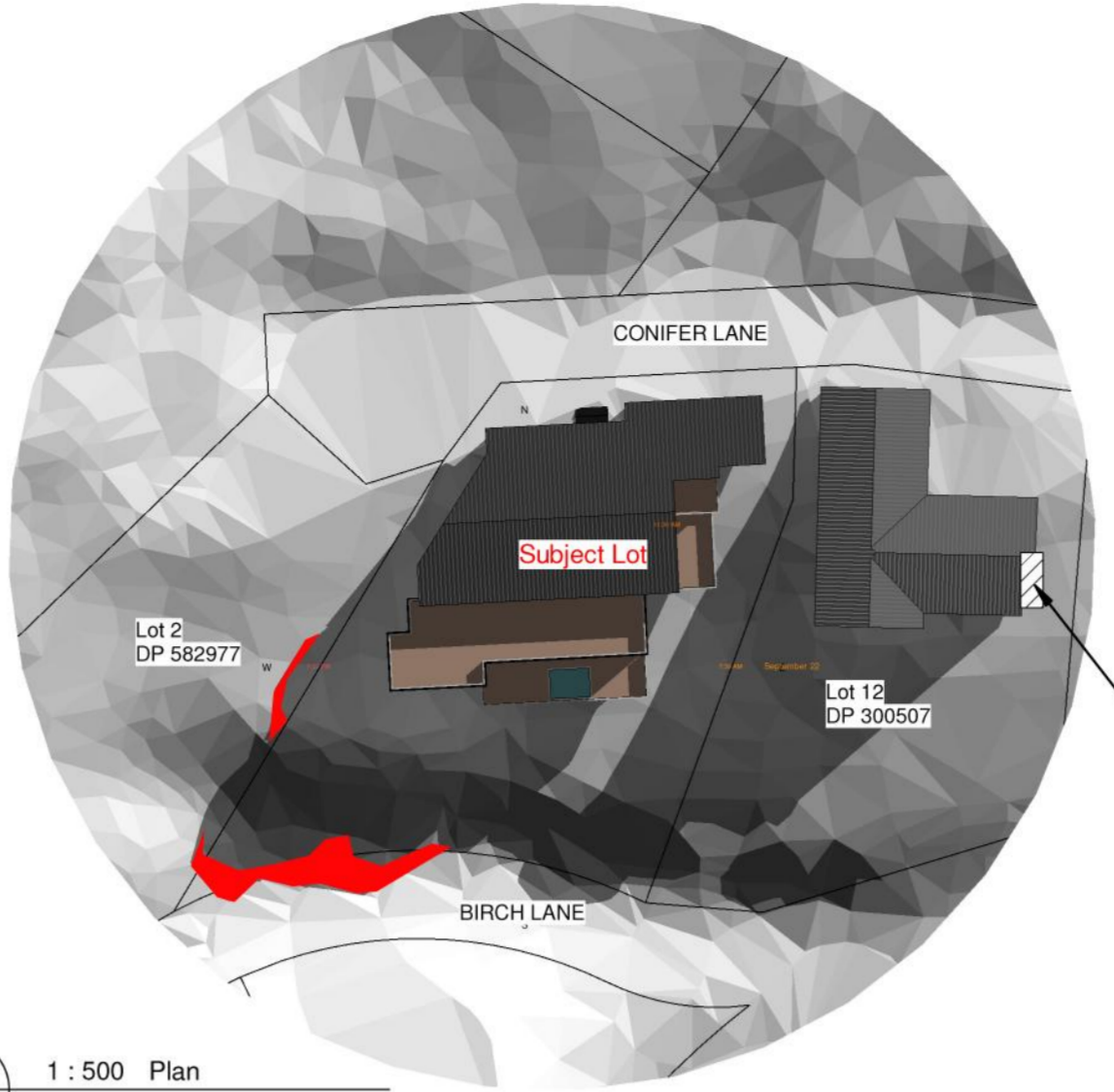
DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
SITE BEFORE COMMENCING ANY WORK



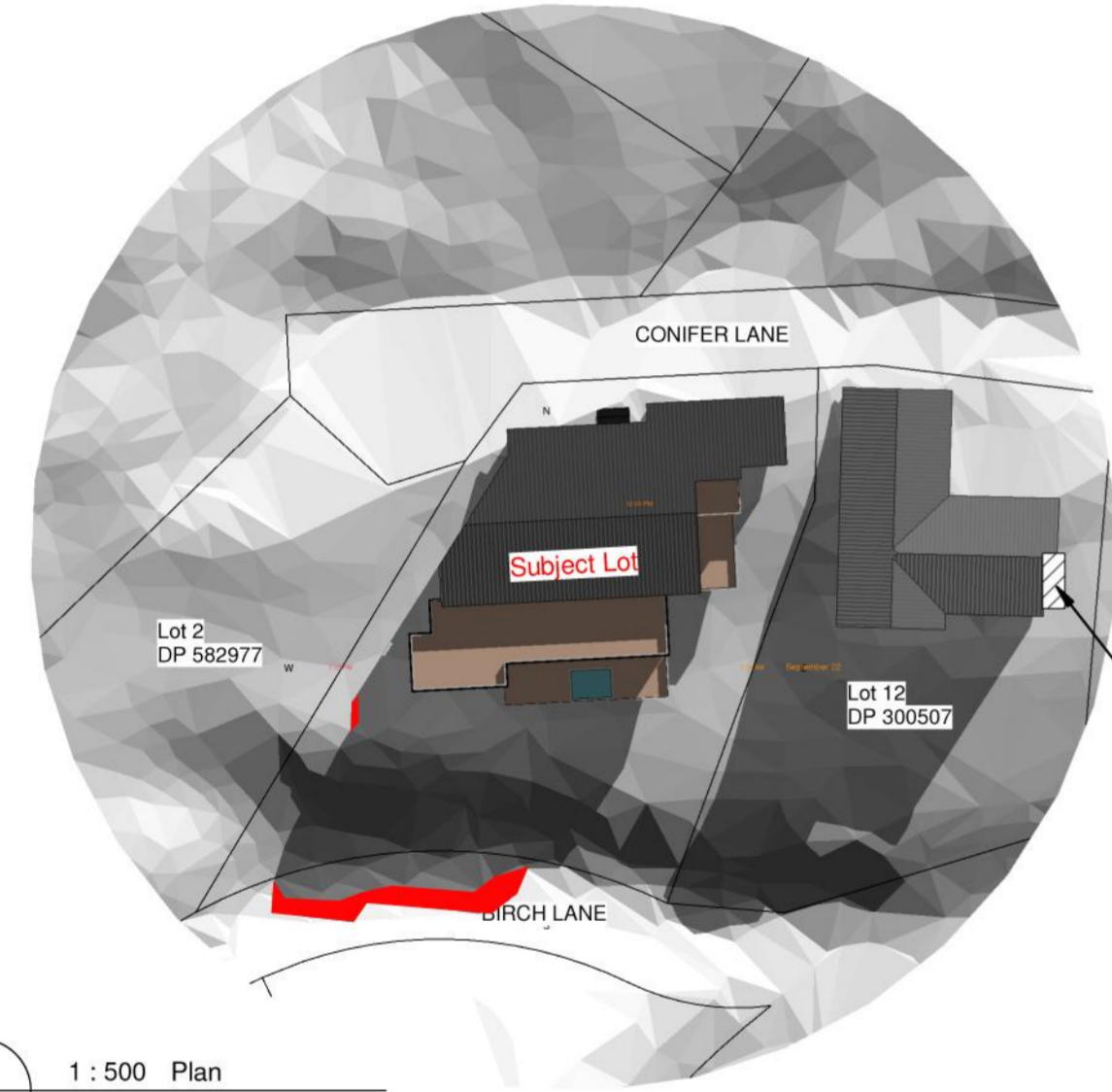
1 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 9 AM



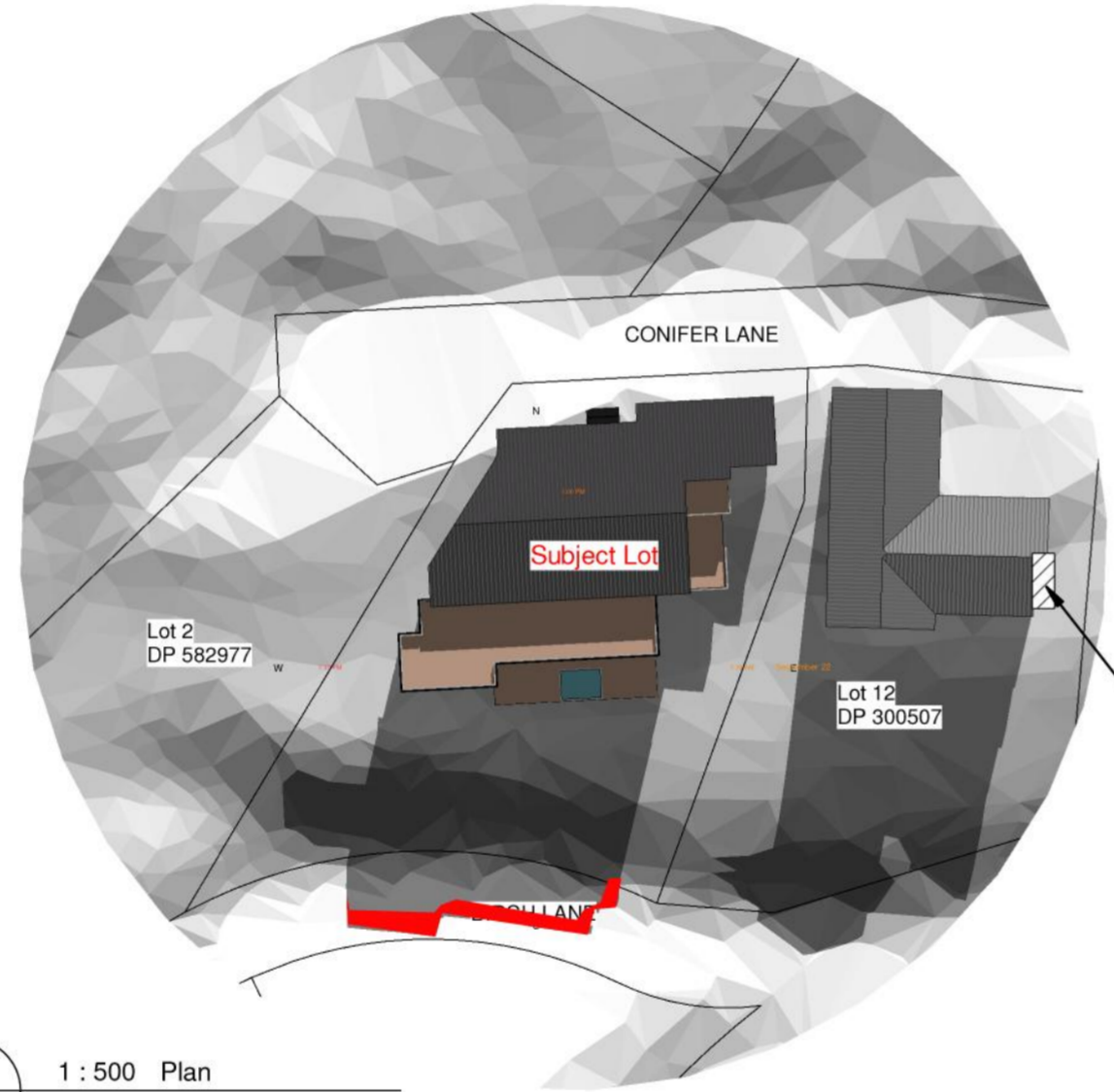
2 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 10 AM



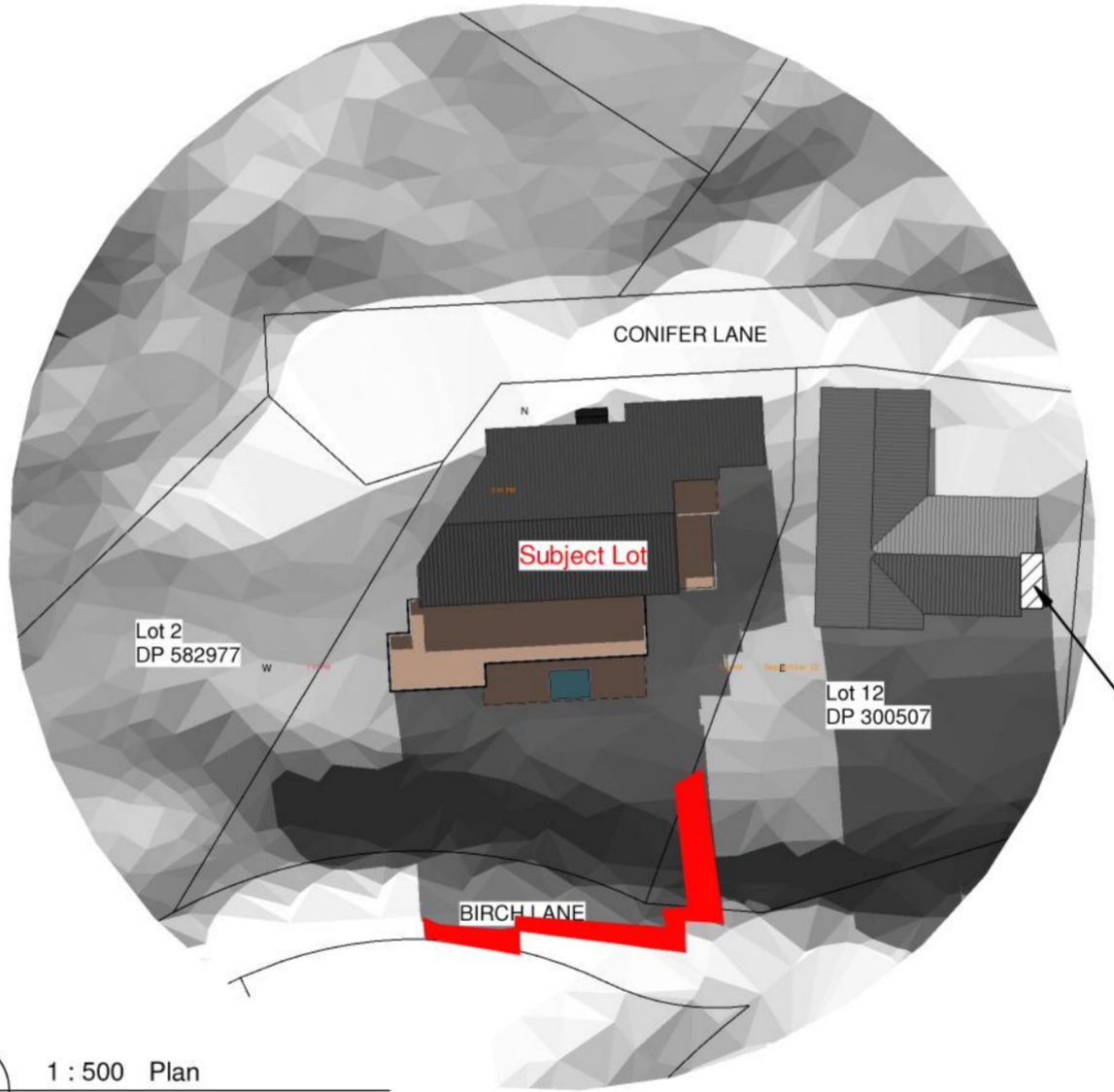
3 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 11 AM



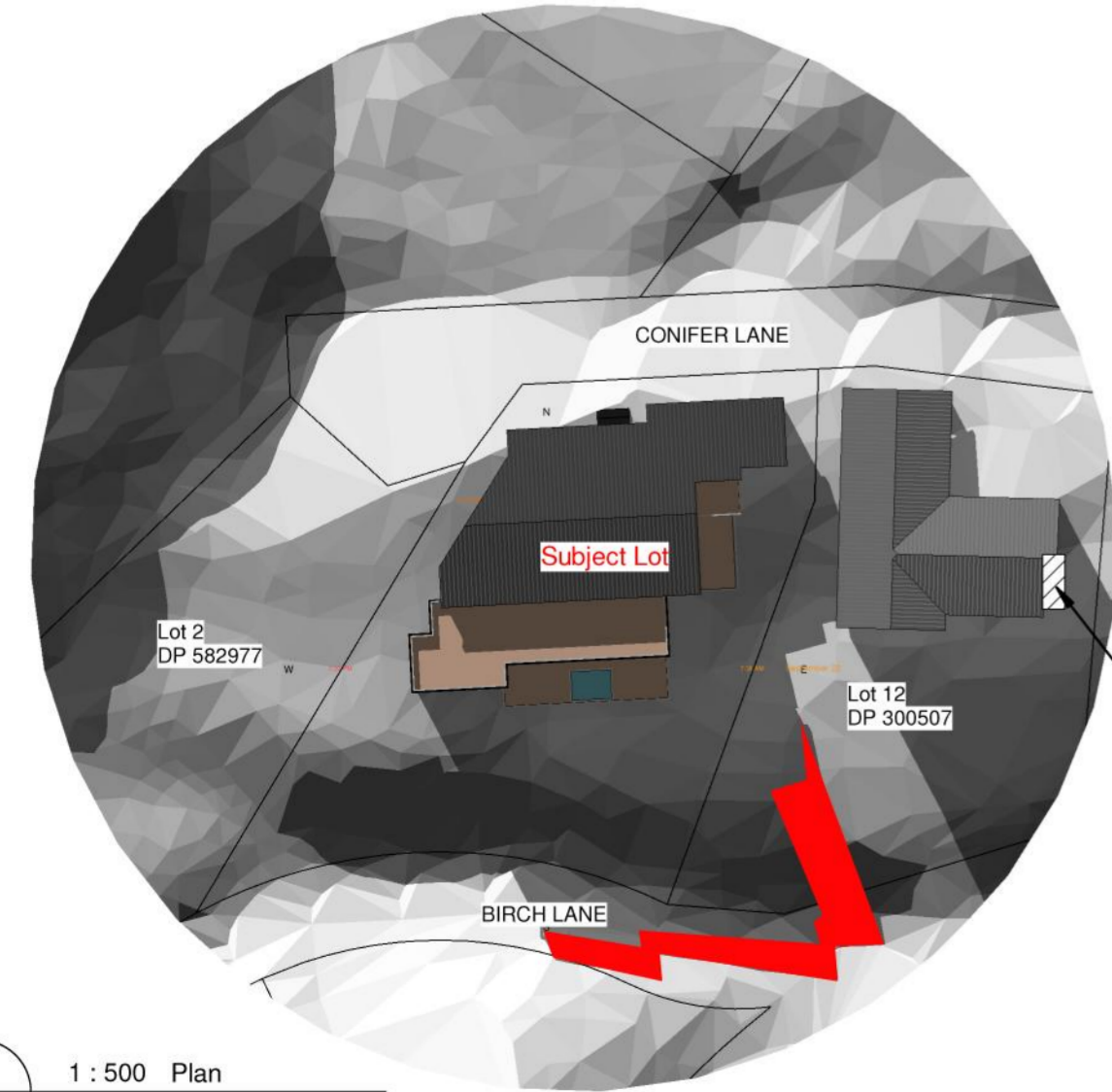
4 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 12 AM



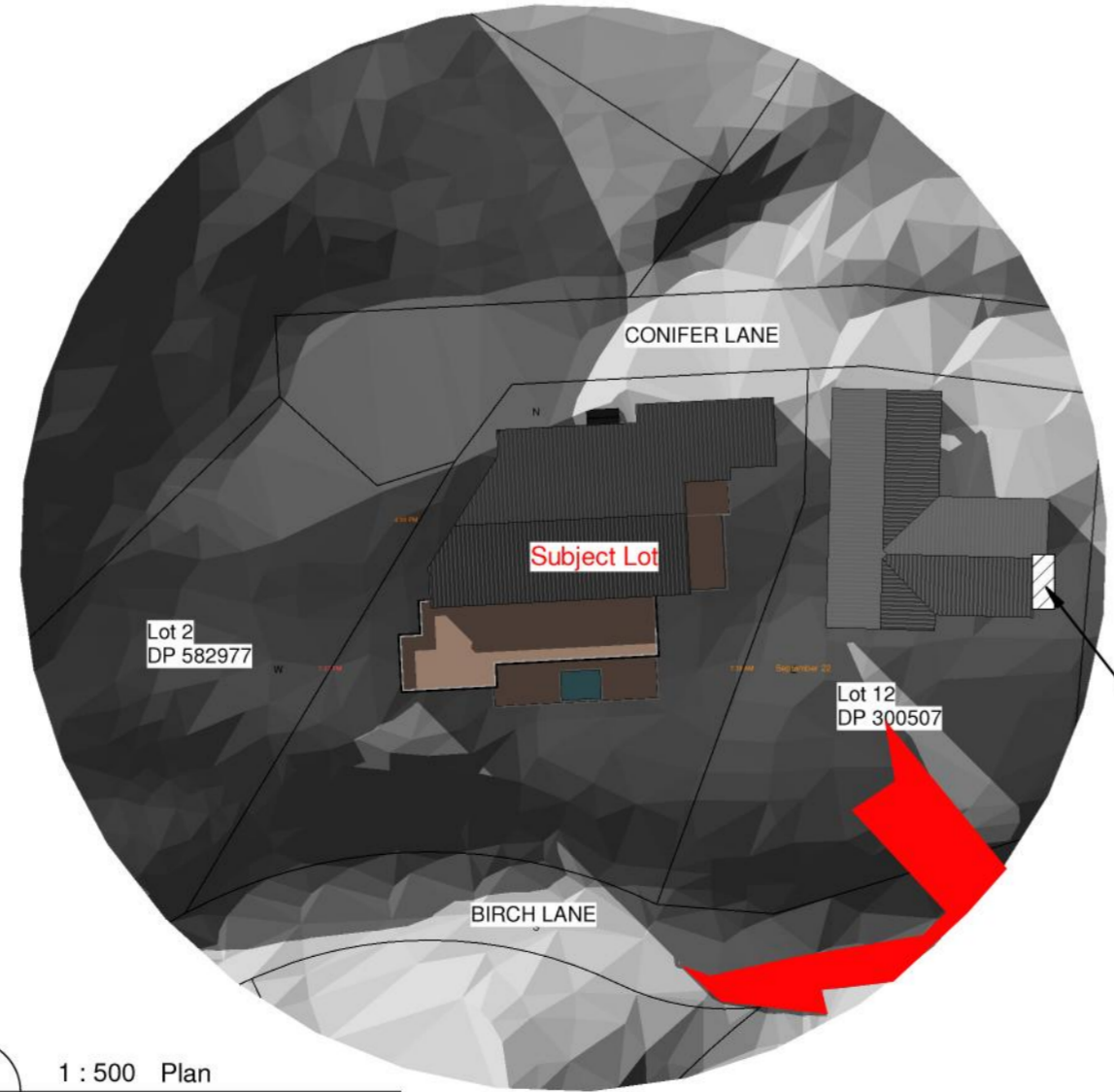
5 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 13 PM



6 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 14 PM



7 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 15 PM



8 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 16 PM

NOTES:

Date of sunstudy in 22 September

Shade of Infridgement area:



J Studio Ltd  
agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY  
PLAN-September

SCALE @ A1= 1 : 500

DESIGN JH  
DRAWN JW

ARCHITECTURAL

Drawing Number Revision  
A1-04C A

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
SITE BEFORE COMMENCING ANY WORK

## **NOISE MANAGEMENT PLAN (NMP)**

5 Conifer Lane, Queenstown

### **1. Purpose**

The purpose of this Noise Management Plan (NMP) is to ensure the Residential Visitor Accommodation (RVA) at 5 Conifer Lane operates in full compliance with the noise limits of the Queenstown Lakes District Plan (PDP), while maintaining the residential character, privacy, and amenity of neighbouring properties. The plan outlines the rules, controls, monitoring, and response procedures used to prevent, manage, and resolve any noise-related issues arising from guest activity.

### **2. Noise Restrictions**

- Quiet hours: 8:00pm – 8:00am daily.
- No outdoor living area use between 10:00pm and 7:00am.
- No amplified outdoor sound between 8:00pm and 8:00am.
- No parties, gatherings, or events allowed.
- Internal signage displayed reminding guests of noise expectations.

### **3. Complaint Response Procedure**

1. Respond to any complaint within 15 minutes.
2. Contact guests immediately and instruct them to comply.
3. Attend the site if noise continues or confirmation is required.
4. Evict guests for ongoing or serious non-compliance.
5. Record every complaint, action taken, and outcome.

### **4. Guest Education**

- Noise rules sent to guests pre-arrival.

- Printed house manual provided inside the dwelling.
- Signage placed at entry points and near deck access doors.

## **5. Supporting Design Features**

- Internal garage parking minimises noise from vehicle movements.
- Three-level dwelling contains internal sound effectively.
- Large vertical and horizontal separation from neighbouring properties.
- Mature vegetation provides additional noise buffering.

## **6. Reporting and Compliance**

- Complaint logs and noise records retained for 24 months.
- All records available to QLDC upon request.

# VISITOR ACCOMMODATION MANAGEMENT PLAN (VAMP)

**5 Conifer Lane, Queenstown**

**Maximum Occupancy: 9 Guests**

---

## 1. Purpose

This Visitor Accommodation Management Plan (VAMP) sets out the operational procedures for the Residential Visitor Accommodation (RVA) at 5 Conifer Lane. Its purpose is to ensure the activity operates safely, quietly, and in a manner that maintains residential character and amenity for surrounding properties.

---

## 2. Contact Details

**Owner:**

Name: Zenith Residential Ltd (Sue Zhong)

Phone: 021 0333 787

Email: sue@golstructhomes.co.nz

**24/7 Local Property Manager:**

Name: \_\_\_\_\_ TBA \_\_\_\_\_

Phone: \_\_\_\_\_ TBA \_\_\_\_\_

Email: \_\_\_\_\_ TBA \_\_\_\_\_

---

## 3. Guest Arrival & Check-in

Guests receive:

- House rules
- Parking instructions
- Noise controls
- Waste instructions
- Emergency contact details

ID may be requested.

---

## 4. Maximum Guests

- Maximum **9 guests**
  - One group at a time only
- 

## 5. Parking

- Maximum **2 vehicles**
  - All vehicles parked **inside the garage**
  - No parking along Conifer Lane except brief loading
  - No buses or coaches permitted
- 

## 6. Noise & Outdoor Living

- Quiet hours: **8pm–8am**
  - No outdoor area use: **10pm–7am**
  - No outdoor amplified sound: **8pm–8am**
  - No parties or events
  - Signage installed inside the dwelling
- 

## 7. Waste & Recycling

- Waste managed by property manager or private contractor
  - Guests place rubbish in bins provided
  - All bins checked and cleared after each stay
- 

## 8. Health & Safety

- Smoke alarms operational

- Fire extinguisher accessible
  - Evacuation instructions displayed
  - Regular inspections carried out
- 

## 9. Complaints Response

1. Manager responds within **15 minutes**
  2. Guests instructed to reduce noise or comply
  3. Follow-up check within 30 minutes
  4. Eviction if needed
  5. All complaints logged
- 

## 10. Record Keeping

Records kept 24 months:

- Booking dates
  - Guest numbers
  - Complaints
  - Waste removal
  - Maintenance issues
-





**DECISIONS OF THE QUEENSTOWN LAKES DISTRICT COUNCIL**

**NOTIFICATION UNDER s95A AND s95B AND DETERMINATION UNDER s104**

**OF THE RESOURCE MANAGEMENT ACT 1991**

<b>Applicant:</b>	Zenith Residential Limited
<b>RM reference:</b>	RM250342
<b>Application:</b>	Application under Section 88 of the Resource Management Act 1991 (RMA) for construction of a residential unit breaching standards for maximum building height and maximum allowable depth of cut earthworks, associated with the construction of a residential unit.
<b>Location:</b>	5 Conifer Lane, Queenstown
<b>Legal Description:</b>	Lot 1 Deposited Plan 582977 and 1/10th share Lot 42 Deposited Plan 300507
<b>Zoning:</b>	<b>ODP:</b> Low Density Residential Zone <b>PDP:</b> Lower Density Suburban Residential
<b>Overlay:</b>	<b>PDP:</b> Wāhi Tūpuna – Te Tapunui (Queenstown Hill)
<b>Activity Status:</b>	<b>Non-complying</b>
<b>Decision Date</b>	<b>4 August 2025</b>

**SUMMARY OF DECISIONS**

1. Pursuant to sections 95A-95F of the Resource Management Act 1991 (**RMA**) the application will be processed on a **non-notified** basis given the findings of Section 5 of the Section 95A and 95B report. This decision is made by Andrew Woodford, Senior Planner, Resource Consents, on 4 August 2025 under delegated authority pursuant to Section 34A of the RMA.
2. Pursuant to Section 104 of the RMA, consent is **GRANTED SUBJECT TO CONDITIONS** outlined in **Appendix 1** of the Section 104 decision imposed pursuant to Section 108 of the RMA. This consent can only be implemented if the conditions in Appendix 1 are complied with by the consent holder. The decision to grant consent was considered (including the full and complete records available in Council’s electronic file and responses to any queries) by Andrew Woodford, Senior Planner, Resource Consents, under delegated authority pursuant to Section 34A of the RMA.

## 1. SUMMARY OF PROPOSAL AND SITE DESCRIPTION

The applicant has provided a description of the proposal, the site and locality and the relevant site history in Section 1 of the AEE report, prepared by Jim He of J Studio Limited, and submitted as part of the application (hereon referred to as the applicant's AEE and attached as Appendix 2). This description is considered adequate and is adopted for the purpose of this report with the following clarifications:

In summary, land use resource consent is sought for the construction of a three level residential unit at 5 Conifer Lane, Queenstown, breaching standards relating to maximum building height and maximum allowable depth of cut earthworks. The proposed residential unit includes:

- **Ground Floor:** Double garage, one bedroom, one bathroom, one WC, kitchen with scullery, dining, family room, living area with fireplace, and two deck areas.
- **Lower Level:** Two bedrooms, two bathrooms, wine cellar, sitting area, retreat, laundry, and decking.
- **Basement Level:** Two bedrooms, two bathrooms, rumpus room, and decking.

The unit's three levels are to be terraced down the face of the steeply sloped site.

During the processing of the application, the proposal was amended to:

- Reduce the extent of the main ground floor deck area, pulling the deck's balustrade back from the western and southern edges; and
- Include a row of Titoki specimen trees to be planted along the base of the unit's basement floor, along the site's southern edge.

An amended AEE was also provided at the same time as the above amendments were confirmed.

On the 1<sup>st</sup> of August, 2025 the applicant confirmed no pneumatic rock breaking methods are proposed and volunteered a condition to the same effect.

### *Consent Notices*

The application identifies a number of consent notice provisions that need to be complied on an ongoing basis, and critically within the development that consent is sought for. The applicant intends to comply with these where they are relevant.



Figure 1: Subject site and surrounds

Source: Queenstown District Council GIS Web Mapping Application (2025)

## 2. ACTIVITY STATUS

QLDC currently has an Operative District Plan (ODP) and a Proposed District Plan (PDP).

Council notified its decisions on Stage 1 of the PDP on 7 May 2018, notified its decisions on Stage 2 of the PDP on 21 March 2019 and notified its decisions on Stages 3 and 3B of the PDP on 1 April 2021. There are a number of appeals on these decisions.

Where there are rules in the PDP that are treated operative under s.86F of the RMA, corresponding rules in the ODP are treated as inoperative. Consent is required under Section 9(3) of the RMA, pursuant to the ODP and PDP rules which are listed below.

### 2.1 OPERATIVE DISTRICT PLAN

There are no relevant rules under the ODP as the relevant rules of Low Density Residential Zone are treated as inoperative given the relevant rules under the PDP are treated as operative pursuant to section 86F.

### 2.2 PROPOSED DISTRICT PLAN

The subject site is zoned Lower Density Suburban Residential Zone by the PDP and the proposed activity requires resource consent under the PDP for the following reasons:

*Rules that are treated as operative under s86F:*

- A **non-complying** activity resource consent pursuant to Rule 7.5.2.3 as the proposal does not meet the maximum building height limit (for sloping sites) of 7m. The proposed residential unit infringes the limit:

Ground Floor Roof:

- By a maximum height of 2.16m at the southeast corner of the roof, reducing to 0.62m over 5.5m along the eastern roof line, and reducing to 0.6m over 17.42m along the southern roof line.
- By a maximum height of 0.6m at the southwestern corner of the roof, reducing to 0m over 2m along the western roof line.

Balcony (including the glass balustrade):

- By a maximum height of 2.01m at the southeastern corner of the balcony, reducing to 0m over 3.79m along the eastern balcony line, and reducing to 1.55m over 15.60m along the southern balcony line.
- By a maximum height of 1.55m at the southwestern corner of the balcony, reducing to 0m over 3.11m along the western balcony line.

Lower Level Roof:

- By a maximum height of 1.366m at the southern corner of the lower level roof, reducing to 0.23m over 9.89m along the southern lower level roof line.
- A **restricted discretionary** activity pursuant to Rule 25.5.15 as the proposal breaches site the maximum allowable depth of cut of 2.4 metres. The maximum cut depth is approximately 2.9 metres, and this exceedance is confined to a localised area of approximately 3.5 m<sup>2</sup>.

## 2.3 NATIONAL ENVIRONMENTAL STANDARD FOR ASSESSING AND MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH 2011 (“NES”)

Based on the applicant’s review of Council records, the piece of land to which this application relates is not a HAIL site, and therefore the NES does not apply.

## 2.4 ACTIVITY STATUS SUMMARY

Overall, the application is being considered and processed as a **non-complying** activity.

# NOTIFICATION DETERMINATION DECISION UNDER SECTIONS 95A AND 95B OF THE RESOURCE MANAGEMENT ACT

## 3. SECTION 95A – PUBLIC NOTIFICATION

Section 95A of the RMA requires a decision on whether or not to publicly notify an application. The following steps set out in this section, in the order given, are used to determine whether to publicly notify an application for a resource consent.

### **3.1 Step 1 – Mandatory public notification**

The applicant has not requested public notification of the application (s95A(3)(a)).

Public Notification is not required as a result of a refusal by the applicant to provide further information or refusal of the commissioning of a report under section 92(2)(b) of the RMA (s95A(3)(b)).

The application does not involve exchange to recreation reserve land under section 15AA of the Reserves Act 1977 (s95A(3)(c)).

Therefore, public notification is not required by Step 1.

### **3.2 Step 2 – Public notification precluded**

Public notification is not precluded by any rule or national environmental standard (s95A(5)(a)).

The proposal is not:

- a controlled activity; or
- a boundary activity as defined by section 87AAB that is restricted discretionary, discretionary or non-complying;

Therefore, public notification is not precluded (s95A(5)(b)).

### **3.3 Step 3 – If not precluded by Step 2, public notification is required in certain circumstances**

Public notification is not specifically required under a rule or national environmental standard (s95A(8)(a)).

A consent authority must publicly notify an application if notification is not precluded by Step 2 and the consent authority decides, in accordance with s95D, that the proposed activity will have or is likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

An assessment in this respect is therefore undertaken, and decision made in sections 3.3.1 - 3.3.4 below:

#### **3.3.1 Effects that must / may be disregarded (s95D(a)-(e))**

*Effects that must be disregarded:*

- *Effects on the owners or occupiers of land on which the activity will occur and on adjacent land (s95D(a)).*



Figure 2: Adjacent properties

Source: Queenstown District Council GIS Web Mapping Application (2025)

- Trade competition and the effects of trade competition (s95D(d)).

Effects that may be disregarded:

- An adverse effect of the activity if a rule or national environmental standard permits an activity with that effect (s95D(b) – referred to as the “permitted baseline”. The relevance of a permitted baseline to this application is provided in section 3.3.2 below.

### 3.3.2 Permitted Baseline (s95D(b))

The consent authority **may** disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect. In this case the relevant permitted rule/standard are in the Proposed District Plan and are:

- Earthwork volumes of up to 300m<sup>3</sup> per site within a 12 month period, maximum cut heights of 2.4 metres and a maximum fill height of up to 2.0 metres, where these are setback their vertical height from boundaries and employ environmental protection measures to manage sediment, erosion and dust effects.
- Maximum building height for sloping sites is 7 metres.
- Recession plane on sloping sites only applicable to accessory buildings.
- Minimum boundary setbacks for the road are 4.5m and all other boundaries are 2m. Exceptions to boundary setbacks: accessory buildings for residential activities may be located within the boundary setback distances (other than from road boundaries), where they do not exceed 7.5m in length, there are no windows or openings (other than for carports) along any walls within 1.5m of an internal boundary, and they comply with rules for Building Height and Recession Plane.

### 3.3.3 Assessment: Effects On The Environment

Taking into account sections 3.3.1 and 3.3.2 above, the following assessment determines whether the proposed activity will have, or is likely to have, adverse effects on the environment that are more than minor that will require public notification (s95A(8)(b)).

#### **Existing and Receiving Environment**

The receiving environment is of relevance to the consideration of the proposed development and includes existing and consented development adjacent to and in the vicinity of the application site. In this instance, the receiving environment includes established and emerging residential development of one to two storeys within Lower Density Residential Zone. The existing environment is the vacant allotment.

The receiving environment is of relevance to the application as it represents the level of development and associated character and amenity existing and anticipated within the surrounding environment.

#### **Residential Character, Visual and Amenity Effects**

The proposal involves the construction of a new residential unit on a relatively steep slope, where the building infringes, as described in section 2.2, the 7m maximum height standard.

Though the residential unit will be three storeys in height as seen from the south, as viewed from Conifer Lane, the residential unit presents as a single level. The stepped form of the residential unit and compliance with boundary setbacks acts to mitigate the overall massing of the unit and ensures the building better reflects and responds to the site's topography. This ensures the massing of the building is not overly dominant in the surrounding residential environment.

The residential unit is in keeping with the established character of the streetscape of Conifer Lane, and the wider Queenstown Hill area. The proposed external appearance and materials of the proposed residential unit are typical of a contemporary residential development in the locality. The glazed balustrade forms part of this volume but does not contribute to shading or bulk. As a result, any visual dominance effects of the building are reduced.

The proposed balconies facing south have the potential to result in increased overlooking (and potential for loss of privacy) of residential properties in the wider locality to the west, south and east. However, given the separation distances involved, and the prevalence of south facing amenity spaces, any additional overlooking and associated losses of privacy effects will be less than minor.

Finally, it is noted that applicant has assessed the Residential Zone Design Guide 2021 and confirms that the proposed residential unit is consistent with this guidance through the proposed stepped massing, material palette, and layout which contributes positively to the suburban character and residential amenity of the area. This reduces potential adverse residential character, visual and amenity effects.

Based on the above it can therefore be concluded that any adverse residential, visual and amenity effects on the environment arising from this proposal will be less than minor.

#### **Engineering Effects**

Council Development Engineer, Ms. Loren King, has reviewed the proposal in relation to infrastructure and servicing, earthworks, parking and access to the site. This review is adopted as part of this assessment and is appended as **Appendix 3**.

#### *Transport Effects*

A double garage is proposed as part of the residential unit. The internal dimensions of the garage are 5.8m width and 5.7m length and together with the access width proposed, complies with performance requirements for residential parking set out in the PDP (Rule 29.5.7 and Table 29.7).

As stated by Ms. King, manoeuvring space has not been provided onsite however manoeuvring is provided via the formed turning head adjacent to the site entrance within Conifer Lane, a private access

lot. As reverse manoeuvring onto Conifer Lane can occur in a safe manner, Ms. King is satisfied that the proposed will not result in any unsafe traffic outcomes.

Consent Notice 1965831.3 requires a vehicle crossing/access to be constructed at the time a residential unit is constructed on the lot. Ms. King states that construction of the vehicle crossing/access is considered feasible and subject that being carried out, will ensure that the unit's parking spaces can be accessed in a safe manner.

### *Earthworks Effects*

The application states that earthworks activities comprising of both cut and fill are required to prepare the site for construction of the proposed unit (site, slab and driveway preparation). The ground floor level is approximately at the same level as, and adjacent to, Conifer Lane, with the lower and basement floor levels to be located within the central portion of the site. These levels will be supported on pile footings and block walls.

Ms King has assessed the earthworks from an engineering perspective and is satisfied that they can be carried out without impacting on surrounding properties and that the proposed mitigation measures are appropriate. She adopts the recommendations of the geotechnical report relating to cut/batter slopes such that the effects of these are considered to be able to be appropriately avoided or mitigated. As per the consent notice on the Record of Title, the foundations of the building are designed to appropriately reflect and address the site's conditions. Effects associated with earthworks during the construction phase will be temporary and of short duration and mitigated through standard silt and sediment control measures.

Regarding stability Ms. King confirms that she accepts the expert assessment undertaken by the applicant's geotechnical specialist which states that there is no evidence of existing slope instability that has been identified on site. Further the report states that permanent retaining will be required along the northern boundary to protect uncontrolled fill materials placed during construction of Conifer Lane from being undermined during excavations. Ms King also confirmed that the retaining wall design can be adequately addressed in the separate building consent process.

It is apparent that rock breaking is likely to be required due to the presence of rocks cuts. The applicant has not sought to infringe any construction noise and/or vibration rules. To be clear this assessment does not include any effects assessment on rock breaking and or vibration effects. The applicant has been advised that should any rock breaking be required, any construction activity that infringes those rules may require separate resource / amended resource consent. In addition, adverse effects from noise, dust and vibrations during earthworks can be adequately avoided or mitigated through implementation of measures regarding earthworks site management.

Overall, Ms. King is satisfied that the earthworks are feasible, and that no instability effects will result on neighbouring sites provided the recommendations of the geotechnical report and the methodology provided with RFI are followed. Adopting the full assessment of Ms King, it is considered that effects associated with earthworks will be no more than minor.

### *Infrastructure and Servicing Effects*

The site has existing potable water, wastewater, stormwater service connections from Birch Lane. The site also has power and telecom communication connections.

The development engineer review of the application confirms that standard connections to these public services can be carried out at the time of building consents being given effect and, in that context, no further adverse infrastructure or servicing effects are anticipated.

### **Cultural Effects**

The application site is identified as being within Wāhi Tūpuna site 20 Te Tapunui – Queenstown Hill, where the identified values associated with the Wāhi Tūpuna may be affected by further development such as buildings and earthworks.

In this instance, it is considered that any potential adverse effects will be less than minor as the vacant site has been created and identified for residential use, the earthworks are limited to cuts to allow the building to be established and will be screened by the building when completed. Further, the building is to be located in the context of the surrounding residential activities.

### 3.3.4 Decision: Effects On The Environment (s95A(8))

On the basis of the above assessment, it is assessed that the proposed activity will not or is not likely to have adverse effects on the environment that are more than minor. In particular, less than minor adverse residential character, visual and amenity and engineering effects are anticipated. Therefore, public notification is not required under Step 3.

### 3.4 Step 4 – Public Notification in Special Circumstances

I have considered the consent and there is nothing unusual about the proposed consequently there are no special circumstances in relation to this application.

## **4. LIMITED NOTIFICATION (s95B)**

Section 95B(1) requires a decision on whether there are any affected persons (under s95E). The following steps set out in this section, in the order given, are used to determine whether to give limited notification of an application for a resource consent, if the application is not publicly notified under section 95A.

### 4.1 Step 1: certain affected groups and affected persons must be notified

#### *Determination under s95B(2)*

The proposal does not affect protected customary rights groups, and does not affect a customary marine title group; therefore limited notification is not required.

#### *Determination under s95B(3)*

Limited notification is not required under Step 1 as the proposal is not on or adjacent to, or may affect land subject to a statutory acknowledgement under Schedule 11, and the person to whom the statutory acknowledgement is made is not determined an affected person under section 95E (s95B(3)).

### 4.2 Step 2: if not required by Step 1, limited notification precluded in certain circumstances

Limited notification is not precluded under Step 2 as the proposal is not subject to a rule in the District Plan or is not subject to a NES that precludes notification (s95B(6)(a)).

Limited notification is not precluded under Step 2 as the proposal is not a controlled activity land use (s95B(6)(b)).

### 4.3 Step 3: if not precluded by Step 2, certain other affected persons must be notified

If limited notification is not precluded by Step 2, a consent authority must determine, in accordance with section 95E, whether the following are affected persons:

#### *Boundary activity*

The proposal is not a boundary activity where the owner of an infringed boundary has not provided their approval.

#### *Any other activity*

The proposal is not a boundary activity and therefore the proposed activity falls into the 'any other activity' category (s95B(8)), and the adverse effects of the proposed activity are to be assessed in accordance with section 95E.

#### 4.3.1 Considerations in assessing adverse effects on Persons (S95E(2)(a)-(c))

- a) The consent authority **may** disregard an adverse effect of the activity on a person if a rule or national environmental standard permits an activity with that effect (a “permitted baseline”). Section 3.3.2 above sets out the relevance of the permitted baseline to this application.
- b) The consent authority **must** disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and
- c) The consent authority **must** have regard to every relevant statutory acknowledgement specified in [Schedule 11](#).

#### 4.3.1 [ii] Persons who have provided written approval (s95E(3))

No written approvals were provided as part of the application.

#### 4.3.2 Assessment: Effects on Persons

Taking into account the exclusions in sections 95E(2) and (3) as set out in section 4.3.1 above, the following outlines an assessment as to whether the activity will have or is likely to have adverse effects on persons that are minor or more than minor.

In terms of potential adverse effects on the owners and occupants of the properties considered to be adjacent (see Figure 2; 3, 6, 9, 10 and 11 Conifer Lane, 1 and 1A Birch Lane and 10, 12A and 12B Highview Terrace), and acknowledging the assessment provided in the AEE and the shading analysis provided in the architectural plans, it is considered that these persons will be affected to a less than minor degree for the following reasons:

- 3 Conifer Lane: With respect to shading effects, the submitted analysis confirms that any additional shading (over and above that associated with a complying development) would be in the afternoons only, and fall on the lower unoccupied portion of the site away from habitable and outdoor living areas. With respect to privacy effects, the western elevation of 3 Conifer Lane, facing the subject site, has very limited openings or windows, minimising the potential for privacy impacts. This unit’s primary outdoor living spaces are located on the far side of the building and partly covered, and in addition to the separation distances involved, will ensure that there are little, if any views from the proposed unit’s rooftop balcony.
- 9 Conifer Lane: With respect to shading effects, the submitted analysis confirms that any additional shading (over and above that associated with a complying development) would be in the morning and afternoon, and fall on the middle and lower portions of the site near 9 Conifer Lane’s outdoor living space. The proposed residential unit onsite will already create its own shading to this area. Therefore, any shading resulting from the subject site on owners and occupiers will be less than minor. The proposed unit’s revised rooftop balcony arrangement, including the removal of any direct access from the western side and increased separation distance between balcony and side boundary will ensure that the potential adverse privacy and residential amenity effects on the owners and occupiers of 9 Conifer Lane are less than minor.
- 1 Birch Lane: This property is to the south of the proposed unit, with the separation distance between the proposed rooftop balcony and the outdoor deck at 1 Birch Lane being approximately 30 metres. Given this separation distance, it is not anticipated that there will be any direct overlooking of the primary outdoor living area at 1 Birch Lane, while it is also noted that the rooms on the side facing the proposed unit are not habitable spaces and therefore less sensitive to any overlooking. With respect to shading, it is not anticipated to be on this site, only to part of Birch Lane road. The separation distance will also assist with this limited shading on the site.
- 1A Birch Lane: The proposed rooftop balcony (as revised) is separated from the primary outdoor living area (main decking) of 1A Birch Lane by approximately 40 metres, ensuring there will be no direct overlooking of this primary outdoor living area. In particular, the balcony’s southern balustrade being set back from the roofline ensures that potential overlooking is also avoided through design. With respect to shading, it is not anticipated to be on this site, only to part of Birch Lane road. The separation distance will also assist with this limited shading on the site.
- Existing vegetation, along with a proposed row of Titoki trees along the rear site, will provide additional visual screening and physical separation for persons at 1 and 1a Birch Lane, further reducing any potential overlooking effects from the basement level.

- 6, 10 and 11 Conifer Lane: The units at 6 and 10 Conifer Lane are located north and across from the subject site, while 11 Conifer Lane is located to the west and northwest of the subject site. From the front elevation, as viewed from Conifer Lane and these sites (north and northwest), the residential unit presents as a single level residential unit, complying with boundary setback and height standards at the subject site's north boundary. With respect to shading, there is not anticipated to be any shading as a result of the residential unit being reflective of one storey on the street facing Conifer Lane. Therefore, the adverse effects on persons at these sites is considered to be negligible.
- 10, 12A and 12B Highview Terrace: 10, 12A and 12B Highview Terrace are separated a generous distance from 5 Conifer Lane by both Olivers Place and Birch Lane (closest distance is 25m from 10 Highview Terrace). Shading is not anticipated to be on any of these sites due to the reasonable separation distance. The separation distance will also assist with this limited shading on the site, resulting in adverse effects on persons that are negligible.
- For all persons: Any adverse effects associated with the construction and earthworks phase (such as noise and increased traffic) will be less than minor as they will be temporary and of short duration. The applicant has been advised that any construction activity that infringes construction noise standards may require separate resource / amended resource consent. Relying on Ms. King's engineering assessment it is considered that any effects resulting from earthworks, access, stability, and infrastructure and servicing on persons will be less than minor. Ms. King is satisfied that the earthworks are feasible, and that no instability effects will result on neighbouring sites provided the recommendations of the geotechnical report and the applicant's proposed construction methodology including erosion and sediment control measures are followed. In addition the applicant has confirmed that they agree to a condition that the use of pneumatic rock breaking methods is not authorised under this resource consent.
- Given the separation and physical buffer provided by the above mentioned properties, no other persons are considered to be affected to any minor or more than minor degree.

#### 4.3.3 Decision: Effects on Persons (s95E(1))

In terms of section 95E of the RMA, and on the basis of the above assessment, no person is considered to be adversely affected.

Therefore, limited notification is not required under Step 3.

#### 4.4 Step 4 – Further Notification in Special Circumstances (s95B(10))

I have considered the consent and there is nothing unusual about the proposed consequently there are no special circumstances in relation to this application.

Special circumstances do not apply that require limited notification.

### **5. NOTIFICATION DETERMINATION**

For the reasons set out in sections 3 and 4 of this notification decision report, under s95A and s95B of the RMA, the application is to be processed on a non notified basis.

Prepared by

*Alexandria Turner*

Alexandria Turner  
**CONSULTANT PLANNER**

Decision made by

*Andrew Woodford*

Andrew Woodford  
**SENIOR PLANNER**

# DECISION UNDER SECTION 104 OF THE RESOURCE MANAGEMENT ACT

## 6. S104 ASSESSMENT

This application must be considered in terms of Section 104 of the RMA.

Subject to Part 2 of the RMA, Section 104 sets out those matters to be considered by the consent authority when considering a resource consent application. Considerations of relevance to this application are:

- (a) any actual and potential effects on the environment of allowing the activity; and
- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
- (b) any relevant provisions of:
  - (i) A national environmental standard;
  - (ii) other regulations;
  - (iii) a national policy statement;
  - (iv) a New Zealand coastal policy statement;
  - (v) a regional policy statement or proposed regional policy statement;
  - (vi) a plan or proposed plan; and
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

### 6.1 EFFECTS ON THE ENVIRONMENT (s104(1)(a)&(ab))

Actual and potential effects on the environment have been outlined in the section 95 report. Conditions of consent can be imposed under s108 of the RMA as required to avoid, remedy or mitigate adverse effects (s104(1)(a)).

#### 6.1.1 Consideration of applications under s104(1)(a)

A: A consent authority **may** disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect (s104(2)); a permitted baseline assessment is undertaken (if applicable) in the s95 report, section 3.3.2.

B: A consent authority **must not** have regard to:

- (i) Trade competition and the effects of trade competition (s104(3)(a)(i)); and
- (ii) Any effect on a person who has given **written approval** to the application (s104(3)(a)(ii)). The persons who have provided written approval are identified in the s95 report, section 4.3.3.

The assessment provided in the s95 report above has concluded that all adverse effects on the environment are no more than minor. It is considered that the proposed residential unit will result in positive effects as it will provide a new residential unit on a vacant parcel of land enabled for residential activity and will therefore enable the applicant to use the site as best suited to their needs. Therefore, in relation to s104 the effects on the environment are to be considered less than minor.

## 6.2 RELEVANT DISTRICT PLAN PROVISIONS (s104(1)(b)(vi))

### Proposed District Plan

The strategic chapters of the PDP apply to the entire district therefore Chapter 3 is of relevance. The strategic objectives and policies are generally of an overarching nature and in this case as the proposed development aligns well with the intentions for the zone, the proposal is considered to be consistent with these objectives and policies. The relevant objectives and policies are also contained within Section 7 (Urban Environment - Lower Density Suburban Residential), Section 25 (Earthworks), Section 29 (Transport) and Section 39 (Wāhi Tūpuna).

#### *Section 7 (Urban Environment - Lower Density Suburban Residential)*

The relevant objectives and policies are contained within Section 7 (Urban Environment - Lower Density Suburban Residential) of the PDP. Objective 7.2.1 focuses on development within the zone providing for a mix of compatible suburban densities and a high amenity low density residential living environment for residents as well as users of public spaces within the zone. To achieve this objective, policies 7.2.1.1, 7.2.1.2, 7.2.1.3 and 7.2.1.5 are relevant. Objective 7.2.3 endeavours to encourage higher density development where it responds sensitively to the context and character of the locality and is designed to maintain local amenity values. Policies 7.2.3.1 - 7.2.3.4 are considered relevant for achieving objective 7.2.3. Objective 7.2.6 focuses on development efficiently utilising existing infrastructure and minimising impacts on infrastructure networks. Policies 7.2.6.1 - 7.2.6.3 are relevant to achieving this objective.

The proposal is assessed as being consistent with the relevant objectives and policies because it provides a residential unit that is in character with other development in the locality. Furthermore, the proposal utilises existing potable water, wastewater, stormwater service connections from Birch Lane, demonstrating consistency with the objectives and policies.

#### *Section 25 (Earthworks)*

Within Section 25 (Earthworks) Objective 25.2.1 states that earthworks are undertaken in a manner that minimises adverse effects on the environment, including through mitigation or remediation, and protects people and communities. Associated policies to achieve this objective are policies 25.2.1.1 - 25.2.1.11. Objective 25.2.2 is also of relevance to the proposal and states that the social, cultural and economic wellbeing of people and communities benefits from earthworks. The associated and relevant policy to achieve this objective is 25.2.2.1.

As stated above, Council's Land Development Engineer, Ms. King has reviewed the application and supports the proposal from an engineering perspective, noting mitigation measures proposed relating to stability, silt and sedimentation. As such the expert advice is accepted and the proposal is considered to be consistent with the objectives and policies of Section 25.

#### *Section 29 (Transport)*

In terms of transport matters in reliance on the comments of Ms. King, manoeuvring space has not been provided onsite however manoeuvring is provided via a formed turning head adjacent to the site entrance within Conifer Lane, a private access lot. As reverse manoeuvring onto Conifer Lane can occur in a safe manner, Ms. King is satisfied that the proposed will not result in any unsafe traffic outcomes. The proposal is therefore considered consistent with the objectives and policies of Section 29 (Transport).

#### *Section 39 (Wāhi Tūpuna)*

The application site is identified as being within Wāhi Tūpuna site 20 Te Tapunui – Queenstown Hill. Objectives and policies of chapter 39 seek for significant effect on manawhenua values to be avoided, and other effects avoided, remedies or mitigated from subdivision, use and development listed as a potential threat under Schedule 39.6.

For the subject site, potential threats include:

- a. Earthworks
- b. Exotic wilding trees and pest plant species
- c. Buildings and structures
- d. Energy and Utility activities
- e. Subdivision and development
- f. Activities affecting the ridgeline and upper slopes

Of the above, points a. Earthworks, c. Buildings and Structures, and e. Subdivision and Development are relevant to the subject application. Despite being listed as potential threats, the proposal does not breach any of the specific Chapter 39 rules.

By way of summary the stepped form of the residential unit and compliance with boundary setbacks acts to mitigate the overall massing of the unit and ensures the building better reflects and responds to the site's topography. This ensures the massing of the building is not overly dominant in the surrounding residential environment.

The proposed balconies facing south have the potential to result in increased overlooking (and hence loss of privacy) of residential properties in the wider locality to the west, south and east. However, given the separation distances involved, and the prevalence of south facing amenity spaces, any additional overlooking and associated losses of privacy effects will be less than minor.

In addition, Ms. King is satisfied that the earthworks are feasible, and that no instability effects will result on neighbouring sites provided the recommendations of the geotechnical report and the applicant's proposed construction methodology including erosion and sediment control measures are followed.

Overall, it is considered that the proposal is consistent with the objectives and policies of the Proposed District Plan.

#### Operative District Plan

Until the PDP becomes fully operative, the objectives and policies of the ODP are still of relevance. In this case it is considered that Section 7 (Residential Areas - Low Density Residential Zone), Section 14 (Transport) and Section 22 (Earthworks) is of relevance to the proposal.

#### *Section 7 - District Wide Residential Objectives and Policies*

Objective 2 seeks a compact residential form readily distinguished from the rural environment which promotes the efficient use of existing services and infrastructure. In relation to this proposal, Policy 2.4 states that in new residential areas development forms which provide for increased residential density and careful use of the topography should be encouraged and provided for.

Objective 3 - Residential Amenity is also relevant. Objective 3 relates to pleasant living environments within which adverse effects are minimised while still providing the opportunity for community needs. Policies 3.1 – 3.14 are relevant for achieving the objective.

The proposal is assessed as being consistent with the relevant objectives and policies because it provides for a residential unit on a vacant lot that is proposed to maintain amenity values, be in character with other development in the locality as well as providing a pleasant living environment.

#### *Section 7 - Queenstown Residential and Visitor Accommodation Areas*

Objective 2 is relevant to the proposal. Objective 2 focuses on residential development being organised around neighbourhoods separate from areas of predominately visitor accommodation development and provision for new consolidated residential areas at identified locations. To achieve these objectives, policy 1 endeavours to protect the character and amenity of the residential environments by limiting the peripheral expansion of the residential areas and promoting consolidation of the residential community with the retention of easy access to the rural area and lakeshore. Policies 3, 5 and 6 are also relevant to achieving these objectives.

The proposal achieves the above-mentioned objectives and policies by proposing the establishment of a residential unit on a site where this type of development is anticipated, and character and amenity is maintained.

#### *Section 14 (Transport)*

In terms of transport matters in reliance on the comments of Ms. King, manoeuvring space has not been provided onsite however manoeuvring is provided via a formed turning head adjacent to the site entrance within Conifer Lane, a private access lot. As reverse manoeuvring onto Conifer Lane can occur in a safe manner, Ms. King is satisfied that the proposed will not result in any unsafe traffic outcomes. The proposal is therefore considered consistent with the objectives and policies of Section 14 (Transport).

#### *Section 22 (Earthworks)*

Within Section 22 (Earthworks) under 22.2 Objective 1 states the objective is to enable earthworks that are part of subdivision, development, or access, provided that they are undertaken in a way that avoids, remedies or mitigates adverse effects on communities and the natural environment. To achieve this objective Policy 1.1 to 1.5 are relevant to the proposal. Objective 2 is to avoid, remedy or mitigate the adverse effects of earthworks on rural landscapes and visual amenity areas. Policies 2.1 to 2.4 are appropriate to achieving this objective. Objective 3 focuses on ensuring that earthworks do not adversely affect the stability of land, adjoining sites or exacerbate flooding. Policies that are relevant to the proposal and achieving this objective are 3.1 to 3.3. Objective 7 focuses on protecting cultural heritage, including waahi tapu, waahi taonga, archaeological sites and Heritage Landscapes from the adverse effects of earthworks. Policies 7.1 to 7.4 are relevant to consider in relation to the proposal and for achieving the objective.

The proposal seeks to undertake earthworks for the construction of a residential unit. The proposal is considered to be consistent with the relevant objective and policies. As stated above Ms. King is satisfied that the earthworks are feasible, and that no instability effects will result on neighbouring sites provided the recommendations of the geotechnical report and the methodology provided with RFI are followed.

Overall, the proposal is considered to be in accordance with the relevant objectives and policies of the ODP.

#### Weighting between Operative District Plan and Proposed District Plan

In this case, as the conclusions reached in the above assessment led to the same conclusion under both the ODP and PDP, no weighting assessment is required.

### **6.3 PARTICULAR RESTRICTIONS FOR NON-COMPLYING ACTIVITIES (s104(D))**

With respect to the assessment above, the first gateway test for a non-complying activity required under section 104D(1)(a) has been met in that the application will not have an adverse effect on the environment which is more than minor.

With respect to the second gateway test under section 104D(1)(b), the application is not contrary to the relevant policies and objectives of the Operative District Plan or the Proposed District Plan.

Accordingly, as the application has passed both of the gateway tests in s104D, consent can be granted for this non-complying activity.

### **6.4 PART 2 OF THE RMA**

This proposal does not affect the sustainable potential of resources to meet the foreseeable needs of future generations (s5(a)), it does not affect the life supporting capacity of air, water, soil or ecosystems (s5(b)) and as assessed does not have significant adverse effects on the environment (s5(c)).

Section 6 of the RMA sets out the matters of national importance which must be recognised and provided for. These are not considered to be of relevance to the subject application.

Section 7 sets out other matters that must be given particular regard. Of relevance are the efficient use of natural and physical resources (s7(b)), maintenance and enhancement of amenity values (s7(c)) and of the quality of the environment (s7(f)). The proposal is assessed having no more than minor adverse effects on both.

Section 8 requires that the principles of Te Tiriti o Waitangi are taken into account. This proposal is consistent with the treaty principles, with particular reference to the proposal and consideration of impacts on Wāhi Tūpuna values

Overall, the proposal is considered to meet the purpose and principles of the RMA.

## **7.0 DECISION ON RESOURCE CONSENT PURSUANT TO SECTION 104 OF THE RMA**

Consent is **granted** to construct a residential unit with breaches to the maximum building height and maximum allowable depth of cut earthworks at 5 Conifer Lane, Queenstown subject to the conditions outlined in *Appendix 1* of this decision report imposed pursuant to Section 108 of the RMA.

Prepared by

Decision made by

*Alexandria Turner*

*Andrew Woodford*

Alexandria Turner  
**CONSULTANT PLANNER**

Andrew Woodford  
**SENIOR PLANNER**

## 8.0 DEVELOPMENT CONTRIBUTIONS AND ADMINISTRATIVE MATTERS

### *Local Government Act 2002: Development Contributions*

This proposal may require a development contribution under the Local Government Act 2002 in line with QLDC's Development Contribution Policy. Where a development contribution is determined as required, payment will be due prior to commencement of the consent, except where a Building Consent is required when payment shall be due prior to the issue of the code of compliance certificate.

Please contact the Council if you require a Development Contribution Estimate.

### *Administrative Matters*

The costs of processing the application are currently being assessed and you will be advised under separate cover whether further costs have been incurred.

The Council will contact you in due course to arrange the required monitoring. It is suggested that you contact the Council if you intend to delay implementation of this consent or if all conditions have been met.

This resource consent is not a building consent granted under the Building Act 2004. A building consent must be obtained before construction can begin.

This resource consent must be exercised within five years from the date of this decision subject to the provisions of section 125 of the RMA.

If you have any enquiries please contact us at [resourceconsent@qldc.govt.nz](mailto:resourceconsent@qldc.govt.nz).

## 9.0 APPENDICES LIST

**APPENDIX 1** – Consent Conditions

**APPENDIX 2** – Applicant's AEE

**APPENDIX 3** – Engineering Report

## **APPENDIX 1 – CONSENT CONDITIONS**

### ***For Your Information***

#### **Monitoring**

The conditions in your decision will advise if monitoring is required. To assist with compliance of your resource consent, and to avoid your monitoring deposit being used before your development starts, please complete the "[Notice of Works Starting Form](#)" and submit it to the Monitoring Planners by email at [RCMonitoring@qldc.govt.nz](mailto:RCMonitoring@qldc.govt.nz) or via upload to the Community Portal using this [link](#).

#### **Environmental Management Plan**

Please be aware of your requirements to appropriately manage environmental effects associated with your activity. Site management means having adequate controls in place on your site. This will ensure compliance is achieved and harmful by-products of construction activities do not damage the environment or cause nuisance to neighbours. We've provided some [advice](#) to help you mitigate any possible adverse effects that may be generated on your site as a result of construction related activities.

#### **Engineering Acceptance**

You may also have conditions that require you to apply for Engineering Acceptance. To apply, please complete the Engineering Acceptance Application Form through the Community Portal, using this [link](#). Information to help you upload your forms and documents can be found [here](#). Further information regarding Engineering Acceptance can be found [here](#).

#### **Development Contribution**

If this decision requires a development contribution (DC) charge, we will be sending a notice in due course. To answer questions such as what is a DC charge, when a DC charge is triggered and timing of payments, this information is available [here](#). If you wish to make a DC estimate calculation yourself, please use this [link](#). Full details on current and past policies can be found [here](#).

### **General Conditions**

1. That the development must be undertaken/carried out in accordance with the plans:
  - 'Topographical Survey, Drawing No. 1-3, Rev. A', prepared by Paterson Pitts Group Limited dated 25/03/2024
  - 'Site Plan, Drawing No. A1-01, Rev. D', prepared by J Studio Limited dated 09/07/2025
  - 'Site overall plan with neighbor lots, Drawing No. A1-01B, Rev. D', prepared by J Studio Limited dated 07/07/2025
  - 'Site Management Plan, Drawing No. A1-02, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Basement Floor, Drawing No. A1-10, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Lower Level Floor, Drawing No. A1-11, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Ground Floor, Drawing No. A1-12, Rev. D', prepared by J Studio Limited dated 07/07/2025
  - 'Roof Plan, Drawing No. A1-13, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Elevations, Drawing No. A1-21, Rev. D', prepared by J Studio Limited dated 07/07/2025
  - 'Elevation - Infringement, Drawing No. A1-22, Rev. D', prepared by J Studio Limited dated 07/07/2025
  - 'Section, Drawing No. A1-31, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Section, Drawing No. A1-32, Rev. A', prepared by J Studio Limited dated 02/05/2025
  - 'Sun Study Plan - March, Drawing No. A1-04A, Rev. A', prepared by J Studio Limited dated 05/05/2025
  - 'Sun Study Plan - June, Drawing No. A1-04B, Rev. A', prepared by J Studio Limited dated 05/05/2025
  - 'Sun Study Plan - September, Drawing No. A1-04C, Rev. A', prepared by J Studio Limited dated 05/05/2025

**stamped as approved on 4 August 2025**

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) of the Act.
3. The consent holder is liable for costs associated with the monitoring of this resource consent under Section 35 of the Resource Management Act 1991.

#### Environmental Management

4. Prior to any works commencing on site the Consent Holder shall complete the Short Form Environmental Management proforma:

<https://www.qldc.govt.nz/media/vprartis/emp-short-form-template-for-environmental-management-plans-small-scale-builds-june-2019.pdf>

At all times during the works, environmental management measures onsite shall be installed and carried out in accordance with this document.

5. Prior to commencing ground-disturbing activities, the Consent Holder shall nominate an Environmental Representative for the works program in accordance with the requirements detailed on pages 9 and 10 of the *Queenstown Lakes District Council's Guidelines for Environmental Management Plans*.
6. Prior to commencing ground disturbing activities, the Consent Holder shall ensure that all staff (including all sub-contractors) involved in, or supervising, works onsite have attended an Environmental Site Induction in accordance with the requirements detailed on page 8 of the *Queenstown Lakes District Council's Guidelines for Environmental Management Plans*.
7. The EMP shall be accessible on site at all times during work under this consent.
8. In accordance with page 9 of the *Queenstown Lakes District Council's Guidelines for Environmental Management Plans*, where any Environmental Incident where the EMP has failed leading to any adverse environmental effects offsite occurs the Consent Holder shall report to QLDC details of any Environmental Incident within 12 hours of becoming aware of the incident.

#### **General**

9. All physical development works including retaining walls, documentation and other consent obligations shall be carried out in accordance with the requirements of the Queenstown Lakes District Council's policies and standards, being QLDC's Land Development and Subdivision Code of Practice adopted on 17th April 2025 and subsequent amendments to that document up to the date of issue of any resource consent.

*Note: The current standards are available on Council's website via the following link:*  
<https://www.qldc.govt.nz>

#### **To be completed prior to the commencement of any works on-site**

10. The consent holder shall implement the following traffic management measures within Conifer Lane during earthworks within the site:
  - a) Suitable site warning signage shall be in place on the road in both directions from the site entrance.
  - b) Safe sight distances shall be maintained at all times
  - c) Safe passing provision for pedestrians and cyclists shall be maintained at all times.

11. At least 7 days prior to commencing excavations, the consent holder shall provide the Manager of Resource Management Engineering at Council with the name of a suitably qualified geotechnical professional as defined in Section 1.7 of QLDC's Land Development and Subdivision Code of Practice who is familiar with the Geotechnical Report by Geocare Ltd within the report titled 'Geotechnical Review Report For Architectural Drawings at 5 Conifer Lane, Queenstown, Project Number 0057-GR-Ver B dated 19 June 2025 report and who shall supervise the excavation, earthworks, pilot and rock cuts, fill procedures and retaining wall construction and ensure compliance with the recommendations of this report. This engineer shall continually assess the condition of the excavation and shall be responsible for ensuring that temporary retaining is installed wherever necessary to avoid any potential erosion or instability.
12. The owner of the land being developed shall provide a letter to the Manager of Resource Management Engineering at Council advising who their representative is for the design and execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.
13. Prior to commencing any work onsite site the consent holder shall undertake Specific Engineering Design of all cut slopes and fills over 2m in height related with the building platform, earthworks and associated house foundations.
14. Prior to the earthworks commencing on site, the Consent Holder shall contact the Council Resource Consent Monitoring department to inspect the sediment control measures

### ***During Works***

#### Surveyor's Certificate

15. In order to ensure that the proposed building is located exactly as proposed in the application and complies with the maximum height control of the Queenstown Lakes District Plan or the degree of infringement applied for, the consent holder shall employ an appropriately qualified surveyor at their expense who shall:
  - a) Certify to Council in writing that the foundations have been set out in accordance with the approved consent in terms of levels and position; and
  - b) Confirm to Council in writing upon completion of the building that it has been built in accordance with the approved plans and complies with the maximum height control/degree of infringement applied for.

Note: The consent holder is advised that they will require a suitably qualified surveyor to carry out a survey of the land, recording the ground levels, prior to any earth works being carried out on the site.

### ***To be monitored throughout earthworks***

16. The consent holder shall undertake the excavation, temporary works, retaining walls, foundations and batter slopes in accordance with the report prepared by Geocare Ltd titled "*Geotechnical review report for architecture drawings at 5 Conifer Lane, Queenstown, Geocare reference 0057-GR dated 19-06-2025 Version B*".
17. A suitably qualified professional as defined in Section 1.7.2 of QLDC's Land Development and Subdivision Code of Practice shall monitor and confirm the ground conditions and cut depths encountered are those expected and designed for in the Geotechnical Report by Geocare Ltd within the report titled "*Geotechnical Review Report For Architectural Drawings at 5 Conifer Lane, Queenstown, Project Number 0057-GR-Ver B dated 19 June 2025*" report. Should the site conditions be found unsuitable for the proposed retaining methods, then a suitably qualified and experienced engineer shall submit to the Council new designs/work methodologies for the

excavation/retention systems prior to further work being undertaken with the exception of work to stabilise the site in the interim.

18. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
19. Cuts shall be backfilled against the completed retaining walls and topsoiled and revegetated or otherwise stabilised as soon as practicable.
20. No earthworks, temporary or permanent, are to breach the boundaries of the site except for the works required for the vehicle crossing.
21. The consent holder shall ensure that no pneumatic rock breaking methods be undertaken on site under this consent.
22. If at any time Council officers, or its elected representatives, receive justifiable complaints about or proof of effects from vibration sourced from the earthworks activities approved by this resource consent, the consent holder at the request of the Council shall cease all earthworks activities and shall engage a suitably qualified professional who shall prepare a report which assesses vibration caused by earthworks associated with this consent and what adverse effect (if any) these works are having on any other land and/or buildings beyond this site. Depending on the outcome of this report, a peer review may be required to be undertaken by another suitably qualified professional at the consent holder's expense. This report must take into consideration the standard BS 5228:1992 or a similar internationally accepted standard. Both the report and peer review (if required) shall be submitted to Council for review and certification. The Consent holder shall implement any measures proposed in the report that will mitigate any negative effects of the vibration.
23. The consent holder shall implement, to the satisfaction of Council's Resource Consent Monitoring department, suitable measures to prevent deposition of any earth on surrounding streets by trucks moving fill and other materials to and from the site. In the event that any material is deposited on the streets, the consent holder shall take immediate action at their expense, to clean the streets. The loading of earth and other materials shall be confined to the subject site.
24. The consent holder shall install measures to control/and or mitigate any silt runoff and sedimentation that may occur. These measures shall be implemented prior to the commencement of any earthworks on site any shall remain in place for the duration of the project.
25. The consent holder shall specify procedures to be put in place to minimise the spread of dust during earthworks construction.

#### Hours of Operation – Earthworks

26. Hours of operation for earthworks, shall be:
  - Monday to Saturday (inclusive): 8.00am to 6.00pm.
  - Sundays and Public Holidays: No Activity

In addition, no heavy vehicles are to enter or exit the site, and no machinery shall start up or operate earlier than 8.00am. All activity on the site is to cease by 6.00pm.

### Accidental Discovery Protocol

27. If the consent holder:

- a) discovers koiwi tangata (human skeletal remains), waahi taoka (resources of importance), waahi tapu (places or features of special significance) or other Maori artefact material, the consent holder shall without delay:
  - (i) notify Council, Tangata whenua and Heritage New Zealand Pouhere Taonga and in the case of skeletal remains, the New Zealand Police.
  - (ii) stop work within the immediate vicinity of the discovery to allow a site inspection by the Heritage New Zealand Pouhere Taonga and the appropriate runanga and their advisors, who shall determine whether the discovery is likely to be extensive, if a thorough site investigation is required, and whether an Archaeological Authority is required.

Any koiwi tangata discovered shall be handled and removed by tribal elders responsible for the tikanga (custom) appropriate to its removal or preservation. Site work shall recommence following consultation with Council, the New Zealand Pouhere Taonga, Tangata whenua, and in the case of skeletal remains, the New Zealand Police, provided that any relevant statutory permissions have been obtained.

- b) does not have an archaeological authority from Heritage New Zealand Pouhere Taonga and discovers any feature or archaeological material that predates 1900, or heritage material, or disturbs a previously unidentified archaeological or heritage site, the consent holder shall without delay:
  - (i) stop work within the immediate vicinity of the discovery or disturbance and;
  - (ii) advise Council, the Heritage New Zealand Pouhere Taonga and in the case of Maori features or materials, the Tangata whenua and if required, shall make an application for an Archaeological Authority pursuant to the New Zealand Pouhere Taonga Act 2014 and;
  - (iii) arrange for a suitably qualified archaeologist to undertake a survey of the site.

Site work may only recommence following consultation with Council.

### Advice Notes

- a) This site may contain archaeological material. Under the Heritage New Zealand Pouhere Taonga Act 2014, the permission of the Heritage New Zealand Pouhere Taonga must be sought prior to the modification, damage or destruction of any archaeological site, whether the site is unrecorded or has been previously recorded. An archaeological site is described in the Act as a place associated with pre-1900 human activity, which may provide evidence relating to the history of New Zealand. These provisions apply regardless of whether a resource consent or building consent has been granted by Council. Should archaeological material be discovered during site works, any work affecting the material must cease and the Heritage New Zealand Pouhere Taonga must be contacted (Dunedin office phone 03 477 9871).
- b) The subject site is identified on the Council's interim hazard register as being within an area that has been notated as being subject to inundation, flooding, instability and slippage. It is recommended that the consent holder consult an appropriately qualified engineer to confirm whether such a potential threat actually exists in relation to the proposed activity.

### ***On completion of earthworks***

- 28. On completion of earthworks within the building footprint and prior to the construction of the residential unit, the consent holder shall ensure that:
  - a) Certification from a suitably qualified geo-professional experienced in soils investigations is provided to the Manager of Resource Management Engineering at Council, in accordance with

NZS 4431:2022, for all areas of fill within the site on which buildings are to be founded (if any). Note this will require supervision of the fill compaction by a suitably qualified geo-professional;

And

- b) The foundations of the residential unit are specifically engineer designed by a suitably qualified engineer taking into consideration any areas of uncertified fill onsite and the inconsistent available bearing characteristics of the site and not meeting good ground in accordance with NZS 3604.

***On completion of earthworks and prior to occupation of the residential unit***

- 29. Planting of titoki trees as demonstrated on Sheet A1-01 shall be implemented within the first planting season of approval, and the plants shall thereafter be maintained and irrigated in accordance with that plan. If any tree should die or become diseased it shall be replaced within the next available planting season.
- 30. On completion of the earthworks, and prior to the occupation of the residential unit the consent holder shall complete the following:
  - a) All earthworked areas shall be top-soiled and revegetated or otherwise permanently stabilised.
  - b) The provision of a sealed vehicle crossing/access that shall be constructed to the site from Conifer Lane in accordance with the stamped as approved plans to Council's standards, provision shall be made for stormwater disposal.
  - c) The construction and sealing of all vehicle manoeuvring and car parking areas to Council's standards. Provision shall be made for stormwater disposal from all impermeable surfaces.
  - d) The consent holder shall remedy any damage to all existing road surfaces and berms that result from work carried out for this consent.
- 31. All earth worked areas shall be re-grassed or otherwise stabilised against erosion as soon as practicable and in a progressive manner as the earthworks are completed.

Advice Notes

- a) This site may contain archaeological material. Under the Heritage New Zealand Pouhere Taonga Act 2014, the permission of the Heritage New Zealand Pouhere Taonga must be sought prior to the modification, damage or destruction of any archaeological site, whether the site is unrecorded or has been previously recorded. An archaeological site is described in the Act as a place associated with pre-1900 human activity, which may provide evidence relating to the history of New Zealand. These provisions apply regardless of whether a resource consent or building consent has been granted by Council. Should archaeological material be discovered during site works, any work affecting the material must cease and the Heritage New Zealand Pouhere Taonga must be contacted (Dunedin office phone 03 477 9871).
- b) The consent holder is advised that any retaining walls, including stacked stone and gabion walls, proposed in this development which exceeds 1.5m in height or walls of any height bearing additional surcharge loads will require Building Consent, as they are not exempt under Schedule 1 of the Building Act 2004.
- c) The consent holder is advised to undertake a pre-construction condition survey, including photographs, to record the existing condition of all neighbouring buildings, landscaping and roads that lie within 20m of the proposed works. The extent of the pre-construction survey is related to the site and its surrounds and the associated potential risks. The existing condition of roading, landscaping and structures needs to be documented by way of photos, focusing on any damage that is already apparent. Items such as minor cracking in plaster will be very difficult to identify, and in these cases other methods would need to be employed to determine if they were formed

as a result of the consented works. The survey will never cover everything but it aims to provide a record that can be reviewed in the event of a complaint or issue being raised.

**APPENDIX 2 – APPLICANT’S AEE**

**ASSESSMENT OF EFFECTS ON THE ENVIRONMENT**  
**Application of resource consent**

**July 2025 – RevB**

**Proposal: New Dwelling at 5 CONIFER LANE QUEENSTOWN 9300**

APPLICANT'S Name: Zenith Residential Ltd

Site address: **5 CONIFER LANE,QUEENSTOWN 9300**

Legal Description: Lot1 Deposited Plan 582977 and 1/10<sup>th</sup> share Lot 42  
Deposited Plan 300507 Held in Record of Title **1092732**

Site area: 901m<sup>2</sup>

Zone: Lower Density Suburban Residential under PDP  
Wāhi Tūpuna – Te Tapunui (Queenstown Hill)

Proposal Earthworks, 7M Maximum Height Infringement

Address for Service: C/- J Studio Ltd  
40 Cassidy Drive, Orewa, Auckland  
M: 0212390326  
Email: [agoodweekend@gmail.com](mailto:agoodweekend@gmail.com)  
Attention: Jim He

This statement of effects provides an assessment of the actual and potential effects on the environment of the proposed development of new building. This statement of effects accompanies and forms part of the resource consent application.

### 1.1 Description of the site

The subject site is 901 m<sup>2</sup>, irregular in shape, and located at the southern end of Conifer Lane, a shared driveway and cul-de-sac. It is zoned **Lower Density Suburban Residential** under the Proposed District Plan (PDP).

The front and central portions of the site are grass-covered, while the lower rear section contains established mature vegetation. The land slopes steeply from the northern boundary down to the south at an angle of approximately 29<sup>o</sup>-33<sup>o</sup>. The mature trees located in the lower portion of the site are illustrated in Figure 3 below.

The site is grass-covered on the front and mid section the lower rear portion of the subject site contains established mature trees. From the northern boundary, the land slopes steeply down to the south at approximately 29<sup>o</sup>-33<sup>o</sup>, the rear (lower) portion of the site contains mature vegetation as shown on figure 3 below.

To the east of the subject site is 3 Conifer Lane, while 9 and 11 Conifer Lane to the west remain undeveloped. The northern (opposite) boundary adjoins 6 and 10 Lancewood Lane, which are accessed via Lancewood Lane and sit at least 13 m higher in elevation. 1 and 1A Birch Lane adjoin the rear (southern opposite) boundary, are accessed from Birch Lane, and are set back at least 23 m from the subject site.

The site is indicated in photographs below:



Figure 1: Subject site 5 Conifer Lane (highlighted in blue). Source: QLDC GIS



Figure 2: Subject site 5 Conifer Lane (highlighted in blue) with contours illustrating the slope of surrounding area Source :QLDC GIS



Figure 3 Aerial image showing the subject site viewed from the southeast corner

The rear (lower) portion of the site contains mature vegetation providing a natural buffer to the adjoining property.



Figure 4 Photograph taken from the northeastern corner of the site along Conifer Lane

:



Figure 5 Photograph showing the view from the western boundary of the site

## 1.2 Legal Documents

A number of legal encumbrances are registered against the subject Record of Title, with such documents being contained within Appendix attached. The legal encumbrances are addressed below:

Consent Notices (5167204.4, 5167204.5 and 12658931.3)

There are three consent notices registered against the title:

Consent Notice (5167204.4), requires that any building platforms, earthworks and associated house foundations will be subjected to specific engineering designs of all cut slopes and fills over 2 metres in height.

Consent Notice (5167204.5) provides that all owners of Conifer Lane will be responsible for the maintenance and usage of the Conifer Lane in accordance with Schedule 9 of the Property Law Act 1952. This means that you can use Conifer Lane to access the property at any time, with or without vehicles. You have the right to establish and maintain. The right includes the right to establish the driveway and carry out repairs and upkeep, and the right to reasonable contributions from the other share owners as to the establishment and maintenance.

Consent Notice (12658931.3) imposes ongoing land use and development conditions pursuant to Section 221 of the RMA. These conditions relate to matters arising from the underlying subdivision consent, such as building platform location, earthworks controls, and site-specific management requirements.

### 1.3 Description of the proposal

- The proposal, prepared by J Studio Ltd, is illustrated in the attached documentation, which includes the site plan, site management plan, sun study diagrams, floor plans, elevations, sections, and an infringement plan highlighting non-compliance areas in both elevations and 3D views.
  
- The application seeks consent to construct a new three-level, five-bedroom standalone dwelling. The proposed development has a total building coverage of 333.71 m<sup>2</sup> (including decking areas elevated more than 1 m above natural ground level), equating to 37% site coverage, and a total floor area of 441 m<sup>2</sup> (excluding decking areas).
  
- The internal layout and room configuration are clearly detailed on the submitted plans. The proposed dwelling includes:
  - **Ground Floor:** Double garage, one bedroom, one bathroom, one WC, kitchen with scullery, dining, family room, living area with fireplace, and two deck areas.
  - **Lower Level:** Two bedrooms, two bathrooms, wine cellar, sitting area, retreat, laundry, and decking.
  - **Basement Level:** Two bedrooms, two bathrooms, rumpus room, and decking.
  
- External materials include a combination of vertical cedar cladding and NU aluminium cladding for the exterior walls, with a T-Rib metal roofing system.
  
- As illustrated in the design plans, the proposed dwelling will be accessed directly from Conifer Lane, with vehicle access and on-site manoeuvring provided via the shared driveway.
  
- Earthworks will involve approximately 80.1 m<sup>3</sup> over an area of approximately 128.9 m<sup>2</sup>, primarily to establish foundations for the dwelling and driveway formation.
  
- The dwelling is designed with a terraced layout that follows the natural contours of the steeply sloping site (29°–33°). This stepped arrangement reduces the extent of excavation, improves site stability, and reflects a geotechnically appropriate response as confirmed by engineering review

## 1.4 Proposed District Plan Assessment and the reasons for the application

While the proposed residential activity complies with the density and land use provisions of the **Lower Density Suburban Residential Zone** under the Proposed District Plan (PDP), the development infringes two performance standards—**building height** and **earthworks**—and therefore requires resource consent. the **Lower Density Suburban Residential Zone**, the development two standards under the **Proposed District Plan (PDP)**, in relation to **building height** and **earthworks**.

### **Zoning – Rule 7.5.2.3 (Building Height for Sloping Sites):**

The subject site qualifies as a sloping site under the PDP. In accordance with Rule 7.5.2.3, the maximum permitted building height is **7.0 metres**. The proposed dwelling exceeds this height limit, resulting in a **non-compliance with the zoning standard**. Resource consent is therefore required for this breach.

### **Earthworks – Rule 25.5.15 (Depth of Cut):**

The proposal includes approximately **80.1 m<sup>3</sup>** of earthworks over an area of **128.9 m<sup>2</sup>**, primarily associated with forming the building platform and accessway.

While most earthworks comply with permitted standards, a **small portion** of the proposed cut will exceed the maximum allowable depth of **2.4 metres** under Rule 25.5.15. The **maximum cut depth is approximately 2.9 metres**, and this exceedance is confined to a **localised area of approximately 3.5 m<sup>2</sup>**. As a result, resource consent is also required for this non-compliance.

These breaches are therefore considered **Discretionary Activities** under the PDP, and resource consent is sought accordingly.

,

## 2.0 Assessment of Effects

### Assessment of Proposed Development Against Chapter 7 – Lower Density Suburban Residential Zone

The proposal is for a new dwelling at 5 Conifer Lane, Queenstown, within the Lower Density Suburban Residential Zone. The site comprises 901 m<sup>2</sup> of land and is subject to steep topography, which is addressed by a terraced multi-level design. The proposal aligns with the objectives and policies of the zone and seeks to maintain and enhance residential amenity values while efficiently using the land.

**7.2.1.1 – Infrastructure Capacity and Integration** The site is located in an established area with full access to public infrastructure, including water, wastewater, stormwater, power, and roading. Site coverage is 37% (333.71 m<sup>2</sup> of 901 m<sup>2</sup>, including decking areas elevated more than 1 m above natural ground level), remaining under the 40% limit. The development is well-integrated and consistent with infrastructure capacity.

**7.2.1.2 – Compatible Development Intensity** The proposed dwelling maximises land use efficiency through a stepped design that follows the site's natural slope. It retains a detached residential character and reflects the surrounding pattern of one- to two-storey homes. The front elevation, as viewed from the street, presents as a single level, while the stepped form reduces overall bulk and enhances compatibility with the suburban context.

**7.2.1.3 – Amenity, Privacy, and Sunlight** The dwelling's height and bulk are moderated through terracing, generous setbacks, and careful orientation. Privacy is maintained through side yard separation and strategic window placement.

A detailed sun study (Sheets A1-04A to A1-04D) models shadow effects from 9 am to 4 pm on 22 June, 22 March, 22 September, and 22 December:

- **June (winter solstice):** Long shadows are cast primarily by the steep hillform to the north. The proposed building does not generate additional shading, and the height infringement has no impact on neighbouring outdoor living areas
- **March & September (equinoxes):** Higher sun angles significantly reduce shading. The over-height portion—including a transparent glazed balustrade—has no adverse impact on outdoor areas at 3 Conifer Lane (Lot 12).
- **December (summer solstice):** Solar access is excellent, with shadows contained near or within site boundaries. No effect on adjacent outdoor living at 3 Conifer lane.

The outdoor living area at 3 Conifer Lane is located to the east and well separated. 9 Conifer Lane (Lot 2) is currently undeveloped; the proposed design respects all boundary and height standards, ensuring future development can maintain amenity.

*Summary:*

- Shading is largely topography-driven.
- The red-shaded height infringement is minimal and includes non-solid balustrade.
- The design responds to seasonal sun movement.
- Neighbouring amenity is fully retained.

**7.2.1.5 – Design Guide Application** The proposal incorporates key principles from the Residential Zone Design Guide 2021:

- Terraced building form responding to topography;
- Vertical cedar and aluminium cladding to reduce bulk;
- Well-connected, usable outdoor spaces including roof decks and gardens;
- Recessed garage and driveway gradient to minimise visual dominance.

**Height Infringement conclusion**

The proposal includes a minor infringement of the 7 m maximum height, affecting parts of the ground and lower levels. A glazed balustrade forms part of this volume and does not contribute to shading or bulk. The sun study confirms no measurable impact on neighbouring outdoor spaces. The terraced form and slope-sensitive design reduce visual effects.

The infringement does not compromise openness, spaciousness, or residential amenity within or beyond the site. The development remains consistent with the intent and outcomes of the Lower Density Suburban Residential Zone.

**Assessment of Earthworks Against Chapter 25 – Earthworks**

The proposal involves approximately 80.1 m<sup>3</sup> of earthworks over 128.9 m<sup>2</sup>, primarily for building platform and driveway formation. A 3.5 m<sup>2</sup> area exceeds the 2.4 m maximum cut depth, reaching approximately 2.9 m.

**25.2.1.1 – Minimise Erosion, Land Instability, and Offsite Discharge** Earthworks are limited and managed using standard sediment control measures. The 29°–33° slope is addressed through terracing. Perched seepage may be present but is manageable. No groundwater encountered.

**25.2.1.2 – Manage Adverse Effects** The cut depth infringement has no significant effect on neighbouring sites or stability. Geocare Ltd confirms improved safety over earlier designs. Fill is minor and no sensitive features are affected.

**25.2.1.3 – Visual Effects on Slopes and Landforms** Excavation is minimised. The 3.5 m<sup>2</sup> cut exceedance is visually minor and will be managed through slope stabilisation or retaining.

**25.2.1.4 – Maintain Urban Amenity** All works are confined to the site. The stepped design and terracing preserve neighbourhood character and visual quality.

**25.2.1.5 – Site-Responsive Design** Stepped floor levels and a mix of shallow and suspended foundations reduce excavation. The infringement is an efficient and necessary solution to the slope.

**25.2.1.6 – Infrastructure and Site Stability** Geotechnical reports confirm no risk to infrastructure or neighbouring land. All foundations are located on schist or engineered fill, with retaining structures to be reviewed in detailed design.

**25.2.1.7 – Minimise Exposed Areas** Earthworks are limited to necessary areas. Construction staging and erosion control will mitigate temporary effects.

**25.2.1.8–1.10 – Heritage, Traffic, Hazards, and Amenity**

- No cultural or archaeological features identified; ADP will apply.
- Construction effects are temporary and manageable.
- A rockfall fence is already in place to address slope hazard.
- No public access or natural features are affected.

**25.2.1.11 – Natural Hazard Risk** No active slope instability observed. Use of schist foundations and engineered fill reduces hazard risk.

**Earthworks Conclusion** The proposed earthworks are minor, site-specific, and supported by geotechnical advice. The 3.5 m<sup>2</sup> cut depth infringement is justified by terrain. The works maintain slope stability and integrate with the landform, aligning with the objectives and policies of Chapter 25.

The proposal will not adversely affect the character or amenity of the surrounding environment.

### Assessment of Overlooking from Proposed Rooftop Balcony – 3 Conifer lane

The primary outdoor living space (decking) of the neighbouring property at 3 Conifer Lane is located on the eastern side of the site, which is on the opposite side of the shared boundary with the subject site. In addition, a narrow covered deck is situated at the south-eastern corner of the property. Due to its location, roof cover, and the separation distance from the subject site, this area is not visible from the proposed rooftop balcony.

The proposed rooftop deck is oriented southward, primarily to capture the lake view. The west-facing elevation of 3 Conifer Lane, which faces the subject site, contains minimal openings or windows, further reducing any potential privacy impacts.

Please refer to the attached plan image and Sheet A1-01b (Overall Site Plan), which illustrate the relative location of the neighbouring outdoor living areas and window openings in relation to the proposed rooftop deck.

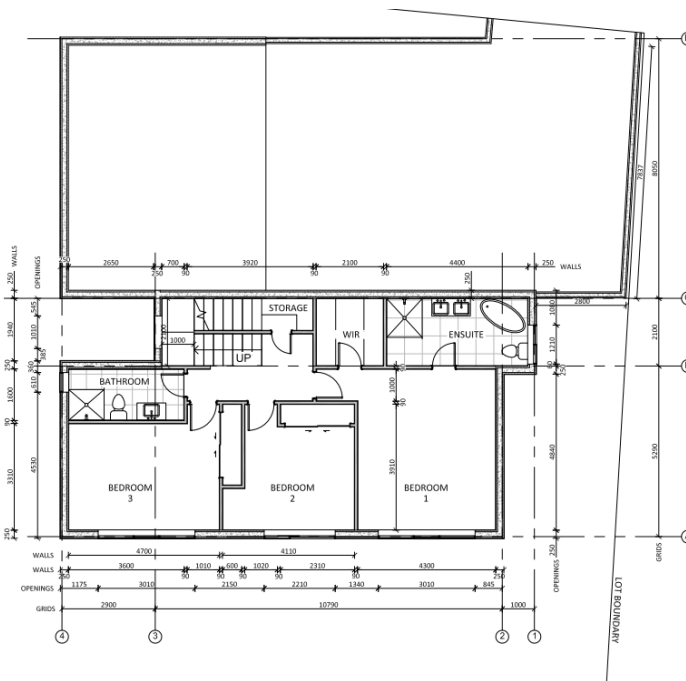


Overall site plan - Subject Lot Rooftop Deck and Neighbouring Properties.

refer to attached A1-01B overall site plan.pdf for detail layout and in scaled measurements.



Ground Floor plan -3 Conifer Lane (left hand side facing the subject lot)



Lower floor plan- 3 Conifer lane (left hand side facing the subject lot)



West Elevation facing subject lot -3 Conifer Lane

### Assessment of Overlooking from Proposed Rooftop Balcony – 9 Conifer Lane

The neighbouring lot at 9 Conifer Lane is currently vacant, with no building constructed. To proactively minimise any potential overlooking effects on this site, the rooftop deck access has been reduced in size, and all rooftop deck access on the western side has been removed. The access point has been recessed up to 6.2 metres from the western edge, as indicated by the red clouding and legend on sheet A1-12. These changes are intended to minimise any future overlooking opportunities and reduce the visibility of high-level glazing from the balustrade toward 9 Conifer Lane.

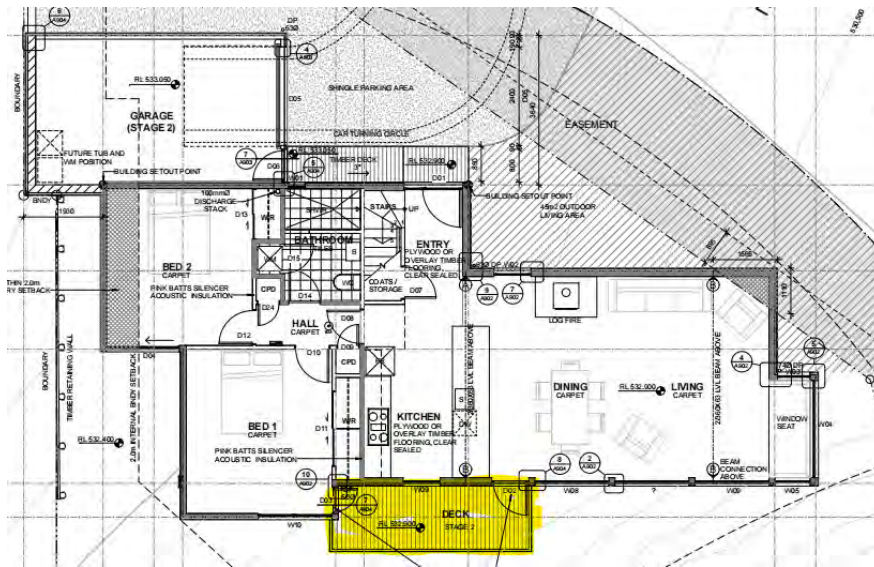
### Assessment of Overlooking from Proposed Rooftop Balcony – 1 Birch Lane

The primary outdoor living area (decking) for the neighbouring property at 1 Birch Lane is located on the southern side of their site, orientated toward the lake view. This area is situated on the opposite side of the dwelling relative to the proposed rooftop balcony on the subject site. The closest separation distance between the proposed rooftop deck and the outdoor deck at 1 Birch Lane is approximately **30 metres**. Due to this orientation and separation, no direct overlooking of the primary outdoor living area will occur.

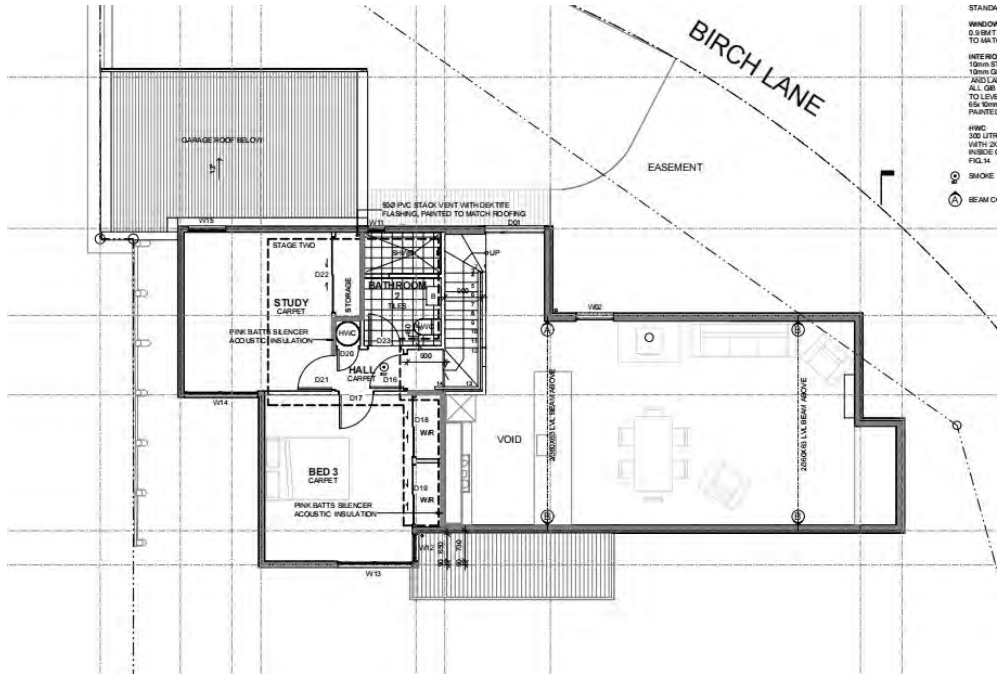
The north elevation of 1 Birch Lane, which faces the subject site, contains the entry door, a stairwell window, two opaque bathroom windows, and one upper-level study window. These openings do not serve primary habitable spaces and are not considered sensitive in terms of privacy.

Existing vegetation, along with a proposed row of Titoki trees along the rear site, will further mitigate any potential overlooking effects.-Refer to updated site plan on sheet A1-01

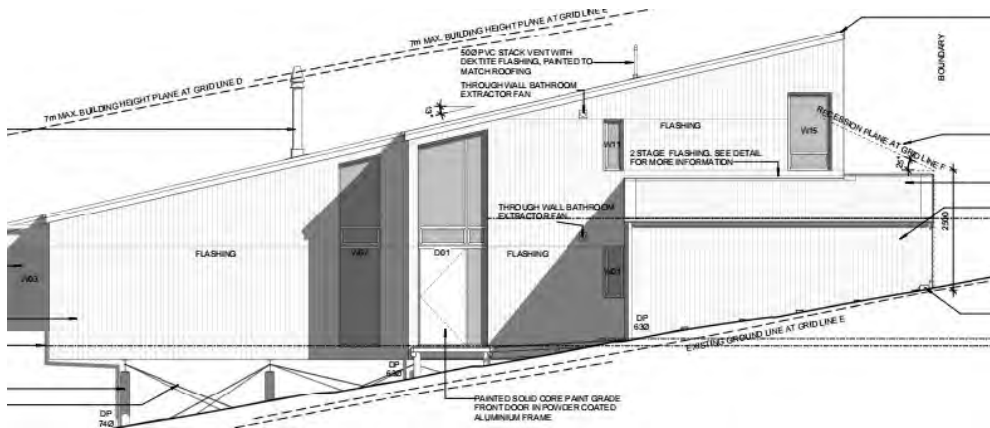
Please refer to the attached plan image and Sheet A1-01b (Overall Site Plan), which illustrate the relative locations of the neighbouring outdoor living areas and window openings in relation to the proposed rooftop deck.



Ground Floor plan of 1 Birch Lane



Upper Floor plan of 1 Birch lane



Elevation facing subject lot -1 Birch lane

### Assessment of Overlooking from Proposed Rooftop Balcony – 1A Birch Lane

The primary outdoor living area (main decking) for the neighbouring property at 1A Birch Lane is located on the southeastern side of the site, oriented toward the lake, and positioned behind 1 Birch Lane. The proposed rooftop balcony faces the side of this deck from a substantial horizontal distance of approximately **40 metres**. Given this orientation and separation, there will be no direct overlooking of the primary outdoor living area.

There is also a secondary north-facing deck accessed from the children's room, office, and dining area. This area features a solid balustrade, which already provides effective privacy screening and further mitigates any potential overlooking concerns.

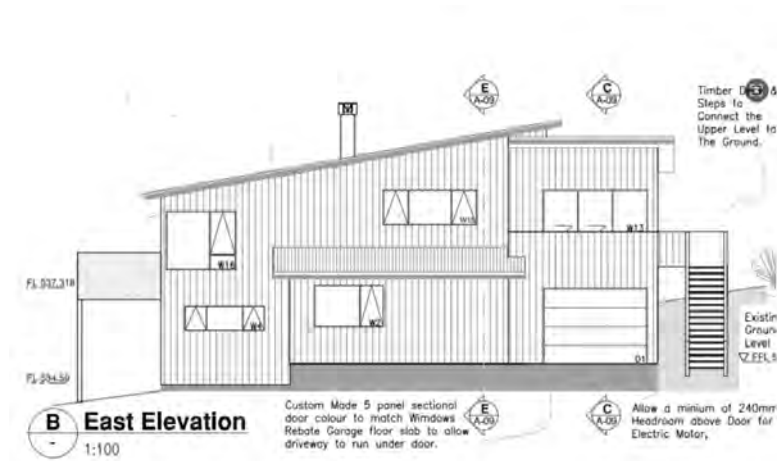
To proactively minimise potential overlooking effects, the rooftop access has been reduced in size, and all rooftop deck access on the western and southern corners has been removed, as shown by the red clouding and legend on Sheet A1-12. These design changes are intended to limit viewing opportunities and reduce the visibility of high-level glazing from the balustrade toward 1A Birch Lane.

Existing vegetation, along with a proposed row of Titoki trees along the rear site, will provide additional **visual screening and physical separation**, further reducing any potential overlooking effects. Refer to the updated site plan on Sheet A1-01.

Please also refer to the attached plan image and Sheet A1-01b (Overall Site Plan), which illustrate the spatial relationship between the proposed rooftop deck and the neighbouring outdoor living areas and window openings.



## Upper floor plan with living and outdoor plan



Elevation facing subject lot and part of the living and decking behind 1 Birch Lane.

### Conclusion on Overlooking:

Given the combination of design revisions (removal of access points, recessed entry), separation distances, building orientation, and proposed planting, the potential adverse privacy effects on neighbouring sites are considered less than minor.

## 3.0 Notification & Written Approvals

As assessed in Section 2, the actual and potential effects of the proposed development are less than minor. There are no affected parties and no special circumstances. Accordingly, this application should be processed on a non-notified basis.

## 4.0 Activity Status and Gateway Test

### 4.1 Activity Status

The proposed rooftop structure exceeds the 7.0m height limit for sloping sites under Rule 7.5.2.3 of the Queenstown Lakes Proposed District Plan – Lower Density Suburban Residential Zone. As such, the activity is **non-complying**.

This is acknowledged and accepted by the applicant.

### 4.2 Gateway Test – Section 104D

Under Section 104D of the RMA, a non-complying activity may only be granted if it passes one of the two limbs of the “gateway test”:

- 104D(1)(a): The adverse effects of the activity on the environment will be no more than minor; or
- 104D(1)(b): The activity is not contrary to the objectives and policies of the District Plan.

This proposal satisfies both limbs:

- The overlooking assessment demonstrates that adverse effects are no more than minor.
- The proposal aligns with the key objectives and policies of the Lower Density Suburban Residential Zone, including maintaining residential amenity and privacy, especially through design mitigation and planting.

## 5.0 Conclusion

Pursuant to Sections 93 to 95 and 104 to 104D of the Resource Management Act 1991:

- The proposal meets the Gateway Test under Section 104D;
- The actual and potential effects are less than minor;
- The development is consistent with relevant objectives and policies.

Accordingly, resource consent should be granted subject to standard conditions.

**APPENDIX 3 – ENGINEERING REPORT**



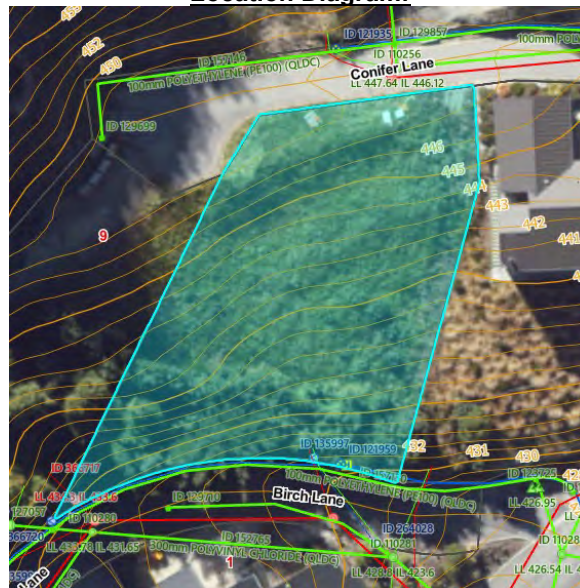
# ENGINEERING REPORT

**TO:** Alex Turner  
**FROM:** Loren King  
**DATE:** 25/06/2025

APPLICATION DETAILS	
REFERENCE	RM250342
APPLICANT	Zenith Residential Ltd
APPLICATION TYPE & DESCRIPTION	Land Use Consent is sought to undertake the construction of a new three-level, five –bedroom standalone residential unit with an earthworks and maximum height infringement
ADDRESS	5 Conifer Lane, Queenstown
ZONING	Lower Density Suburban Residential (PDP)
SITE AREA	901 sq.m
ACTIVITY STATUS	Non-Complying
LEGAL DESCRIPTION	Lot 1 DP 582977

Application	<b>Reference Documents</b>	Application documentation and additional information provided in response to the Request for Further Information (RFI) request
	<b>Previous Relevant Consents</b>	RM180668 (varied by RM191012) Underlying subdivision to create the site and install rock fall protection fence on Lot 2.
	<b>Date of site visit</b>	Site visit photos by Council Land Development Engineer (Vishnu Sai) was used for reference, site visit completed on 16/06/2025


**Location Diagram:**



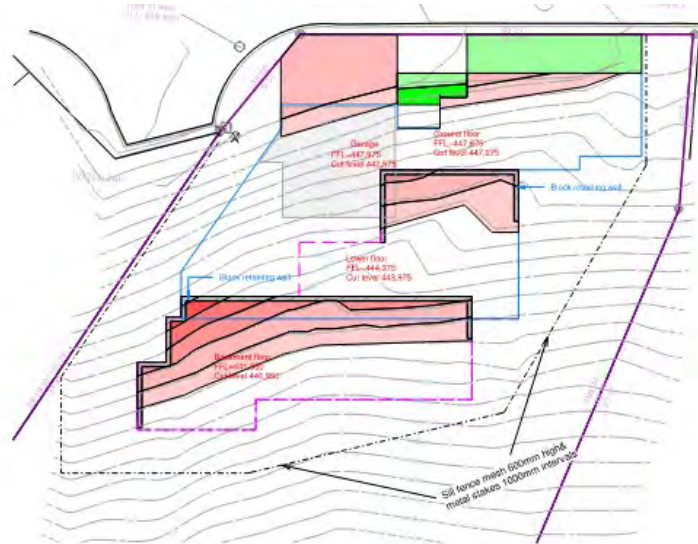


ENGINEERING			COMMENTS	Condition
TRANSPORT	Access	Parking	<p><b>Number of parks:</b></p> <p>A double garage is proposed as part of the residential unit providing onsite parking provisions for 2 vehicles.</p> <p>As the PDP does not include recommendations for the number of car parking spaces to be provided, <b>I defer to the council planner to confirm the number of car parking spaces proposed is adequate.</b></p> <p><b>Dimensions:</b></p> <p>The internal dimensions of the garage are 5.8m width and 5.7m length. The garage is considered adequate for two vehicles to park onsite and meets the carpark size requirement outlined in Table 29.7 of the Proposed District Plan (PDP). The proposed garage also complies with PDP Rule 29.5.7 which requires the length of garage to be a minimum of 5.5m.</p> <p><b>Manoeuvring:</b></p> <p>Manoeuvring space is not provided onsite, however manoeuvring is provided via a formed turning head adjacent to the site entrance within Conifer Lane, a private access lot. Tracking curves for a B85 vehicle have been shown on the plans provided. These tracking curves show users are able to manoeuvre and leave Conifer Lane in a forward direction. I am satisfied the proposed will not result in any unsafe traffic outcomes and I make no recommend condition to this.</p>	



ENGINEERING	COMMENTS	Condition
<p style="writing-mode: vertical-rl; transform: rotate(180deg);"><b>EARTHWORKS</b></p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);"><b>Extent</b></p>	<p>In order to suit the existing topography of the site, it has been proposed to undertake the residential development in a step formation with ground floor and vehicle access including parking provided approximately at the same level as Conifer Lane and the lower and basement floor located within the central portion of the site supported on pile footings and block walls as shown below:</p> 	
	<p><b>Cut /Fill Volume (m<sup>3</sup>)</b></p> <p>Cut = 73.1m<sup>3</sup> Fill = 7m<sup>3</sup></p>	
	<p><b>Total Volume (m<sup>3</sup>)</b></p> <p>80.1m<sup>3</sup> When considering PDP Rule: 25.4.2 permits up to 300m<sup>3</sup> in this zone. Proposed earthworks volumes are within the permitted limit.</p>	
	<p><b>Area Exposed (m<sup>2</sup>)</b></p> <p>129m<sup>2</sup></p>	
	<p><b>Max Height Cut/Fill (m)</b></p> <p>Cut = 2.9m The proposed earthworks will be in breach of the PDP rule 25.5.15 (cut height 2.4m) for exceeding maximum height of cut. Fill = 1m The proposed earthworks fill will meet PDP rule 25.5.16 (fill up to 2m)</p>	

As shown below in the earthworks cut and fill below, earthworks are mainly in the north and central area of the site.



**Northern Boundary:** There are minor earthworks adjacent to the northern boundary. Cut is proposed to form the vehicle access to the garage, this cut will be battered for the vehicle access and formed at a gradient of 1 in 8, the earthworks plan indicated up to 1.0m depth of cut within the site. Also adjacent the boundary is fill up to 0.5m to form the hard paving between the boundary and the garage. The proposed earthworks meet PDP rule 25.5.18.

The Geotechnical report titled 'Geotechnical Review Report For Architectural Drawings at 5 Conifer Lane, Queenstown', Project Number 0057-GR-Ver B dated 19 June 2025" outlines there is uncontrolled fill up to 3m deep in the northern portion of the site and recommends permanent retaining will be required along the northern boundary to protect uncontrolled material placed during construction of Conifer Lane from being undermined during excavation. However no permanent retaining is proposed along the northern boundary.

In response to the Request for further information (RFI) revision B of the Geocare report and email correspondence dated 24/06/2025 were provided confirming the non-engineered fill would be replaced with engineered fill and recommends removal up to maximum 2m in depth as considered less instability risk. The lower floor block retaining wall will be designed with appropriate surcharges and provide permanent retaining. Temporary Earthworks/ Construction methodology has been provided and outlines the lower floor retaining wall to be installed followed by staged excavation fill up to 2m in depth and maximum 8m in length.

While the recommendations outline temporary instability will be minimised by methodology provided. I recommend a monitoring condition that the earthworks are contained within the site boundary.

**Eastern Boundary:** No excavations in close proximity to the eastern boundary of the site

**Southern Boundary:** No excavations in close proximity to the southern boundary of the site

**Western Boundary:** The proposed cuts near the western boundary are up to 2.9m in depth and have sufficient off set from the boundary by 3.0m. Permeant retaining is proposed to stabilise this cut. The proposed earthworks meets PDP rule 25.5.18

Prox. to Boundary

x

<b>Stability</b>	<b>Prox. to Water</b>	No water bodies are located in close proximity to the site, Lake Wakatipu is located 380m from the site.	
	<b>Geotech assessment by</b>	Geocare Ltd	
	<b>Report reference</b>	<p>Report titled: Geotechnical review report for architectural drawings at 5 Conifer Lane, Queenstown dated 19/06/2025 version B and includes previous reporting for the underlying lot.</p> <ul style="list-style-type: none"> <li>• Geotechnical Completion Report and Schedule 2A 7 Conifer Lane RM 19102 by GeoSolve Ref 160136.03 dated 2/12/2025</li> <li>• Geotechnical report prepared for 7 Conifer Lane, Queenstown by GeoSolve, Ref 160136.03 dated 10/02/2022 for the underlying lot.</li> </ul>	
	<b>Report comment</b>	<p>The above referenced geotechnical report includes below relevant comments and recommendations:</p> <ul style="list-style-type: none"> <li>• <i>The stratigraphy of the site comprises topsoil, colluvium and uncontrolled fill overlying schist bed rock.</i></li> <li>• <i>No evidence of existing Slope stability identified onsite</i></li> <li>• <i>Schist rock contains a foliation defect, if exposed by cut there is a risk of instability at the site with respect to foliation.</i></li> <li>• <i>Review of the QLDC planning maps indicated the site is classed as LIC 1 with respect to liquefaction this is considered low risk but requires further specific investigation.</i></li> <li>• <i>Where encountered all uncontrolled fill material across the site will need to be removed and backfilled with engineered fill to design levels.</i></li> <li>• <i>Detailed assessment of the proposed rock cuts will be required. Pilot cuts to be undertaken ahead of bulk excavation are recommended to enable cut stability and appropriate design. Ref Section 5.4.2</i></li> <li>• <i>The Geotechnical completion report outlines 'that NZ3604 foundations will not be appropriate for development on the lot due to significant variation in the ground model, resulting in consistent good ground as outlined in NZS3604 not consistently present. Specific Engineering Design (SED) will be required for development of this lot'. This requirement is included in the site consent notice.</i></li> <li>• <i>Report includes recommendations on site preparations, excavations, ground retention, seismic risk and others.</i></li> </ul> <p>I accept the expert assessment and recommend a related condition that the earthworks are undertaken in accordance with the recommendations of the above mentioned report.</p> <p>I recommend a condition reflecting the consent notice for site specific design of all foundations.</p>	<b>XX</b>
	<b>Rock breaking</b>	<p>Required due to presence of rock cuts. A vibration related advice note recommended.</p> <p><b>I am satisfied this assessment will be reviewed as part of the planning assessment.</b></p>	<b>X</b>
<b>Rock blasting</b>	Not anticipated		

	<b>Preconstruction survey</b>	Required for works undertaken in close proximity to the northern and western boundary. Related advice note is recommended	<b>x</b>
	<b>Retaining</b>	The plans indicate block retaining walls are proposed around the outer edges of the proposed cut of two of the building platform levels, this will provide permanent stability to the cuts undertaken within the site. I am satisfied that the block walls will be further assessed under the Building Consent application as they form a part of the building and make no further comments in this regard. <b>Boundary Retaining Walls:</b> I recommend a related retaining wall advice note regarding the requirement to obtain building consent when the retention heights exceed 1.5m or retaining of any height when subject to additional surcharges.	<b>xx</b>
	<b>Recommendations on cut/batter slopes</b>	As per the recommendations of the geotechnical report.	<b>x</b>
	<b>Fill certification/specific foundation design required</b>	The plans submitted with the application indicate there will be no fill placed within the building footprint. However the geotechnical report recommends any uncontrolled material encountered requires removal and to be replaced with fill to the design levels. Uncontrolled fill is present within the building footprint of the garage, ground floor and lower floor. The applicants will need to ensure that fill is placed in accordance with NZS 4431:2022 and QLDC standards. As per consent notice the foundations of the building are designed appropriately according to soil conditions. An appropriate condition is recommended.	<b>xx</b>
	<b>Engineers supervision</b>	As per Geocare report recommendations and conclusions found within this report, engineers supervision is 'required' Related condition is recommended.	<b>x</b>
	<b>Uncertified fill covenant</b>	Not required	
	<b>Schedule 2a Certificate</b>	Not Required	
	<b>Clean fill</b>	As the volume of cut is greater than fill, it is expected the excess cut material will be transported off site via road. The volume is expected to be less than 300m <sup>3</sup> and permitted under 25.2.21. As unsuitable material identified this may require removal and clean fill imported thus increasing truck movements. I recommend a related TMP condition to be implemented within Conifer Lane ensuring the normal usage of the access remains unaffected by truck movements to and from the site.	<b>x</b>
<b>Site Management</b>	<b>Report reference</b>	<b>I understand the Council planner will directly assess any site management requirements against the provisions and requirements of the Council adopted Guidelines for Environmental Management Plans dated June 2019 (EMP) and provide any necessary comment and/or conditions.</b>	
	<b>Specific sedimentation management</b>		
	<b>Specific stormwater management</b>		

	<b>Neighbours</b>	I am satisfied that the earthworks are feasible and no instability effects will result on neighbouring sites provided the recommendations of the geotechnical report and the methodology provided with RFI are followed.	<b>x</b>
	<b>Revegetation</b>	An appropriate condition is recommended to ensure all exposed areas are stabilised or re-vegetated at the completion of earthworks.	<b>x</b>

<b>SERVICES</b>	<b>Existing Services</b>		The site has existing potable water, wastewater, stormwater service connections from Birch Lane. The site also has power and telecom communication connections. Each of the services have been discussed below.	
	<b>Water</b>	<b>Potable</b>	There is an existing 150mm diameter reticulated water main within Birch lane that crosses into the south east corner of the site, this reduces to a 50mm when alignment returns to the access lot. There is a 20mm diameter service connection to the lot from the 50mm diameter watermain. I am satisfied that connecting to these services will be a requirement of Building Consent and further assessment at this time and therefore make no condition recommendations.	
		<b>Fire-fighting</b>	The site is within 135m of a fire hydrant on Birch Lane and another on Oliver Place.  The Council GIS maps indicate that the two hydrants are located within the required distances of 135m and 270m as specified in SNZ PAS 4509:2008.  I am satisfied these hydrants meets SNZ PAS 4509:2008 requirements for firefighting. I recommend no firefighting related conditions for this development	
	<b>Effluent Disposal</b>		There is an existing Council wastewater reticulation with a 100mm diameter service connection to the lot position at the lowest point of the site. The code of practice recommendations found in table 5.3 identifies the minimum pipe size for property connection and limits 100mm connections to service no more than one residential unit.  I am satisfied that connecting to these services will be a requirement of Building Consent and further assessment at this time and therefore make no condition recommendations.	

	<b>Stormwater</b>	<p>PDP rule 7.5.5 allows up to 40% of the site to be covered by the building. The proposed building will cover 37% which is permitted. As shown below from the architectural plans.</p> <p style="text-align: center;">SITE DESCRIPTION</p> <table border="1" data-bbox="618 317 1157 472"> <tr> <td>Lot</td> <td>1</td> </tr> <tr> <td>DP</td> <td>582977</td> </tr> <tr> <td>Site Area</td> <td>901 sqm</td> </tr> <tr> <td>Proposed building cover area</td> <td>333.71 sqm</td> </tr> <tr> <td>Driveway &amp; Pathway</td> <td>38.17 sqm</td> </tr> </table> <p style="text-align: center;">SITE COVERAGE</p> <table border="1" data-bbox="618 611 1284 724"> <tr> <td>Residential Zone</td> <td>Lower Density Suburban Residential</td> </tr> <tr> <td>Building Coverage</td> <td><math>333.71/901=37% &lt; 40%</math></td> </tr> </table> <p>There is an existing Council stormwater reticulation located on Birch Lane with a 100mm diameter connection to service the site positioned at the lowest point of the site. I am satisfied that connecting to these services will be a requirement of Building Consent and further assessment at this time and therefore make no condition recommendations.</p>	Lot	1	DP	582977	Site Area	901 sqm	Proposed building cover area	333.71 sqm	Driveway & Pathway	38.17 sqm	Residential Zone	Lower Density Suburban Residential	Building Coverage	$333.71/901=37% < 40%$	
Lot	1																
DP	582977																
Site Area	901 sqm																
Proposed building cover area	333.71 sqm																
Driveway & Pathway	38.17 sqm																
Residential Zone	Lower Density Suburban Residential																
Building Coverage	$333.71/901=37% < 40%$																
	<b>Power &amp; Telecoms</b>	<p>As part of the underlying subdivision consent power and telecommunication connections were required prior to 224c.</p>															

<b>TITLES</b>	<b>Consent Notices</b>	<p>A copy of the consent notices registered on the title have been provided with the application, and include the following engineering conditions.</p> <p><b><u>5167204.4 Consent Notice</u></b>  The condition requires <i>‘that building platforms, earthworks and associated house foundations to have site specific engineering design of all cut slopes and fill over 2m in height’.</i></p> <p><b><u>12658931.3 Consent Notice</u></b>  Conditions  a) not applicable  b) not applicable  c) <i>“At the time a residential unit is constructed the owner for the time being shall construct a sealed vehicle crossing to the stie to Council’s standards. The design of the vehicle crossing shall be subject to the approval by Council under a “Connection to Council Service Application. The approval should be obtained and construction of the crossing approved by a council inspector prior to occupation of the residential unit”. I recommend a condition that the vehicle crossing is constructed to Council Standards.</i>  d) <i>“Good Ground in accordance with NZS3604 has not been confirmed on these lots as they contain areas of uncontrolled fill, colluvium and schist bedrock collectively providing inconsistent bearing and potential differential settlement. In accordance with recommendations of the “ Geotechnical Completion Report and Schedule 2A, 7 Conifer Lane RM191012, prepared by Geosolve Ltd dated 2 December 2022, Revision 1 (Geosolve Ref 160136.03 these lots all require site specific engineering design (SED) of all building foundations”. I recommend a condition to ensure the foundations are SED</i></p> <p><b><u>5167204.5 Consent Notice</u></b>  Conditions not applicable.</p> <p><b>I defer to the planner to consider if the proposed development meets the remaining conditions</b></p>	<b>XX</b>
---------------	------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------

## 1.0 **RECOMMENDED CONDITIONS**

It is recommended that the following conditions are included in the consent decision:

### ***General***

1. All physical development works including retaining walls, documentation and other consent obligations shall be carried out in accordance with the requirements of the Queenstown Lakes District Council’s policies and standards, being QLDC’s Land Development and Subdivision Code of Practice adopted on 17th April 2025 and subsequent amendments to that document up to the date of issue of any resource consent.

*Note: The current standards are available on Council’s website via the following link:*  
<https://www.qldc.govt.nz>

**To be completed prior to the commencement of any works on-site**

2. The consent holder shall implement the following traffic management measures within Conifer Lane during earthworks within the site:
  - Suitable site warning signage shall be in place on the road in both directions from the site entrance.
  - Safe sight distances shall be maintained at all times
  - Safe passing provision for pedestrians and cyclists shall be maintained at all times.
3. At least 7 days prior to commencing excavations, the consent holder shall provide the Manager of Resource Management Engineering at Council with the name of a suitably qualified geo-professional as defined in Section 1.7 of QLDC's Land Development and Subdivision Code of Practice who is familiar with the Geotechnical Report by Geocare Ltd within the report titled 'Geotechnical Review Report For Architectural Drawings at 5 Conifer Lane, Queenstown, Project Number 0057-GR-Ver B dated 19 June 2025 report and who shall supervise the excavation, earthworks, pilot and rock cuts, fill procedures and retaining wall construction and ensure compliance with the recommendations of this report. This engineer shall continually assess the condition of the excavation and shall be responsible for ensuring that temporary retaining is installed wherever necessary to avoid any potential erosion or instability.
4. The owner of the land being developed shall provide a letter to the Manager of Resource Management Engineering at Council advising who their representative is for the design and execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.
5. Prior to commencing any work onsite site the consent holder shall undertake Specific Engineering Design of all cut slopes and fills over 2m in height related with the building platform, earthworks and associated house foundations.

**To be monitored throughout earthworks**

6. The consent holder shall undertake the excavation, temporary works, retaining walls, foundations and batter slopes in accordance with the report prepared by Geocare Ltd titled "*Geotechnical review report for architecture drawings at 5 Conifer Lane, Queenstown, Geocare reference 0057-GR dated 19-06-2025 Version B*".
7. A suitably qualified professional as defined in Section 1.7.2 of QLDC's Land Development and Subdivision Code of Practice shall monitor and confirm the ground conditions and cut depths encountered are those expected and designed for in the Geotechnical Report by Geocare Ltd within the report titled "*Geotechnical Review Report For Architectural Drawings at 5 Conifer Lane, Queenstown, Project Number 0057-GR-Ver B dated 19 June 2025*" report. Should the site conditions be found unsuitable for the proposed retaining methods, then a suitably qualified and experienced engineer shall submit to the Council new designs/work methodologies for the excavation/retention systems prior to further work being undertaken with the exception of work to stabilise the site in the interim.
8. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
9. Cuts shall be backfilled against the completed retaining walls and topsoiled and revegetated or otherwise stabilised as soon as practicable.

10. No earthworks, temporary or permanent, are to breach the boundaries of the site except for the works required for the vehicle crossing.

***On completion of earthworks***

11. On completion of earthworks within the building footprint and prior to the construction of the residential unit, the consent holder shall ensure that:

- a) Certification from a suitably qualified geo-professional experienced in soils investigations is provided to the Manager of Resource Management Engineering at Council, in accordance with NZS 4431:2022, for all areas of fill within the site on which buildings are to be founded (if any). Note this will require supervision of the fill compaction by a suitably qualified geo-professional;

And

- b) The foundations of the residential unit are specifically engineer designed by a suitably qualified engineer taking into consideration any areas of uncertified fill onsite and the inconsistent available bearing characteristics of the site and not meeting good ground in accordance with NZS 3604.

***On completion of earthworks and prior to occupation of the residential unit***

12. On completion of the earthworks, and prior to the occupation of the residential unit the consent holder shall complete the following:

- a) All earthworked areas shall be top-soiled and revegetated or otherwise permanently stabilised.
- b) The provision of a sealed vehicle crossing/access that shall be constructed to the site from Conifer Lane in accordance with the stamped as approved plans to Council's standards, provision shall be made for stormwater disposal.
- c) The construction and sealing of all vehicle manoeuvring and car parking areas to Council's standards. Provision shall be made for stormwater disposal from all impermeable surfaces
- d) The consent holder shall remedy any damage to all existing road surfaces and berms that result from work carried out for this consent.

**Advice Note**

1. The consent holder is advised that any retaining walls, including stacked stone and gabion walls, proposed in this development which exceeds 1.5m in height or walls of any height bearing additional surcharge loads will require Building Consent, as they are not exempt under Schedule 1 of the Building Act 2004.
2. The consent holder is advised to undertake a pre-construction condition survey, including photographs, to record the existing condition of all neighbouring buildings, landscaping and roads that lie within 20m of the proposed works. The extent of the pre-construction survey is related to the site and its surrounds and the associated potential risks. The existing condition of roading, landscaping and structures needs to be documented by way of photos, focusing on any damage that is already apparent. Items such as minor cracking in plaster will be very difficult to identify, and in these cases other methods would need to be employed to determine if they were formed as a result of the consented works. The survey will never cover everything but it aims to provide a record that can be reviewed in the event of a complaint or issue being raised.

3. If at any time Council officers, or its elected representatives, receive justifiable complaints about or proof of effects from vibration sourced from the earthworks activities approved by this resource consent, the consent holder at the request of the Council shall cease all earthworks activities and shall engage a suitably qualified professional who shall prepare a report which assesses vibration caused by earthworks associated with this consent and what adverse effect (if any) these works are having on any other land and/or buildings beyond this site. Depending on the outcome of this report, a peer review may be required to be undertaken by another suitably qualified professional at the consent holder's expense. This report must take into consideration the standard BS 5228:1992 or a similar internationally accepted standard. Both the report and peer review (if required) shall be submitted to Council for review and certification. The Consent holder shall implement any measures proposed in the report that will mitigate any negative effects of the vibration.

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Prepared by:  
Loren King

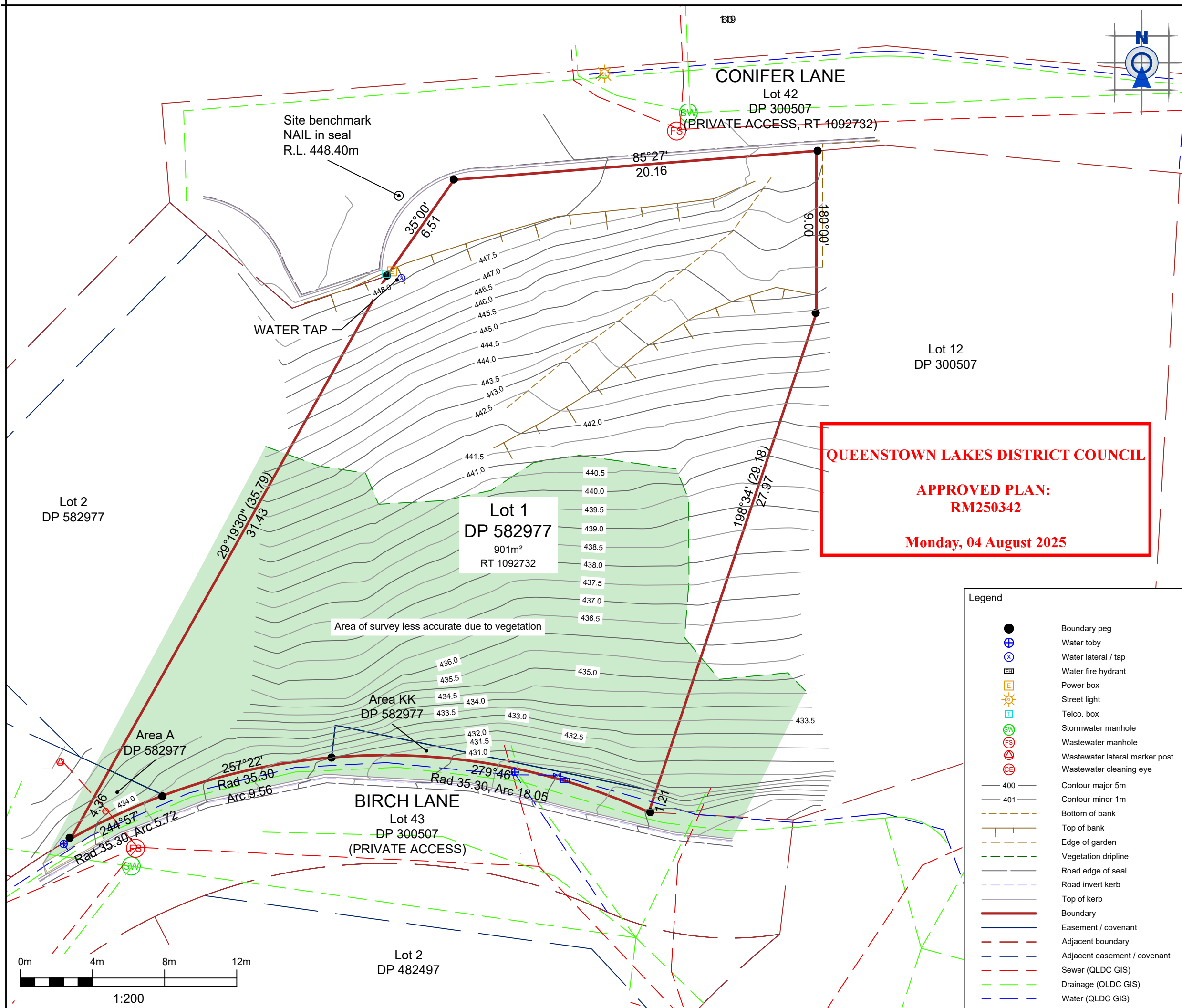


**LAND DEVELOPMENT  
ENGINEER**

Reviewed by:



**TEAM LEADER - RESOURCE  
MANAGEMENT ENGINEERING**



**NOTES:**

**Plan Information**

- This plan includes information from site surveys (February 2024) of visible services and surface features existing at the time of survey.
- Digital format files are available on request to Paterson Pitts Group.

**Coordinates and Orientation**

- Coordinates and bearings are in terms of Geodetic Datum 2000, Mount Nicholas Circuit grid projection.
- Subject boundary dimensions are calculated from the Title Plan, DP 582977.
- Boundary dimensions for adjacent parcels are as sourced from the LINZ digital cadastral database (DCDB), LandOnline, February 2024. No warranties are given by Paterson Pitts Group as to adjacent parcel boundary and easement accuracy recorded in the DCDB.
- Levels are in terms of New Zealand Vertical Datum 2016 (NZVD16), using the NZGeoid2016 geoid model.
  - Origin of Levels: D 172/A, R.L. 356.604m (LINZ Geodetic Database)
  - Site Bench Mark: NAIL, R.L. 448.40m

**General Disclaimer**

- This plan and its contents should not be used for any reason other than its intended purpose. This plan and surveyed information does not include assessment or representations concerning:
  - Hazard registers, ground conditions, or suitability for development.
  - 'Ground level' as defined by the QLDC District Plan, or other District Plan representations.
  - The identity, correctness, or usability of utility services portrayed, or service connections to utility networks.
- The user of this survey information should confirm the correctness of any utility services indicated on the plan with the utility providers. Utility providers should be consulted to mark out underground services on the ground prior to any construction on or near the site. Levels of utilities from other sources may not be expressed in the same terms as this plan and survey information.
- Refer to the Record of Title (RT) and title plan(s) for any registered easement(s), covenant(s), and/or interest(s).

**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM250342**

**Monday, 04 August 2025**

**PATERSONPITTS**GROUP  
 Surveying • Planning • Engineering  
 Your Land Professionals  
 www.ppgroup.co.nz  
 0800 PPGROUP

**QUEENSTOWN**  
 1092 Frankton Road  
 Frankton  
 Queenstown 9300  
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 E queenstown@ppgroup.co.nz

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Client & Location:  
**CINDY LIAO**  
 5 CONIFER LANE, QUEENSTOWN

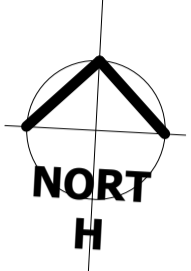
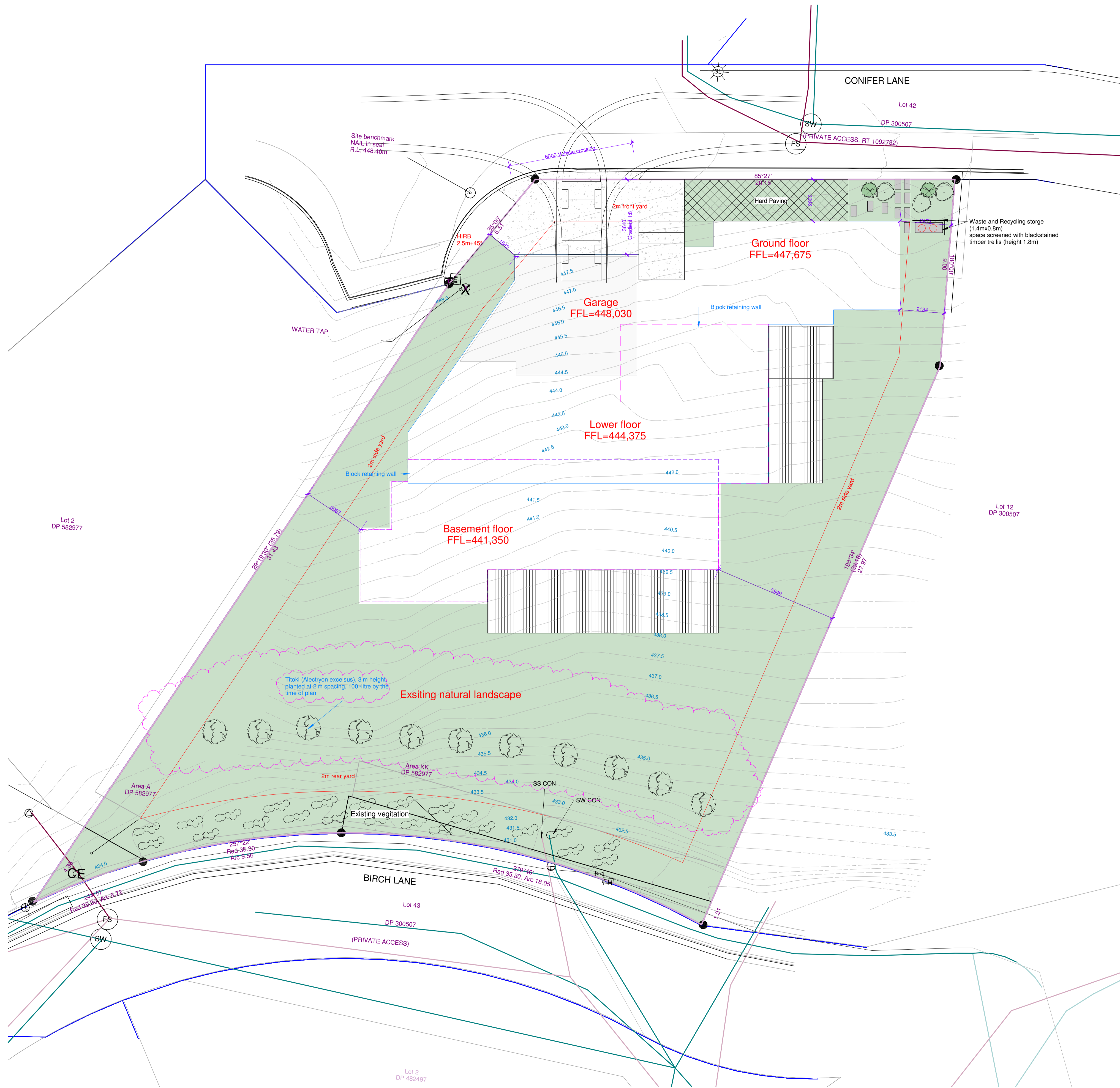
Purpose & Drawing Title:  
**TOPOGRAPHICAL SURVEY**

**FOR INFORMATION**

**Legend**

●	Boundary peg
⊕	Water toby
⊗	Water lateral / tap
⊞	Water fire hydrant
⊞	Power box
☀	Street light
⊞	Telco. box
⊞	Stormwater manhole
⊞	Wastewater manhole
⊞	Wastewater lateral marker post
⊞	Wastewater cleaning eye
— 400 —	Contour major 5m
— 401 —	Contour minor 1m
- - - - -	Bottom of bank
- - - - -	Top of bank
- - - - -	Edge of garden
- - - - -	Vegetation dripline
- - - - -	Road edge of seal
- - - - -	Road invert kerb
- - - - -	Top of kerb
— — — — —	Boundary
— — — — —	Easement / covenant
- - - - -	Adjacent boundary
- - - - -	Adjacent easement / covenant
- - - - -	Sewer (QLDC GIS)
- - - - -	Drainage (QLDC GIS)
- - - - -	Water (QLDC GIS)

Surveyed by:	SMA	Original Size:	Scale:
Designed by:		A3	1:200
Drawn by:	DB		
Checked by:		<b>DO NOT SCALE</b>	
Approved by:		Job No:	Revision No. Date:
		Q7623	A 25/03/2024



**SITE DESCRIPTION**

Lot	1
DP	582977
Site Area	901 sqm
Proposed building cover area	333.71 sqm
Driveway & Pathway	38.17 sqm
Landscaped permeable surface	529.12 sqm

**SITE COVERAGE**

Residential Zone	Lower Density Suburban Residential
Building Coverage	333.71/901=37%<40%
Landscaped permeable surface Coverage	529.12/901=58.73%>30%

- Legend**
- Basement floor outline ---
  - Lower floor outline ---
  - Ground floor outline ---
  - Roof outline ---
  - Building area
  - Decking area
  - Concrete
  - Landscape area
  - Paving

1 : 100 Plan  
A1-01 Site Plan

J Studio Ltd  
agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**SITE PLAN**

SCALE @ A1= As indicated

DESIGN JH  
DRAWN JW

**ARCHITECTURAL**

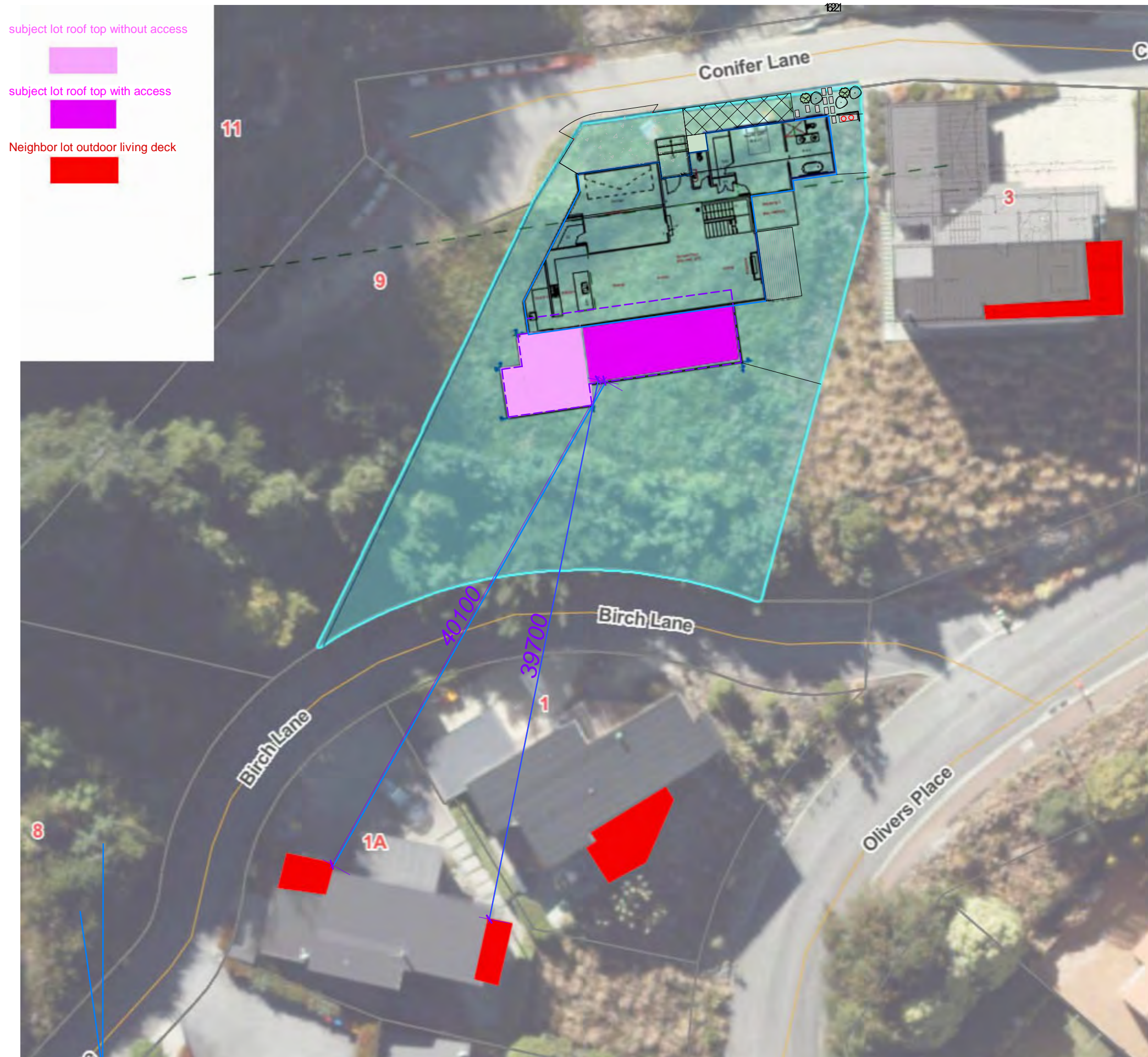
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**A1-01** **D**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
SITE BEFORE COMMENCING ANY WORK

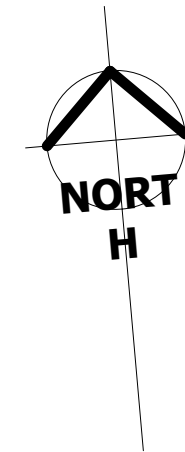
**QUEENSTOWN LAKES DISTRICT COUNCIL**

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- subject lot roof top without access
- subject lot roof top with access
- Neighbor lot outdoor living deck



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 APPROVED PLAN:  
 RM250342  
  
 Monday, 04 August 2025

J Studio Ltd  
 agoodweekend@gmail.com  
 Tel: 09 4145366

Project Number: 225005  
**NEW DWELLING**  
 5 Conifer Lane, Queenstown

Sheet  
 Site overall plan with  
 neighbor lots

SCALE @ A3= 1 : 300

DESIGN	Designer
DRAWN	Author

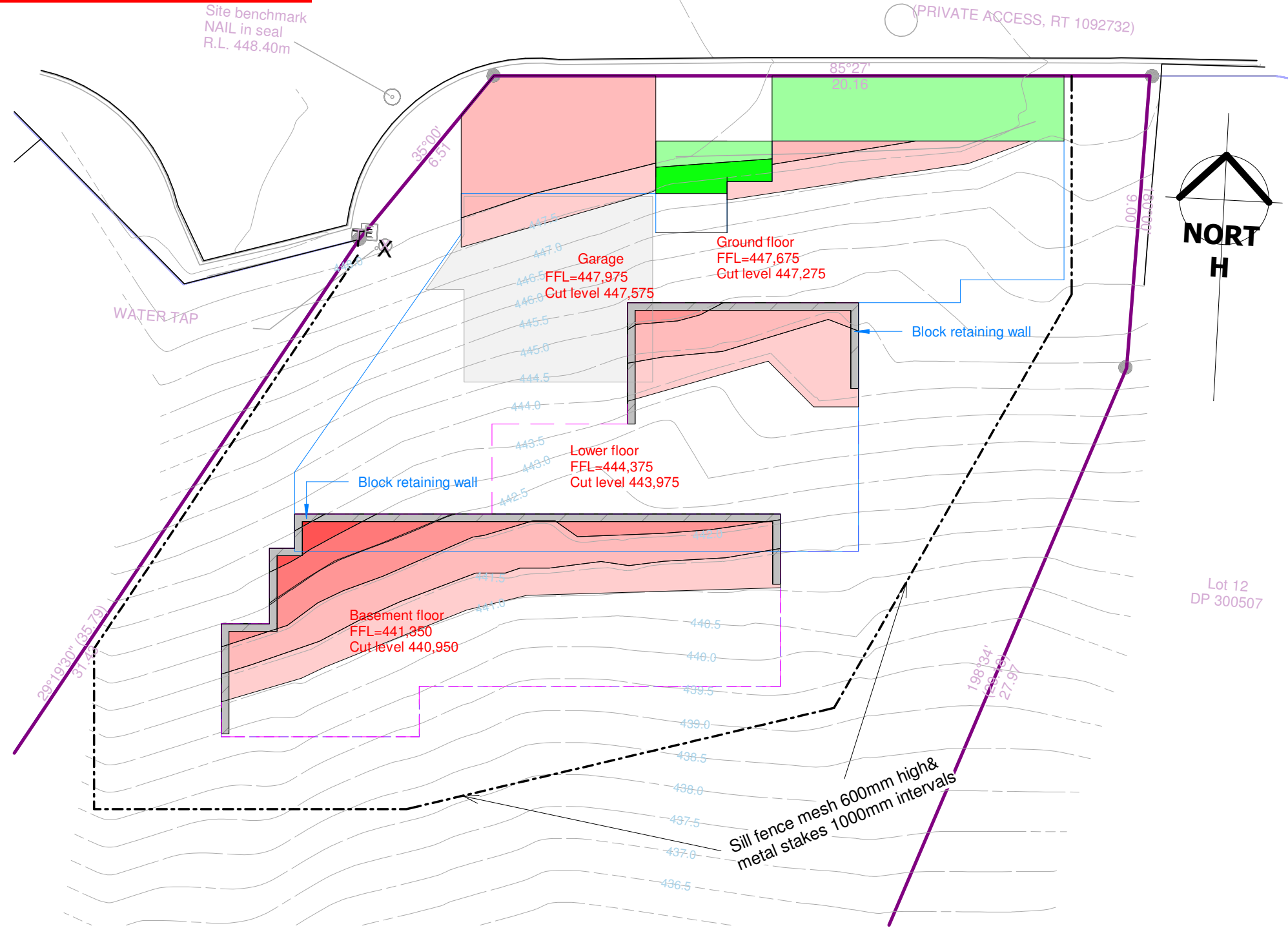
## ARCHITECTURAL

Drawing Number	Revision
<b>A1-01B</b>	<b>D</b>

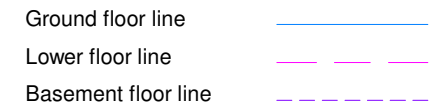
DO NOT SCALE OFF THIS DRAWING  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON  
 SITE BEFORE COMMENCING ANY WORK

1

1 : 300 Plan  
 A1-01b Site overall with neighbors outdoor living plan



Legend



Fill Area	23.2m <sup>2</sup>	7m <sup>3</sup>
Cut Area	105.7m <sup>2</sup>	73.1m <sup>3</sup>
Earthwork	128.9m <sup>2</sup>	80.1m <sup>3</sup>

Note: Maintain the Stabilized Construction Entrance in a condition to prevent sediment from leaving the construction site. After each rainfall inspect any structure used to trap sediment from the Stabilized Construction Entrance and clean out as necessary. When wheel washing is also required, ensure this is done on an area stabilized with aggregate which drains to an approved sediment retention facility.

J Studio Ltd.  
agoodweekend@gmail.com

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**SITE MANAGEMANT PLAN**

DESIGN	JH
DRAWN	QL

SCALE @ A3= As indicated

1 1 : 150 Plan  
A1-02 MANAGEMANT PLAN

**ARCHITECTURAL**

Drawing Number Revision

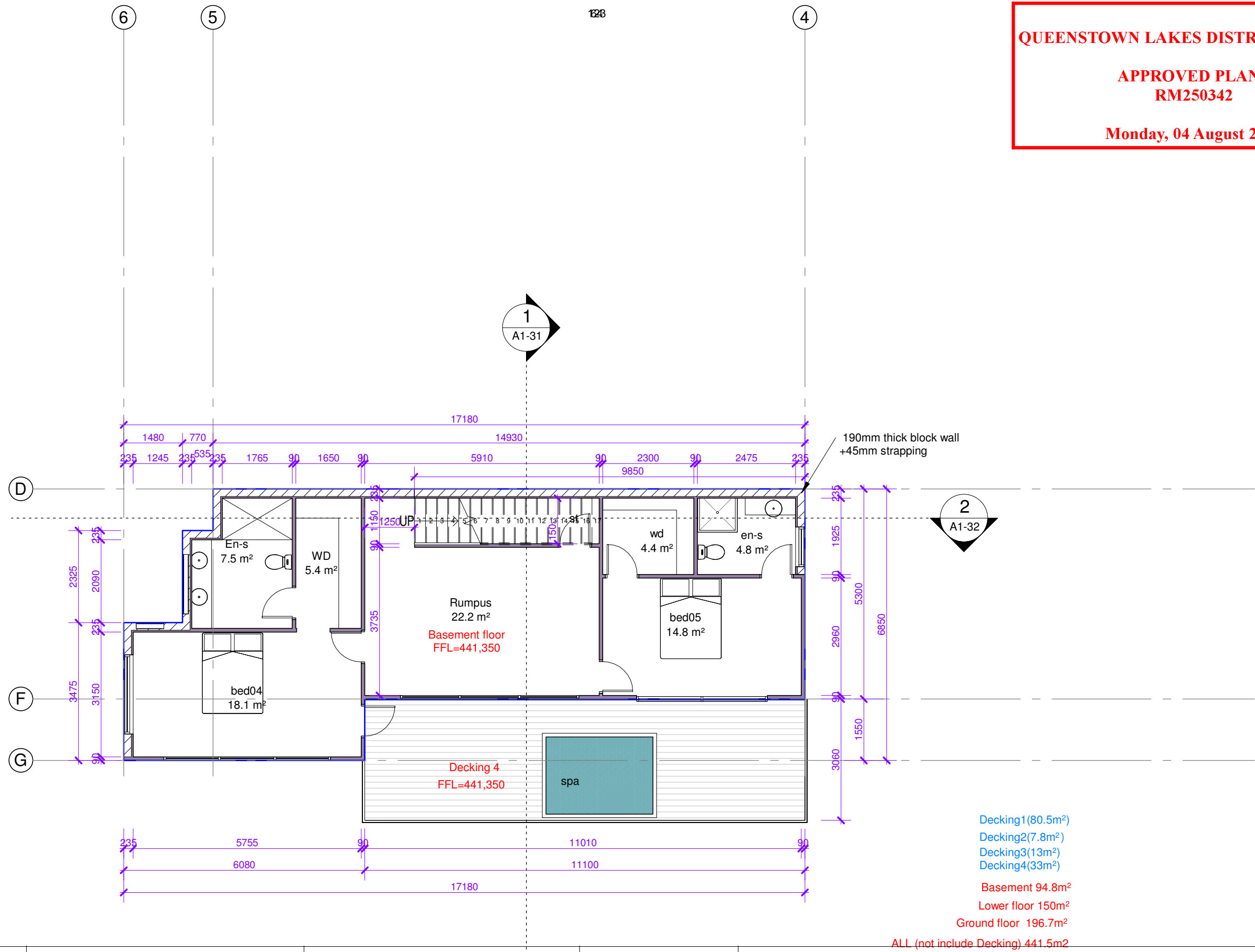
**A1-02** **A**

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RM250342**

**Monday, 04 August 2025**



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agoodweekend@gmail.com  
09 4145366

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Basement Floor**

SCALE @ A3= 1 : 100

DESIGN	Designer
DRAWN	Author

1

1 : 100 Plan  
A1-10 Basement Floor Plan

**ARCHITECTURAL**

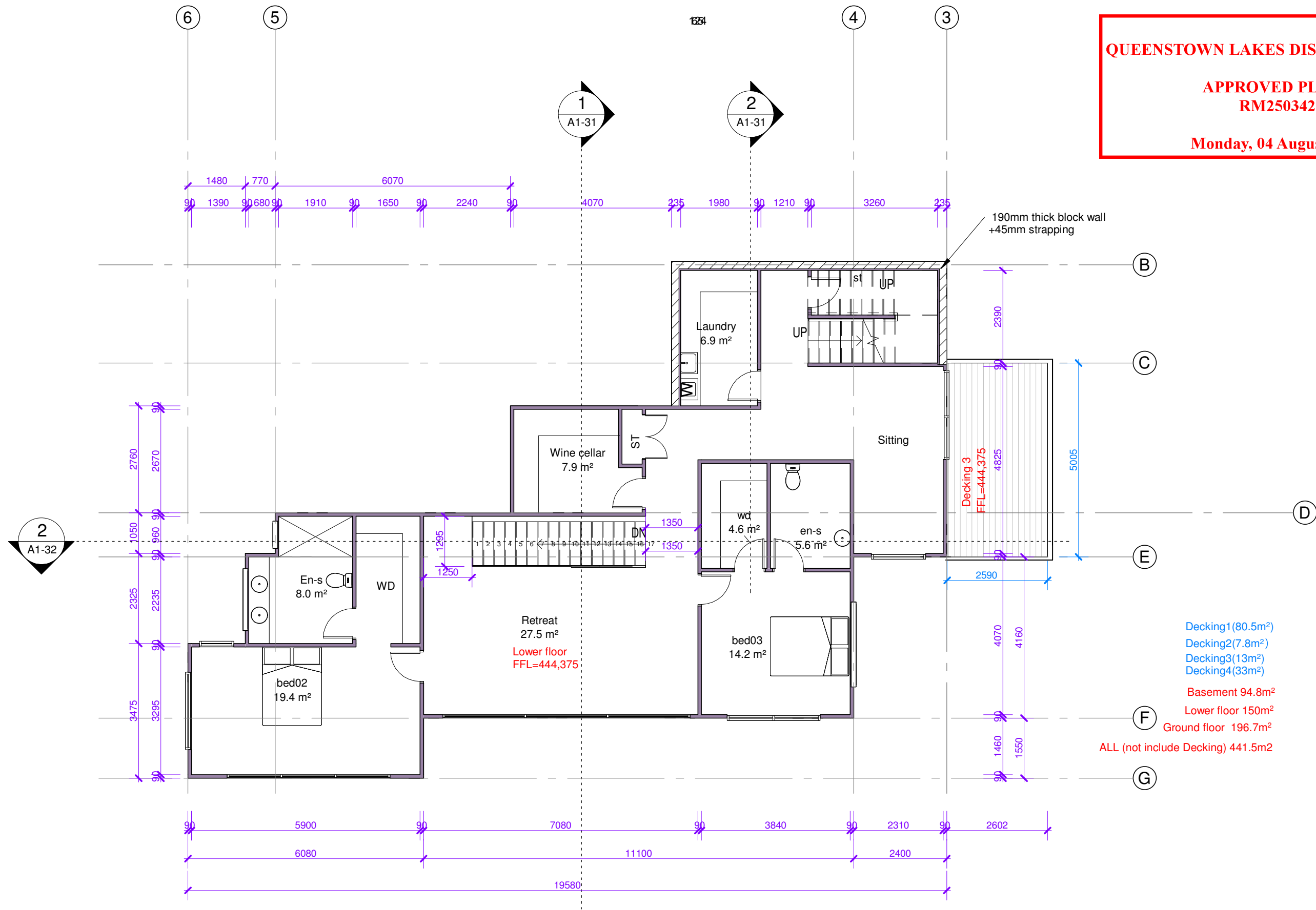
Drawing Number Revision  
**A1-10** **A**

DO NOT SCALE OFF THIS DRAWING  
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AND LEVEL HEIGHTS ON SITE BEFORE  
COMMENCING ANY WORK

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**Monday, 04 August 2025**



Decking1(80.5m²)  
Decking2(7.8m²)  
Decking3(13m²)  
Decking4(33m²)

Basement 94.8m²  
Lower floor 150m²  
Ground floor 196.7m²  
ALL (not include Decking) 441.5m²

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Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Lower Level Floor**

SCALE @ A3= 1 : 100

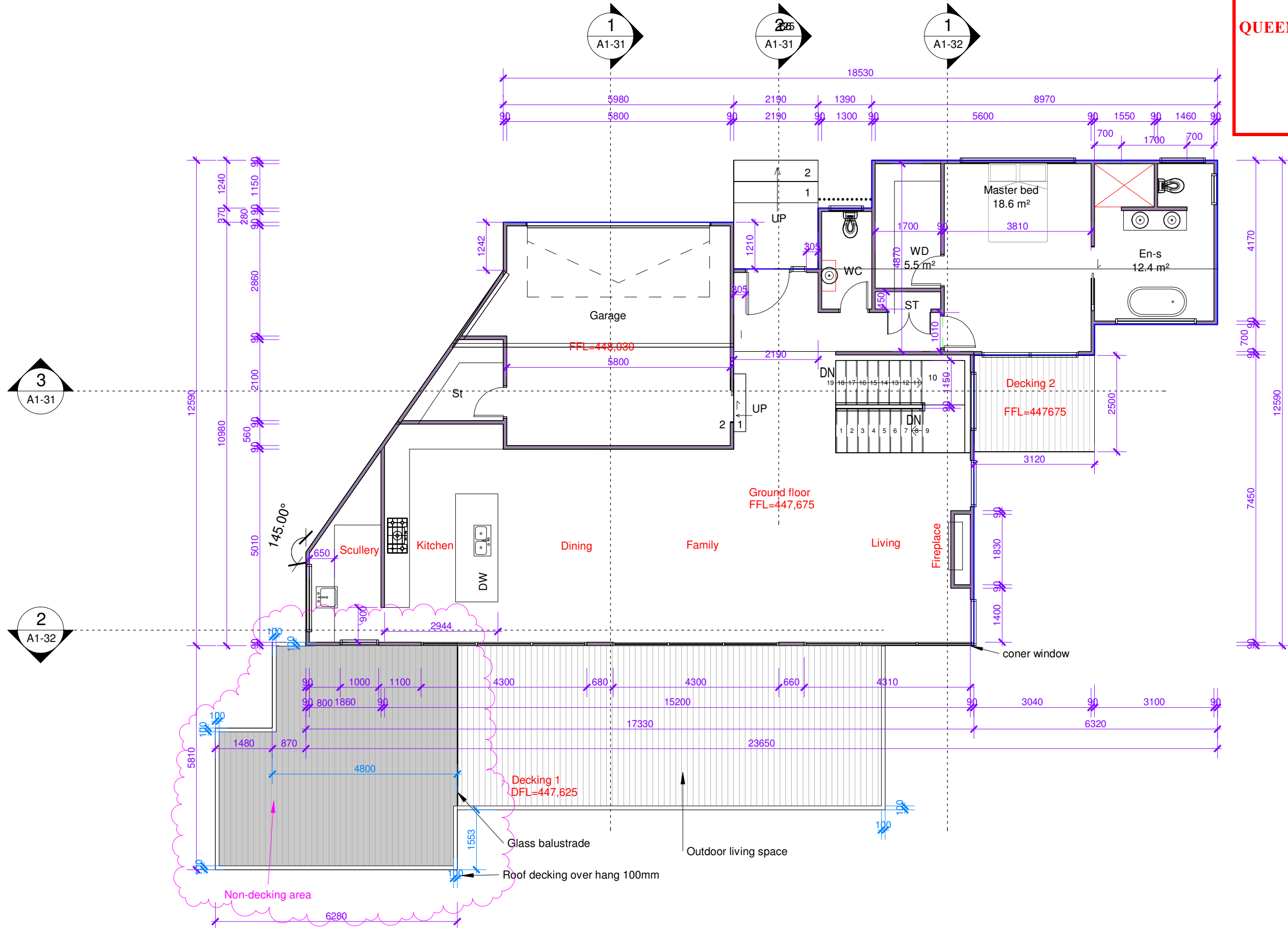
DESIGN	JH
DRAWN	

**1** 1 : 100 Plan  
A1-11 Lower level Floor Plan

**ARCHITECTURAL**  
Drawing Number Revision

**A1-11** **A**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



- Decking1(46.7m²)
- Decking2(7.8m²)
- Decking3(13m²)
- Decking4(33m²)
- Basement 94.8m²
- Lower floor 150m²
- Ground floor 196.7m²
- ALL (not include Decking) 441.5m²

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agoodweekend@gmail.com

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Ground Floor**

SCALE @ A3= 1 : 100

DESIGN	JH
DRAWN	JW

1 : 100 Plan  
A1-12\_Ground Floor Plan

**ARCHITECTURAL**

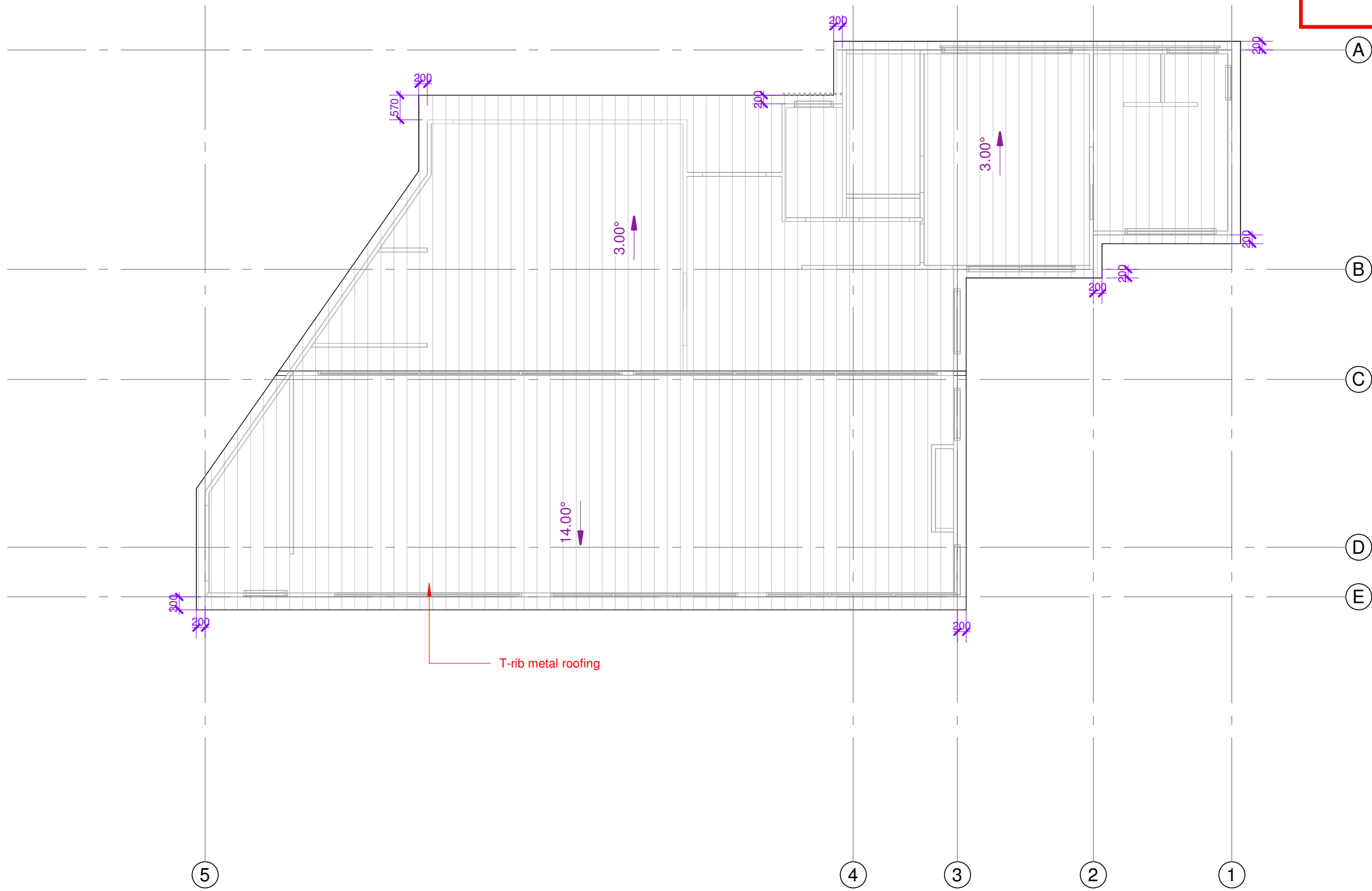
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09 4145366

Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**Roof Plan**  
  
SCALE @ A3= 1 : 100

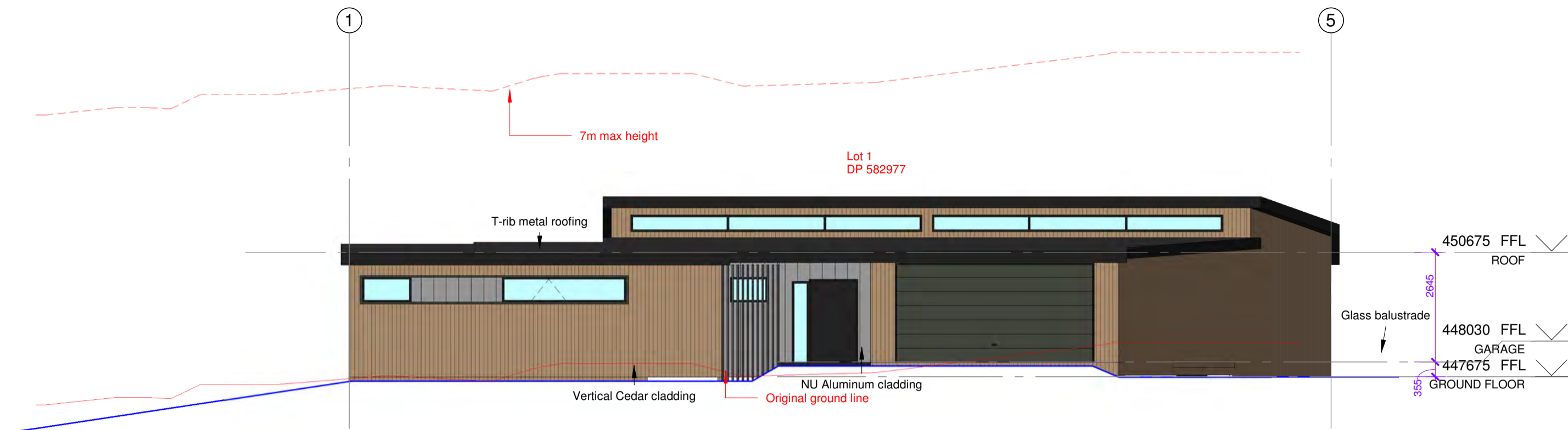
DESIGN	Designer
DRAWN	Author

**1** 1 : 100 Plan  
A1-21 A1-13 ROOF

**ARCHITECTURAL**  
Drawing Number Revision  
**A1-13** **A**

DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS  
AND LEVEL HEIGHTS ON SITE BEFORE  
COMMENCING ANY WORK

NOTE: Lighting and Glare  
 All exterior lighting shall be directed downward and away from adjacent sites and roads.  
 No activity on any site shall result in greater than a 3.0 lux spill (horizontal or vertical) of lights onto any other site measured at any point inside the boundary of the other site.



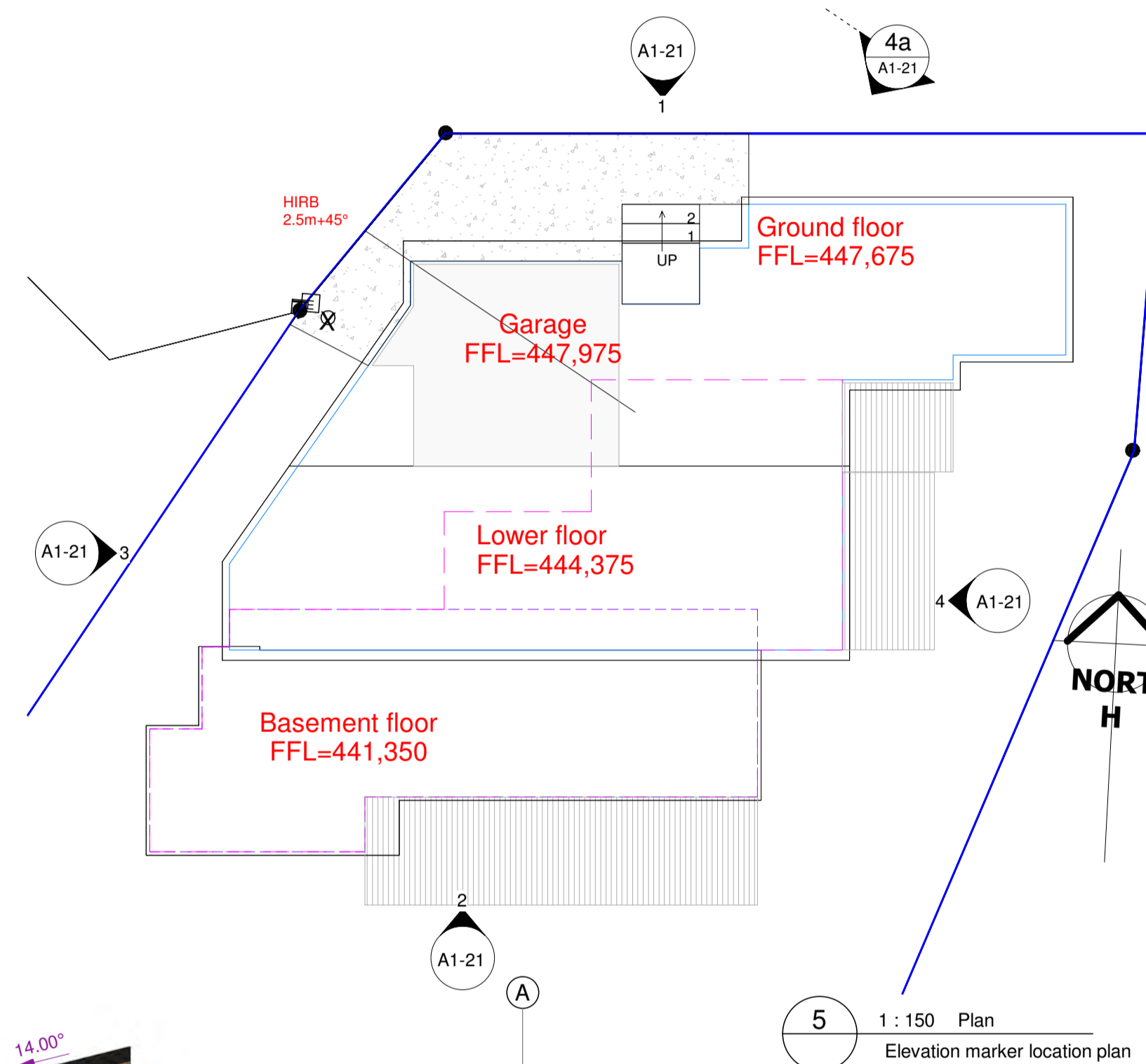
1 1 : 100 Elevation  
North Elevation



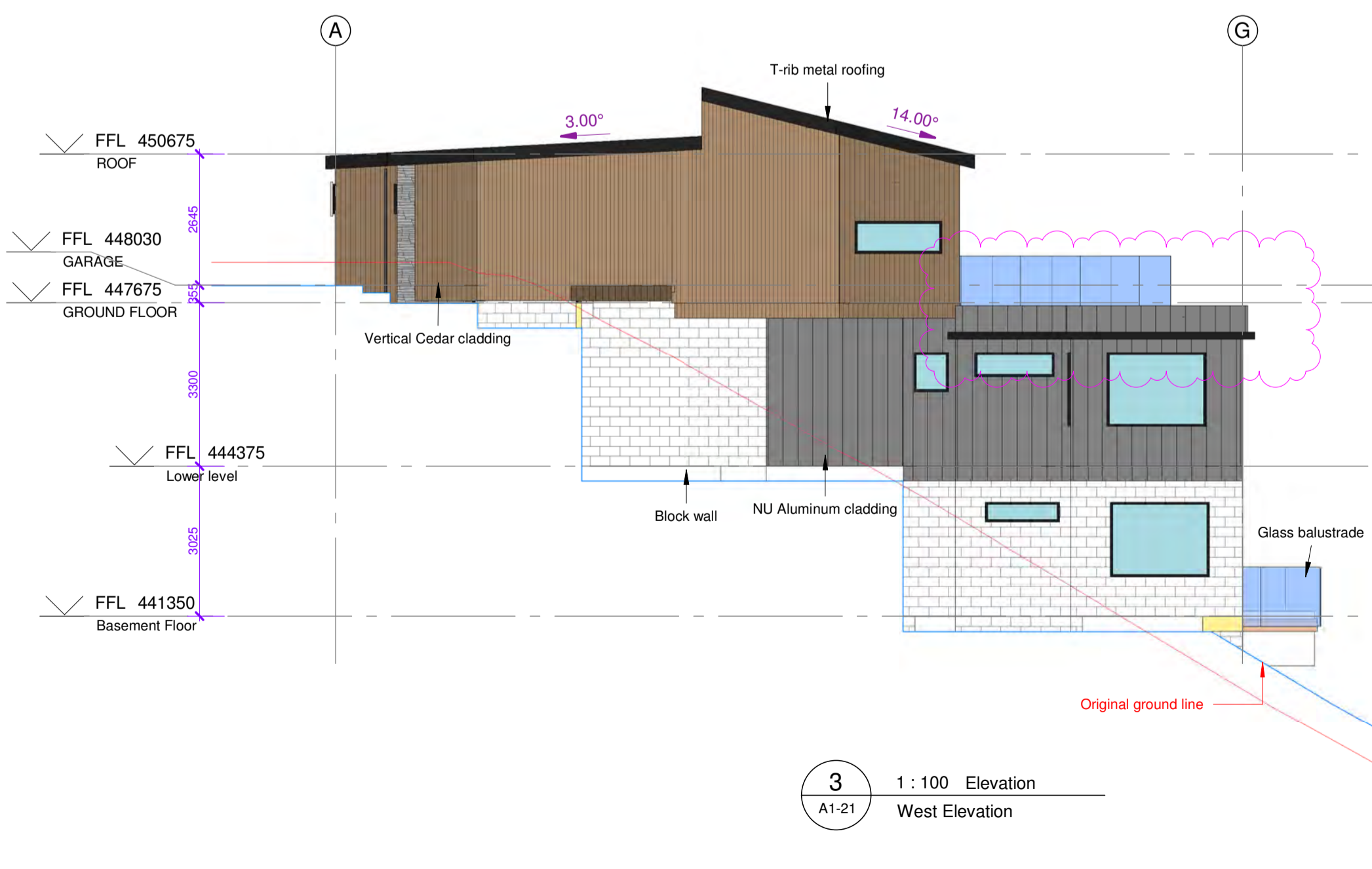
4a 1 : 100 Elevation  
Elevation-HIRB



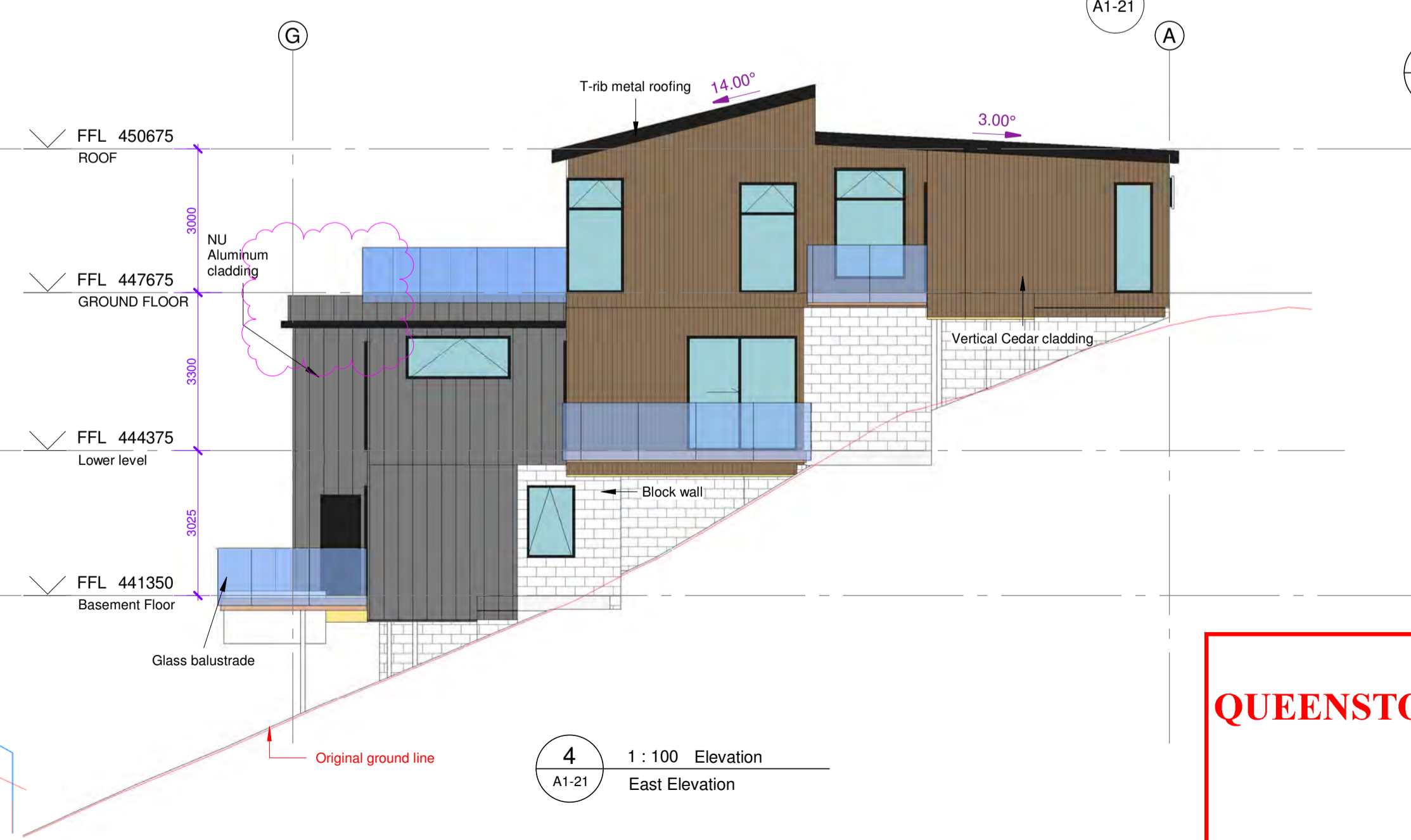
2 1 : 100 Elevation  
South Elevation



5 1 : 150 Plan  
Elevation marker location plan



3 1 : 100 Elevation  
West Elevation



4 1 : 100 Elevation  
East Elevation

**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM250342**

**Monday, 04 August 2025**

J Studio Ltd  
 agoodweekend@gmail.com  
 TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
 5 Conifer Lane, Queenstown

Sheet  
**ELEVATIONS**

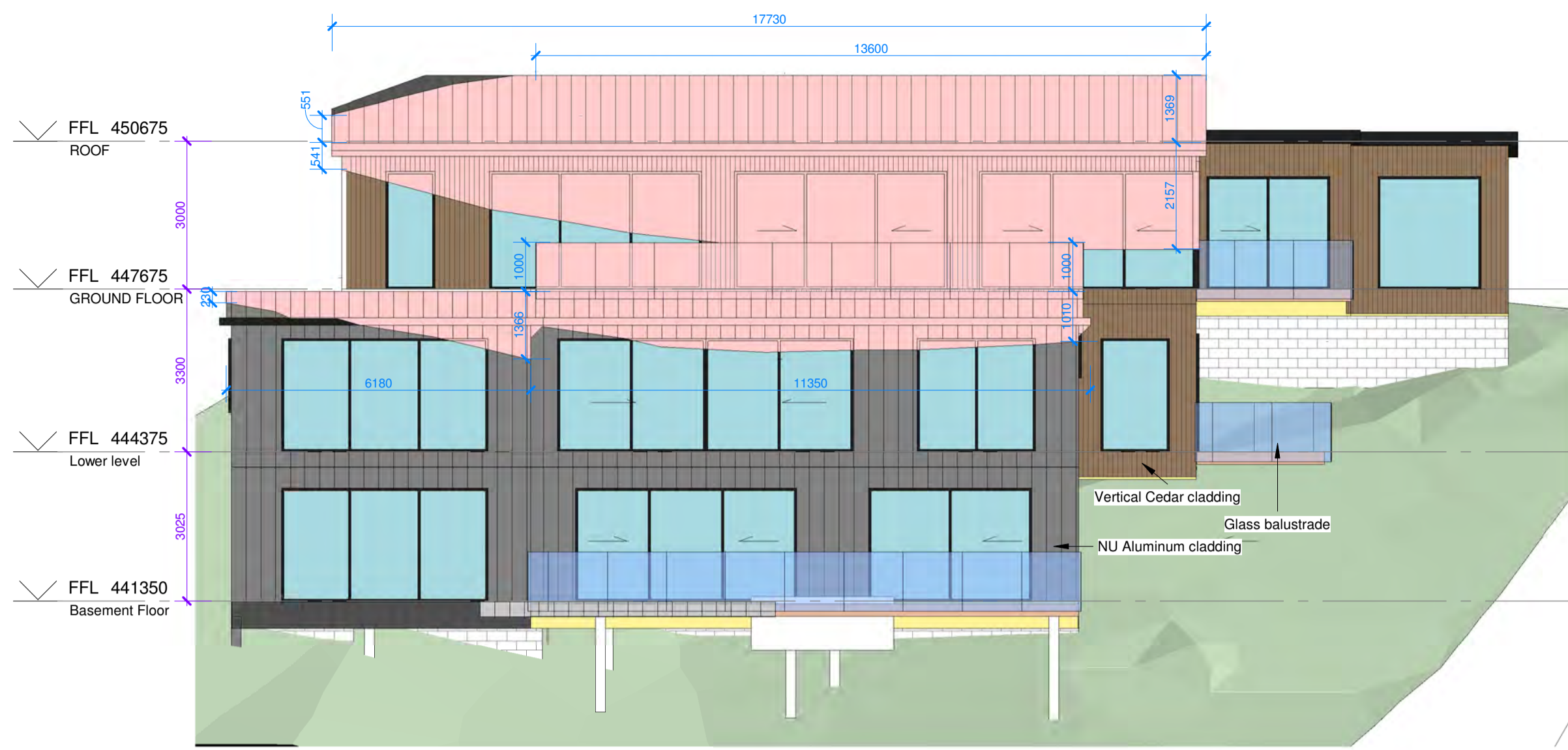
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DESIGN JH  
 DRAWN JW

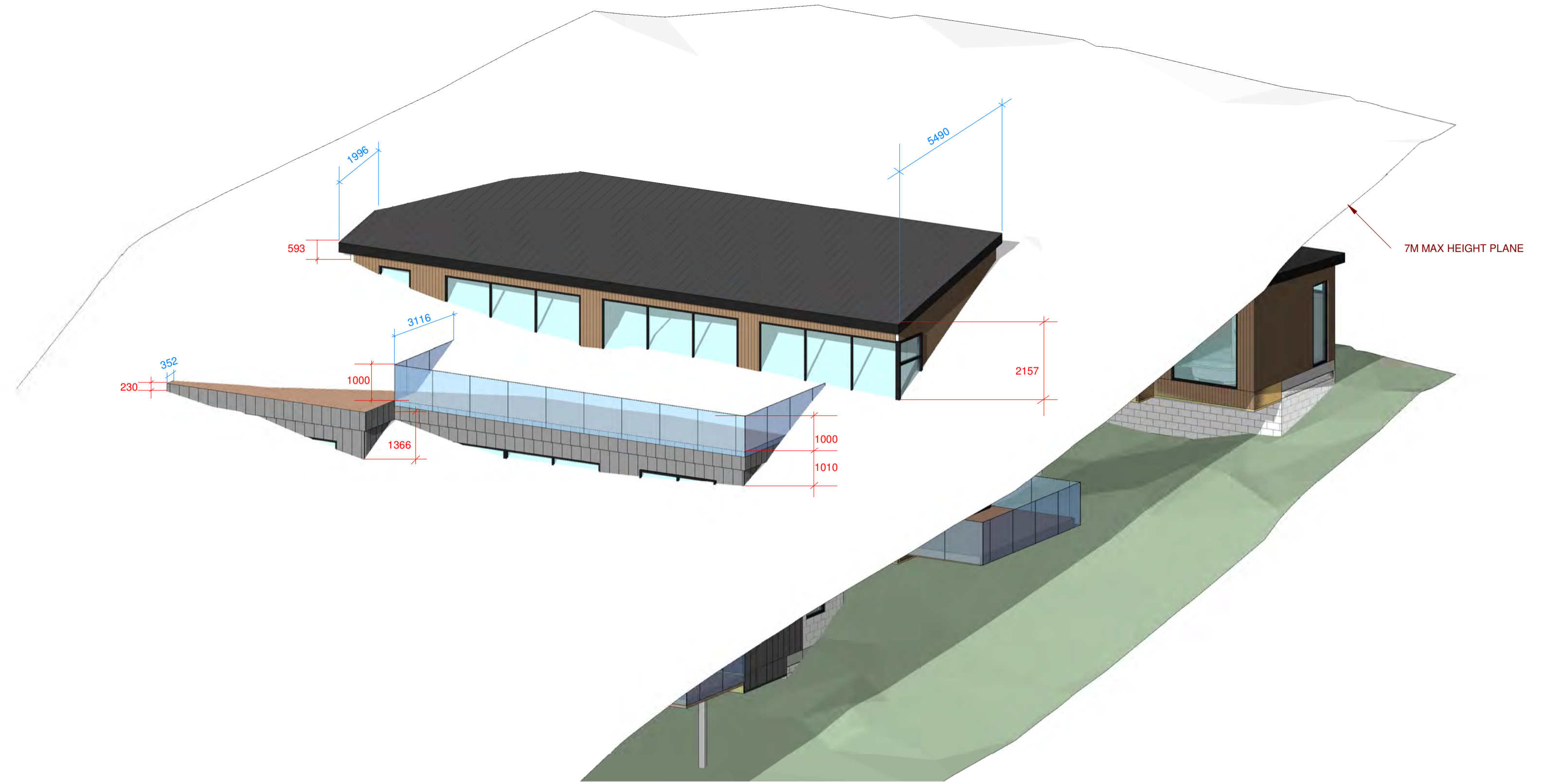
**ARCHITECTURAL**

Drawing Number Revision  
**A1-21** **D**

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 SITE BEFORE COMMENCING ANY WORK



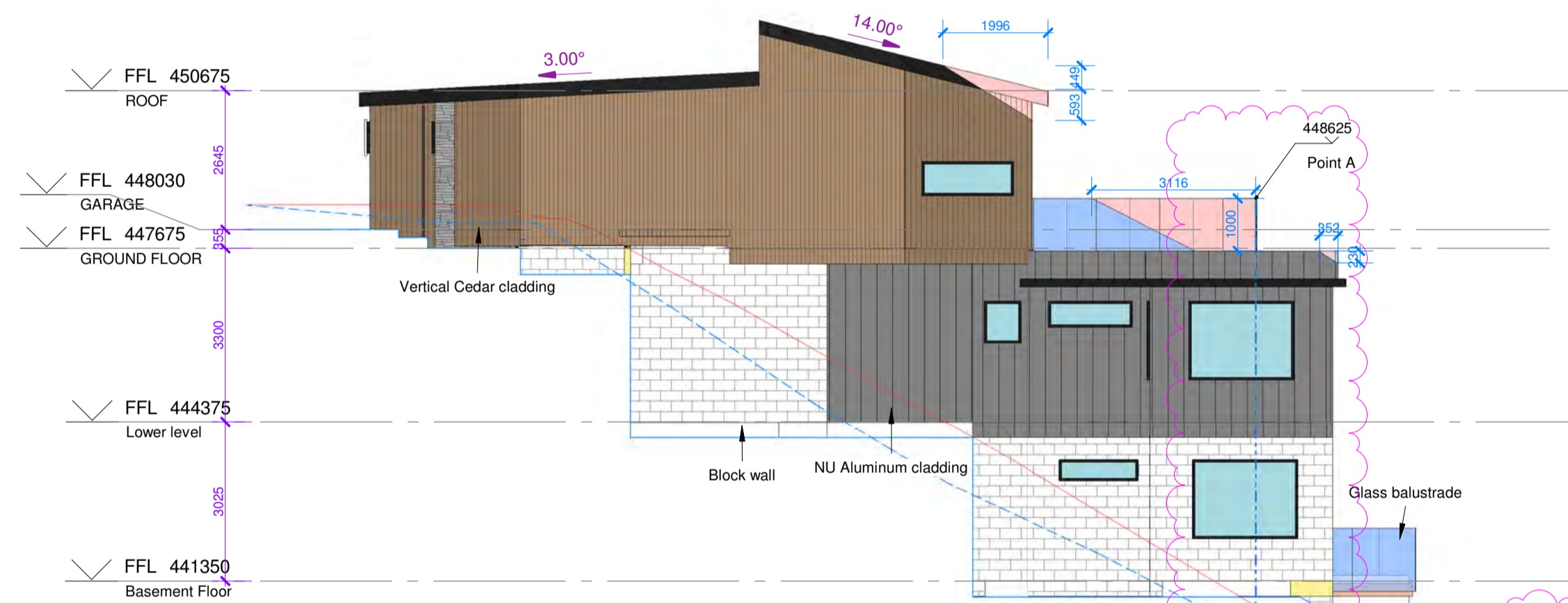
1 1:100 Elevation  
A1-01 South Elevation-infridgement



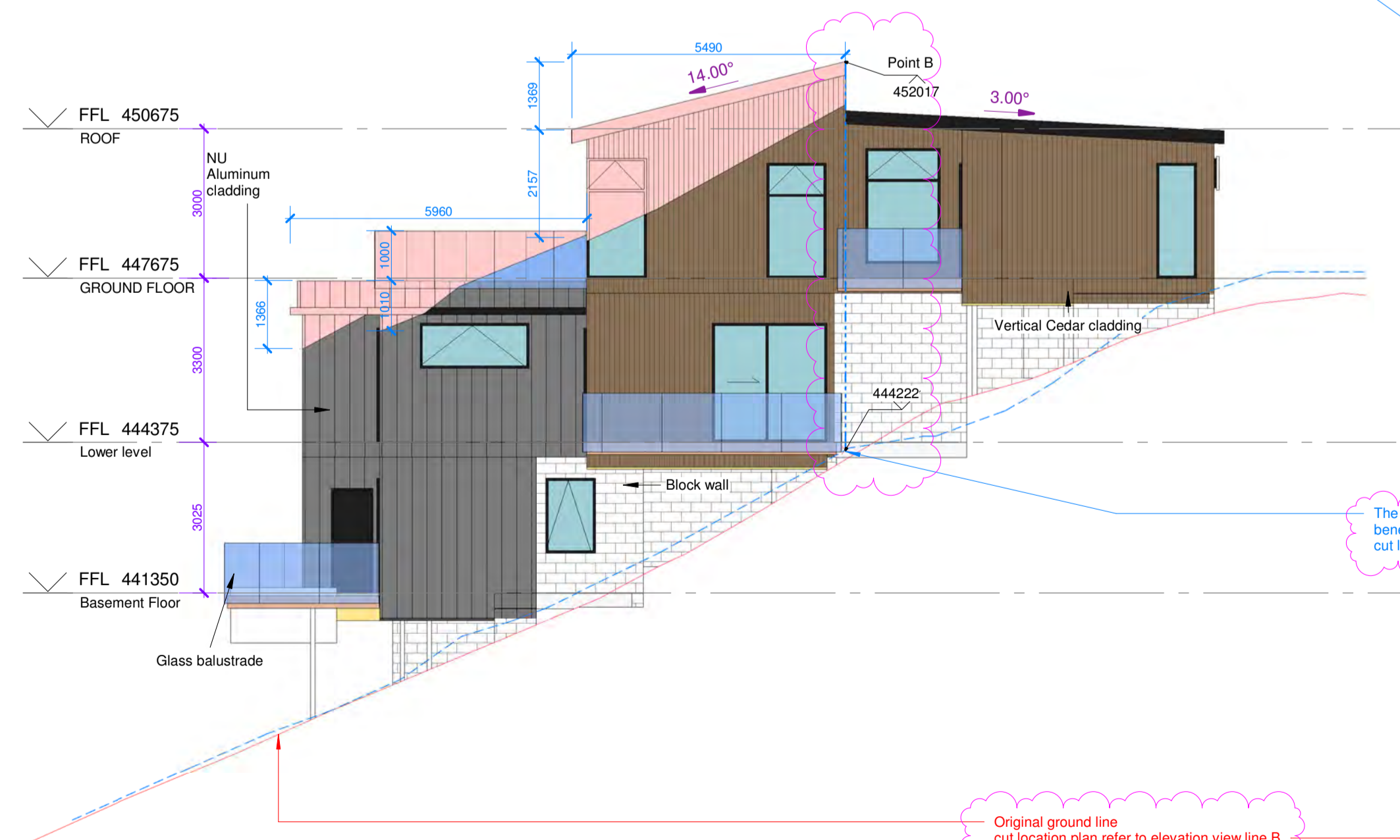
4 3D view  
Building over 7m max height plane

Area of plan infringement: 127m<sup>2</sup>

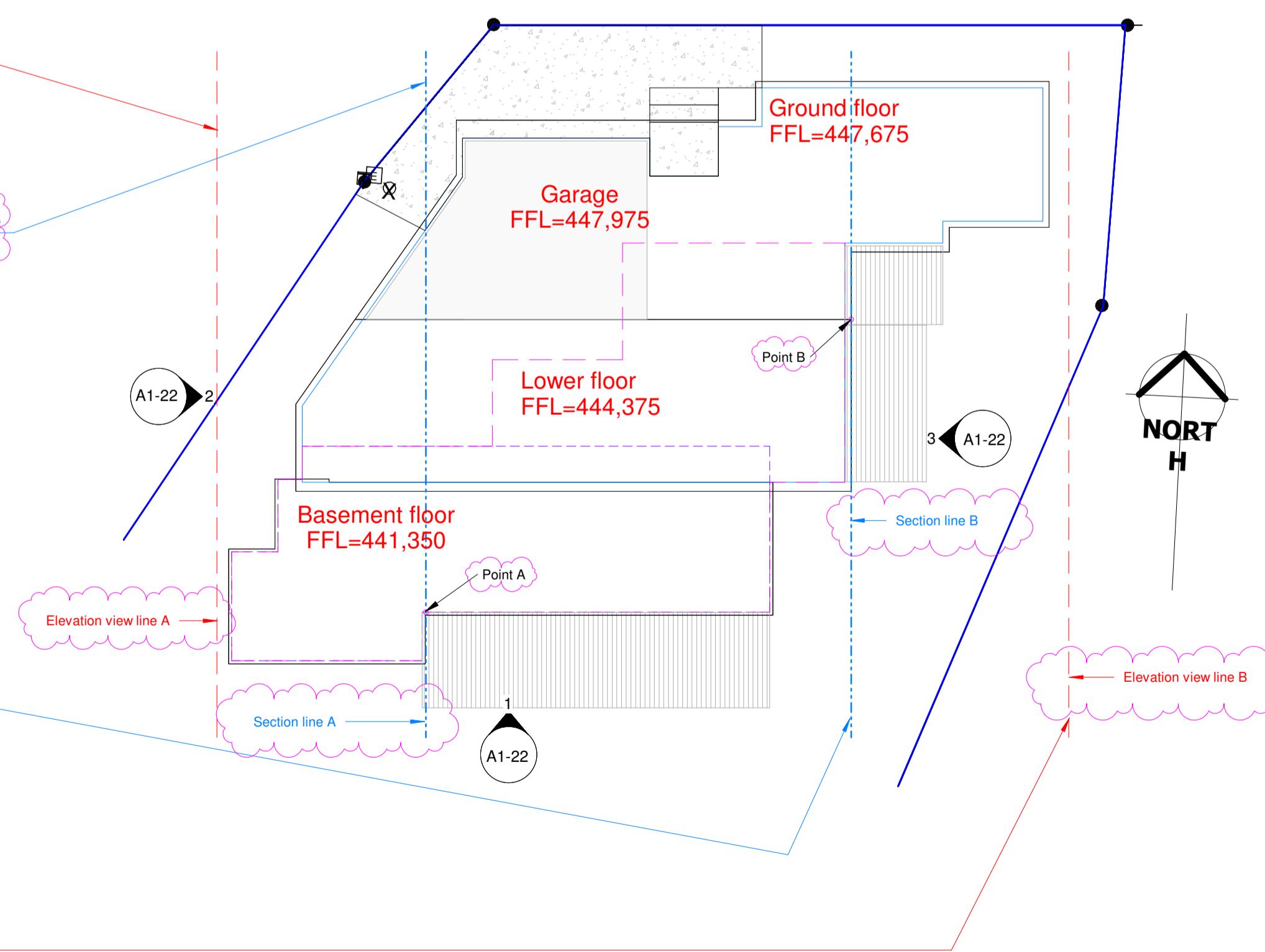
**QUEENSTOWN LAKES DISTRICT COUNCIL**  
**APPROVED PLAN:**  
**RM250342**  
**Monday, 04 August 2025**



2 1:100 Elevation  
A1-01 West Elevation-infridgement



3 1:100 Elevation  
A1-01 East Elevation-infridgement



5 1:150 Detail  
Infridgement Elevation marker location plan

**Legend:**

Building over 7m max height infringement area

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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225005  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

Sheet  
**ELEVATION-Infridgement**

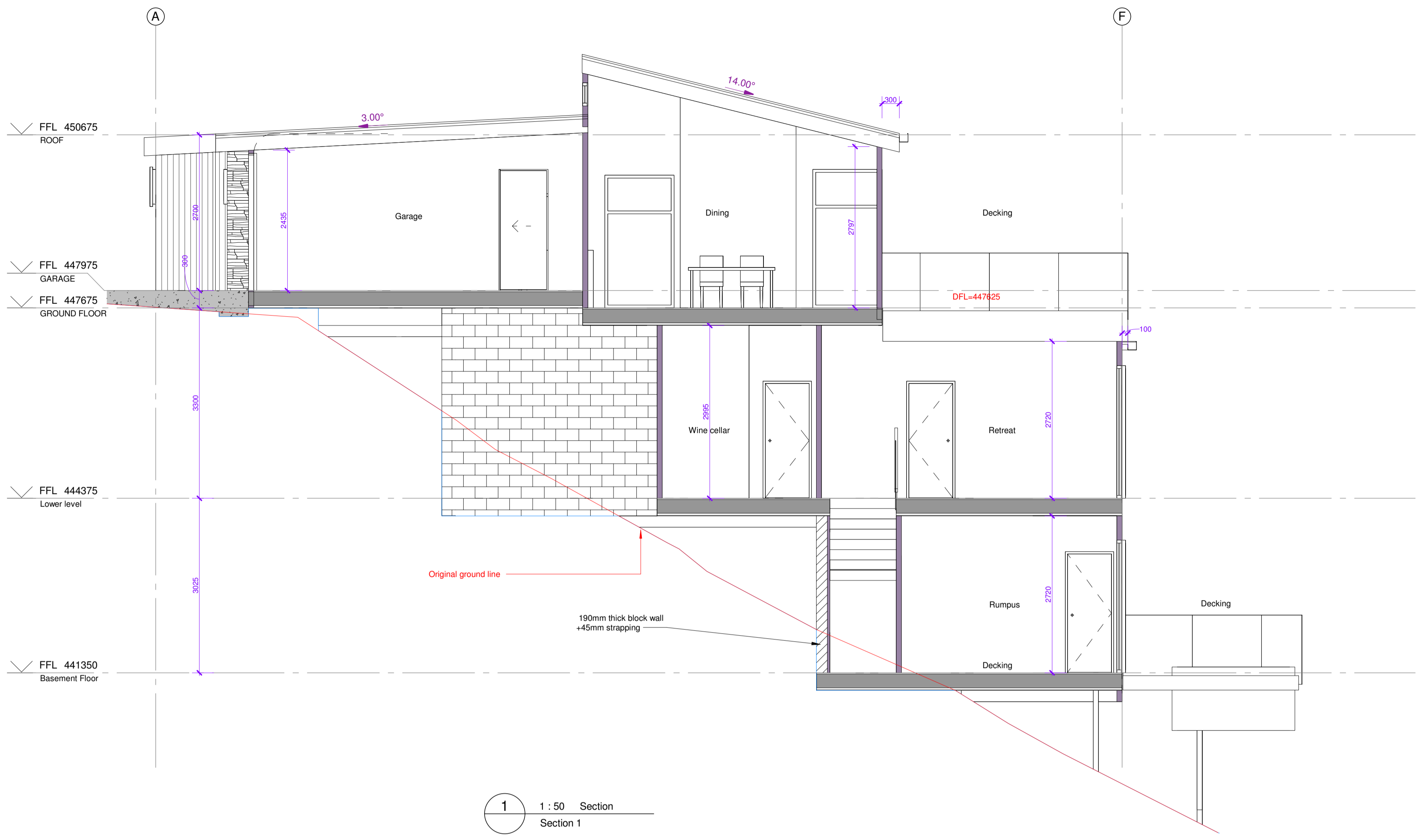
SCALE @ A1= As indicated

DESIGN JH  
DRAWN JW

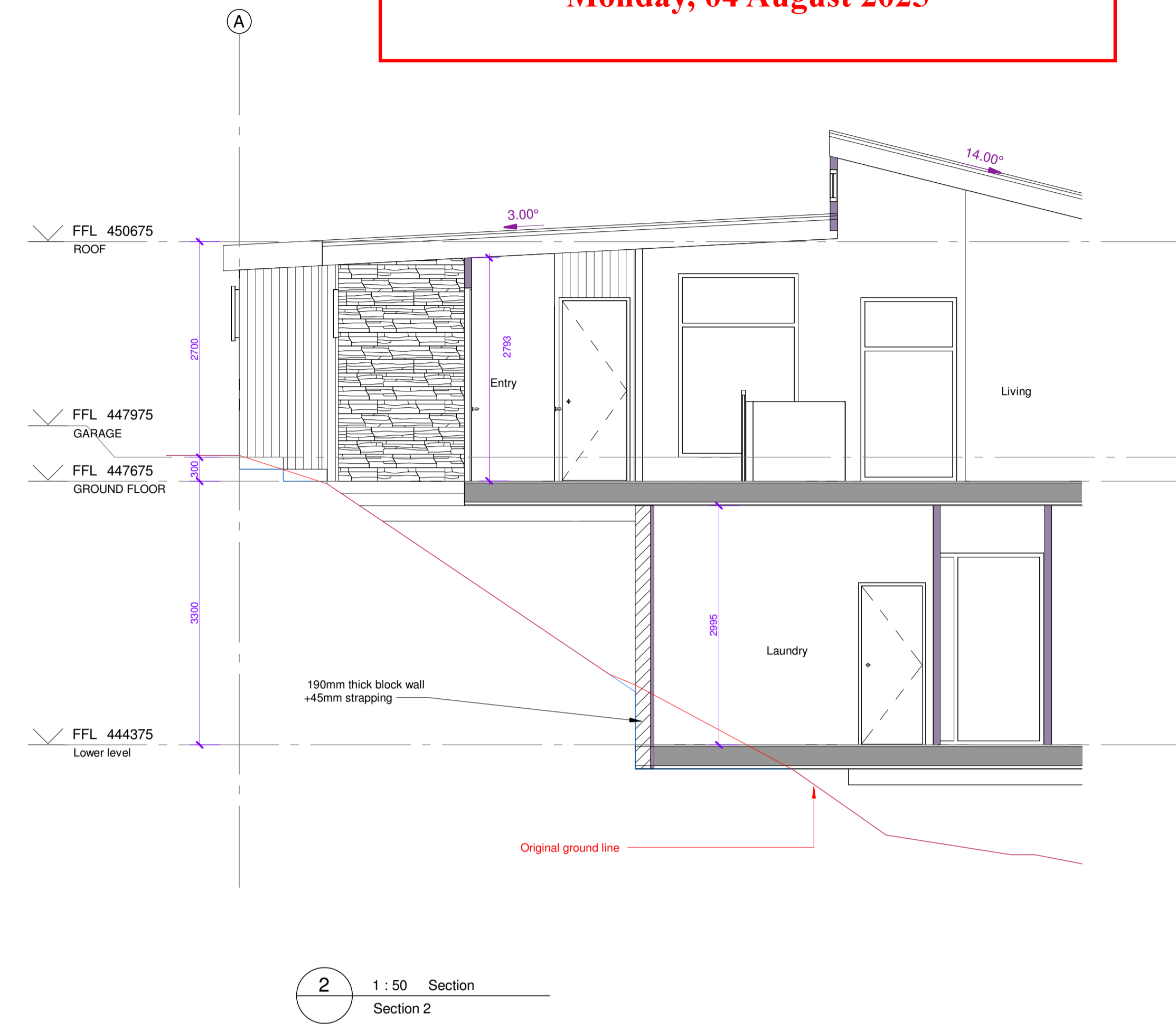
**ARCHITECTURAL**

Drawing Number Revision  
**A1-22** **E**

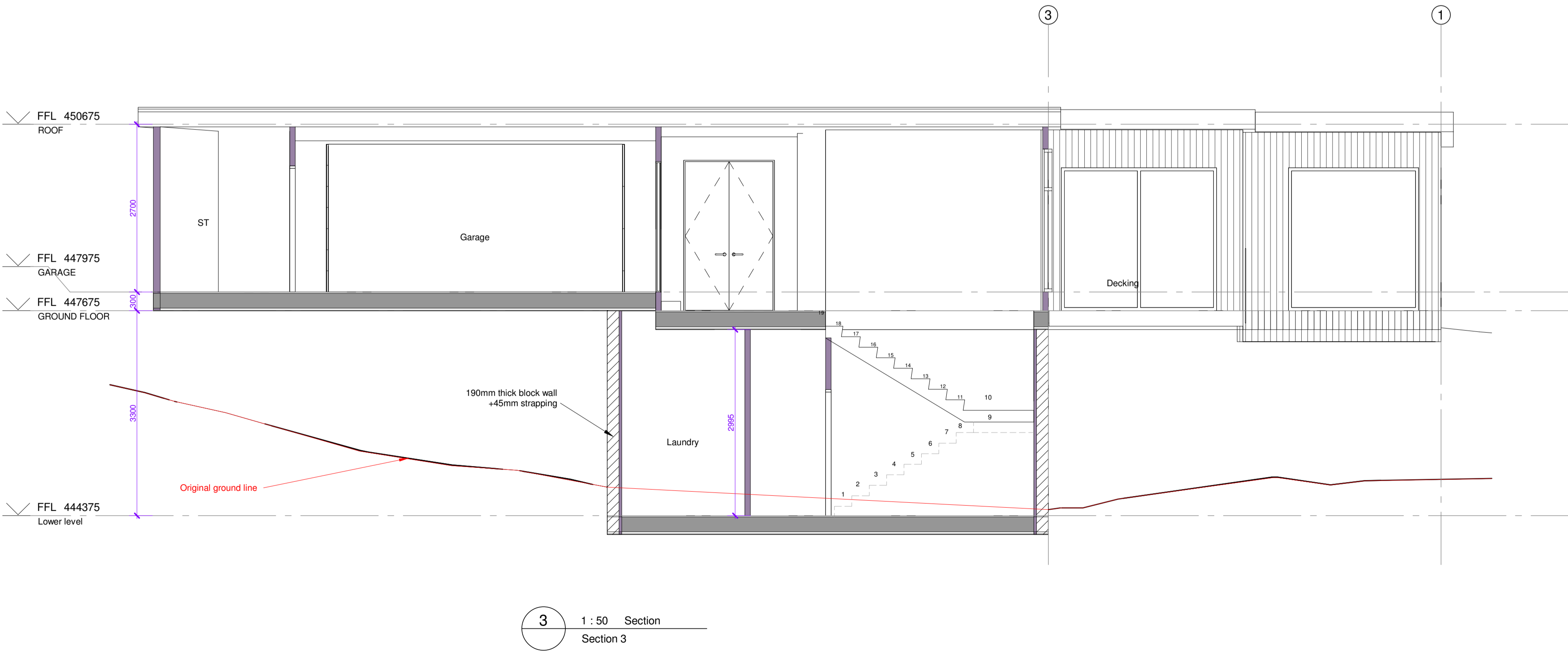
DO NOT SCALE OFF THIS DRAWING  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK



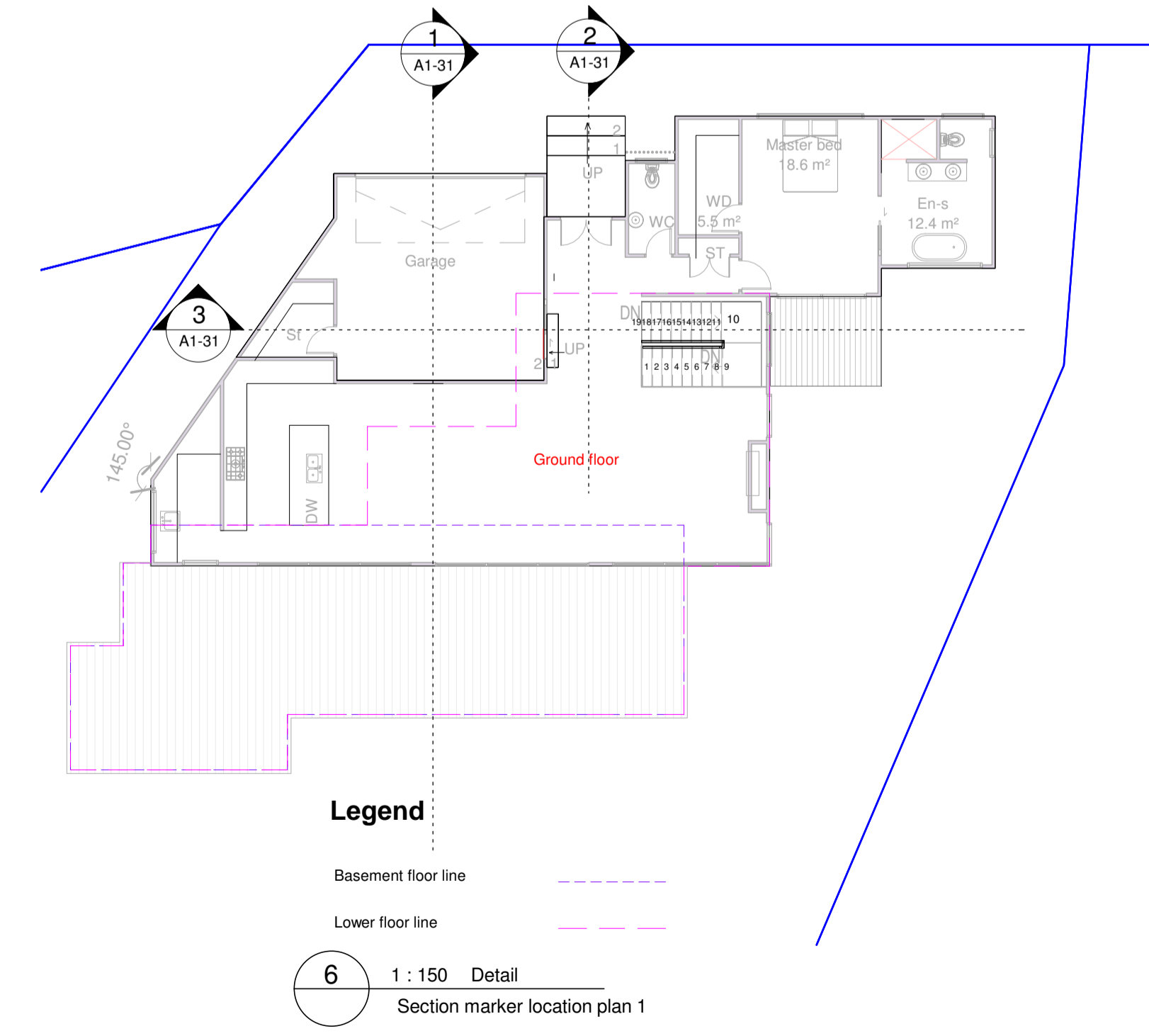
1 1:50 Section  
Section 1



2 1:50 Section  
Section 2



3 1:50 Section  
Section 3



6 1:150 Detail  
Section marker location plan 1

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agoodweekend@gmail.com  
TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SECTION

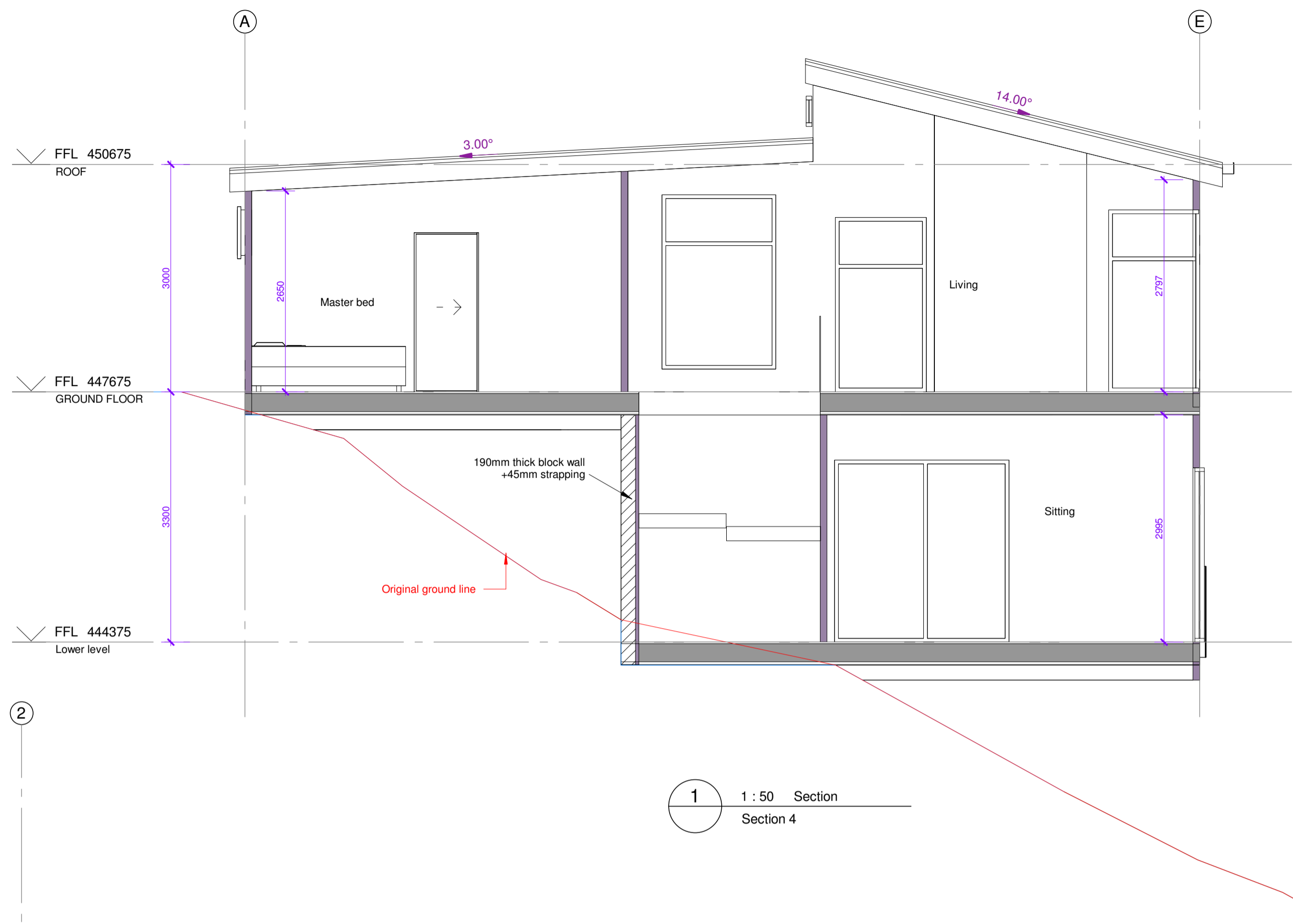
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DESIGN JH  
DRAWN JW

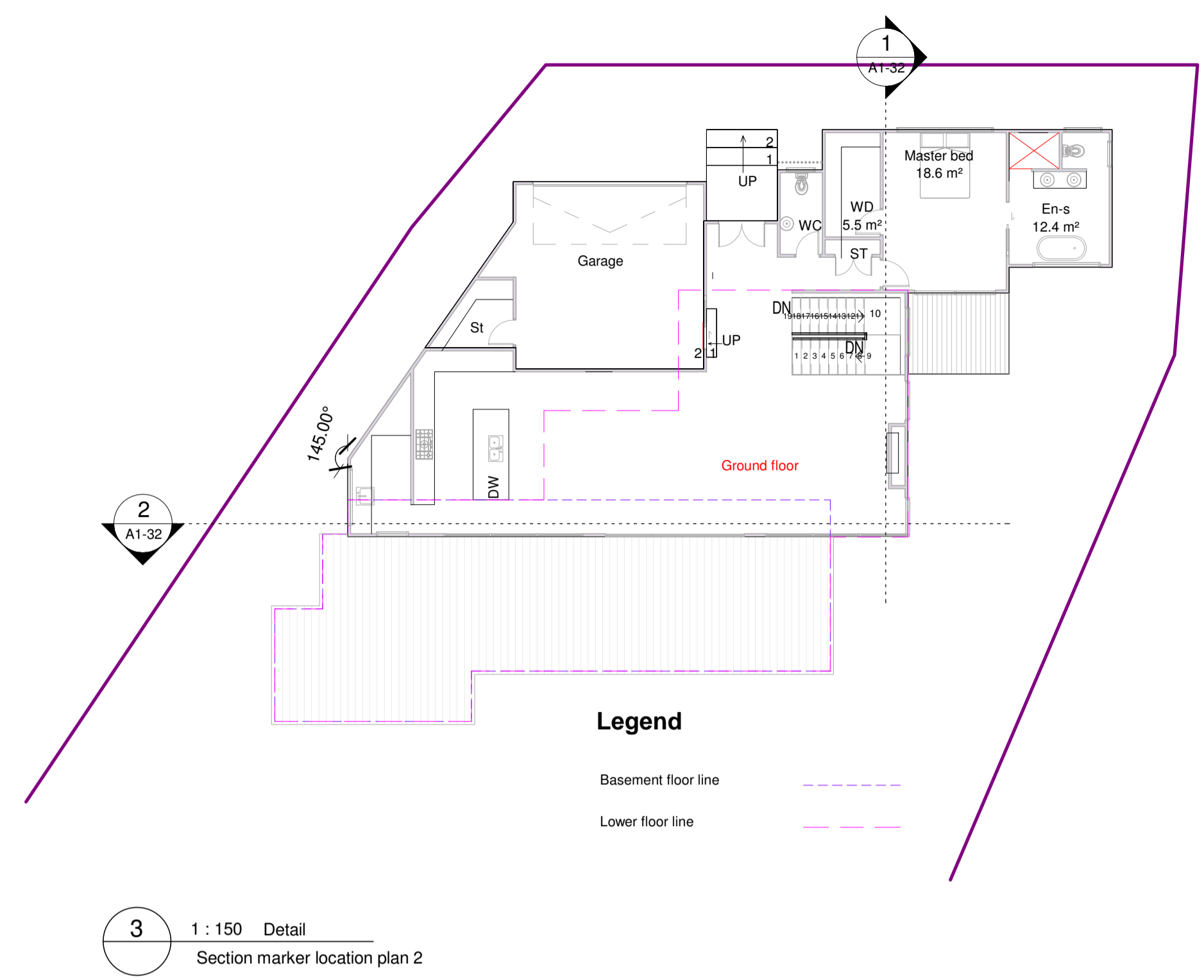
ARCHITECTURAL

Drawing Number Revision  
A1-31 A

DO NOT SCALE OFF THIS DRAWING  
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1 1 : 50 Section Section 4



3 1 : 150 Detail Section marker location plan 2



2 1 : 50 Section Section 5

**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM250342**

**Monday, 04 August 2025**

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Project Number: 225QLDS  
**NEW DWELLING**  
5 Conifer Lane, Queenstown

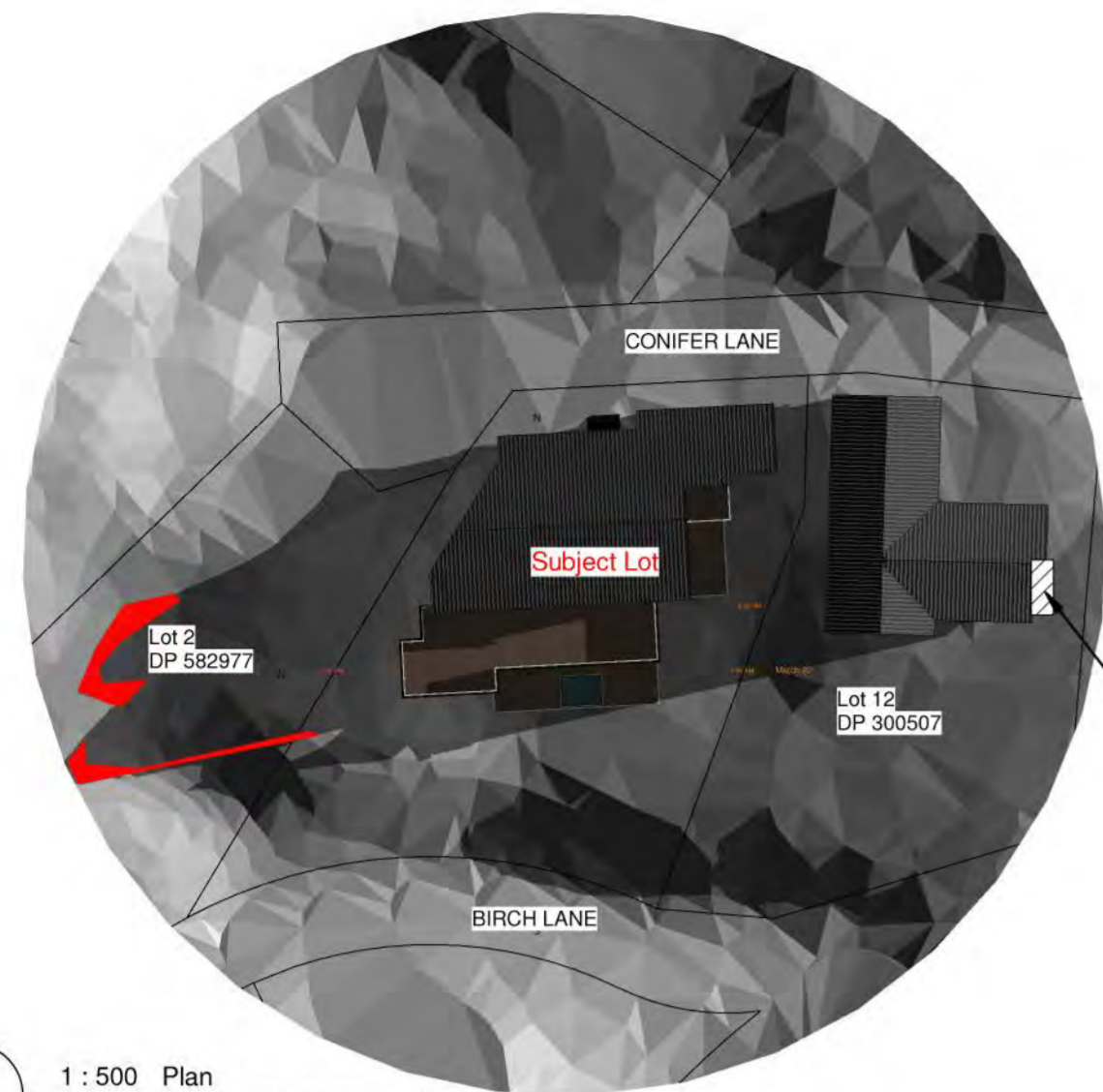
SECTION

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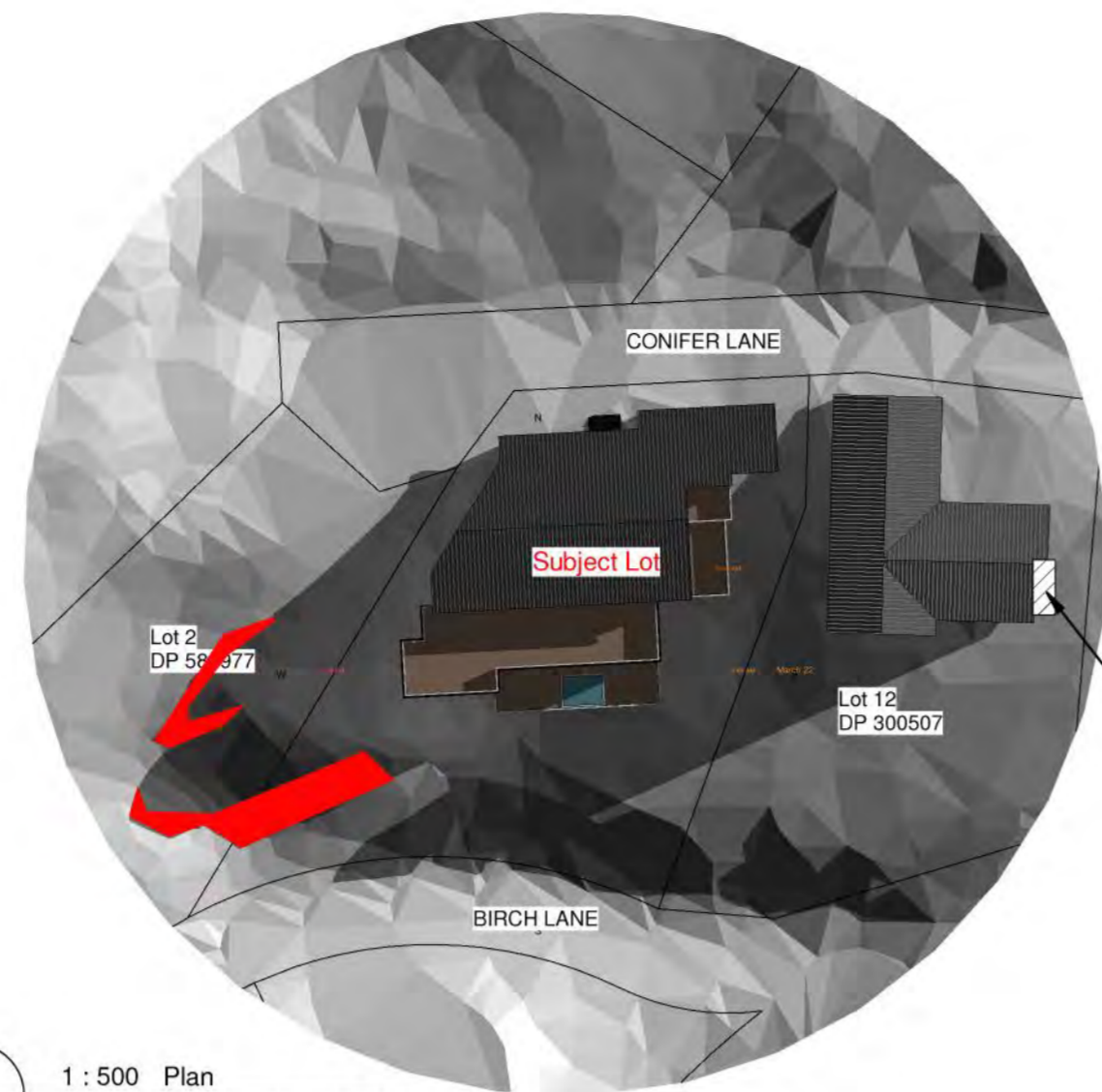
DESIGN JH  
DRAWN JW  
**ARCHITECTURAL**

Drawing Number Revision  
**A1-32** **A**

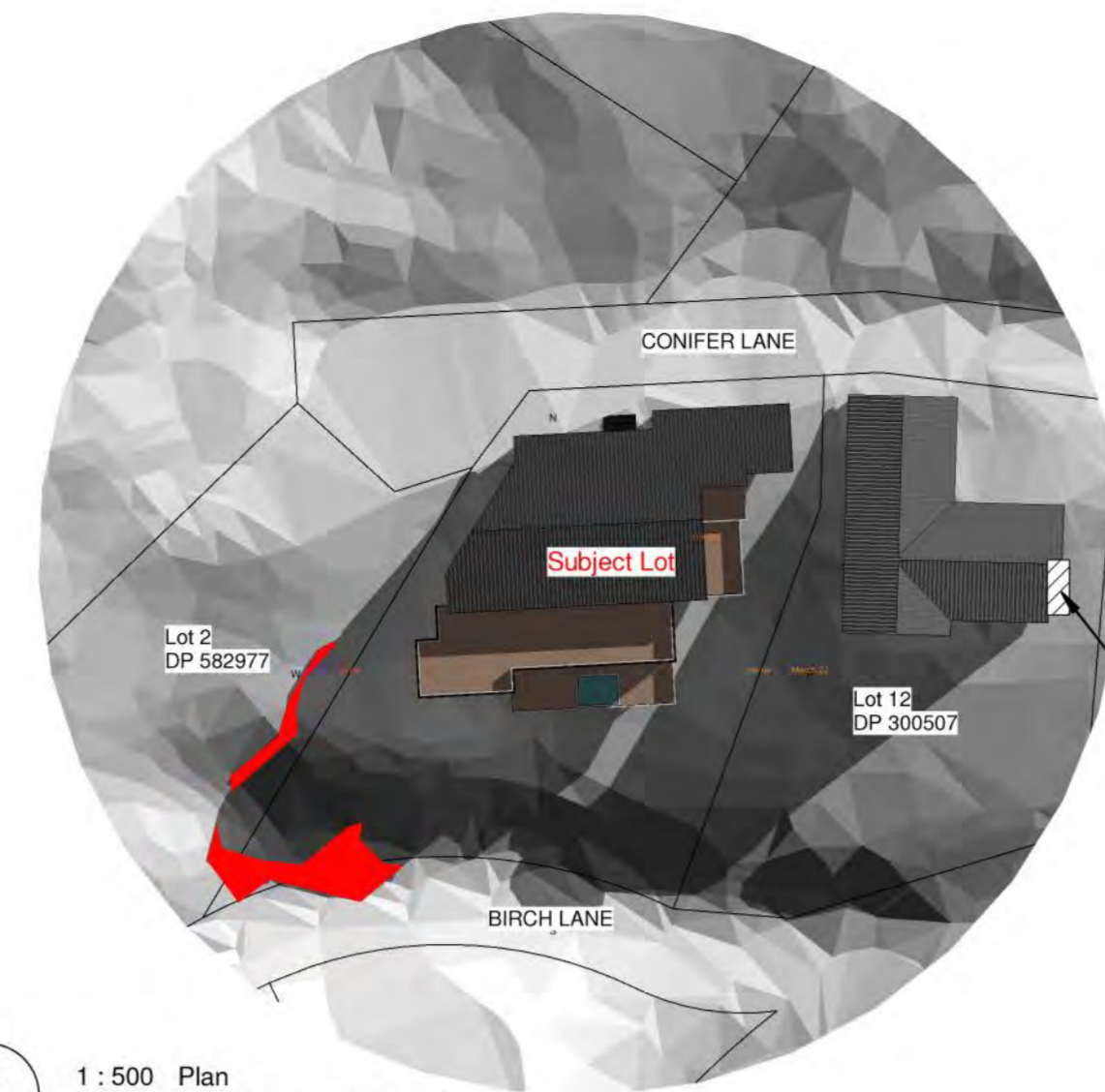
DO NOT SCALE OFF THIS DRAWING  
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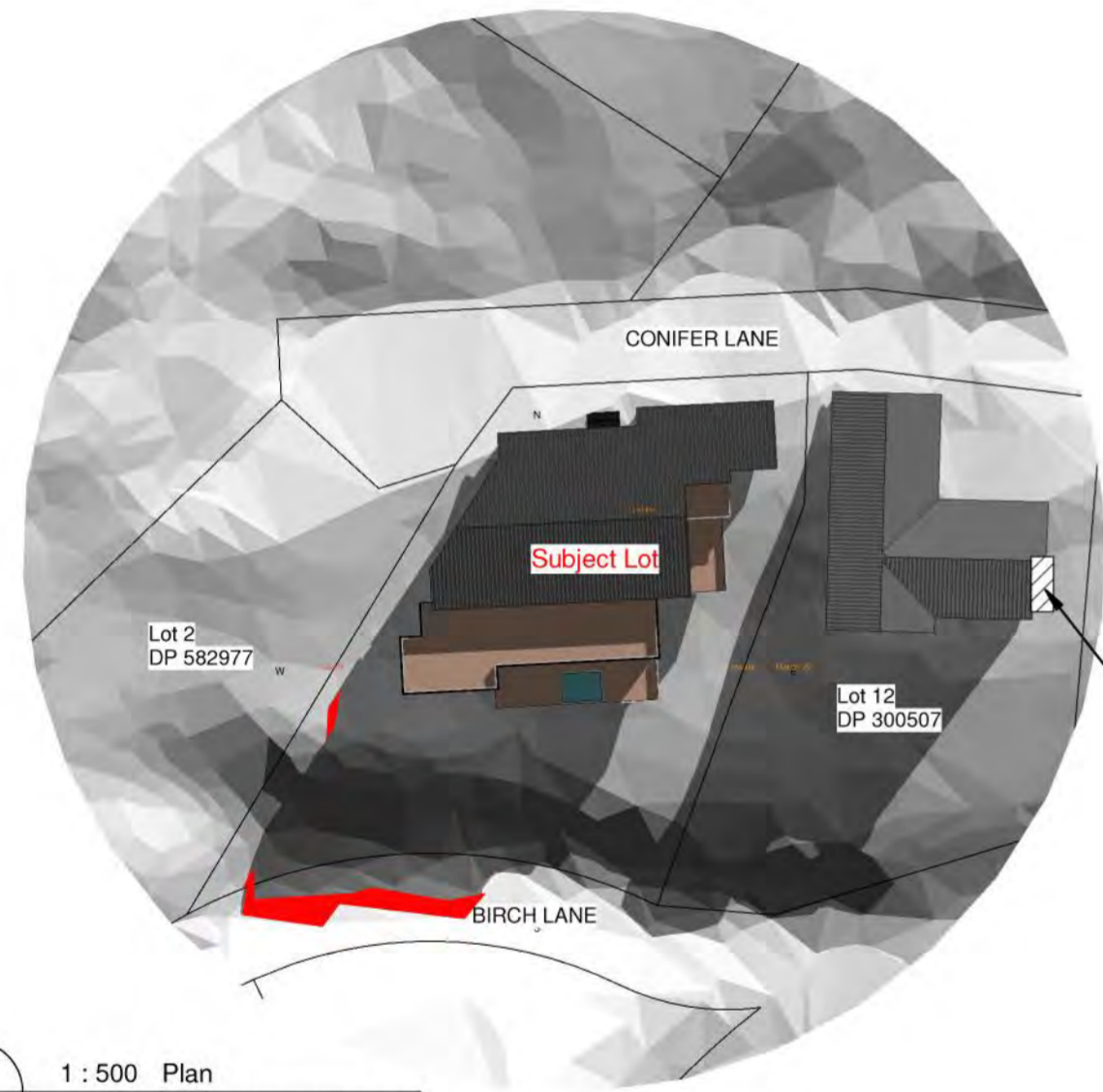
1 1 : 500 Plan  
SUN STUDY March 22 9 AM



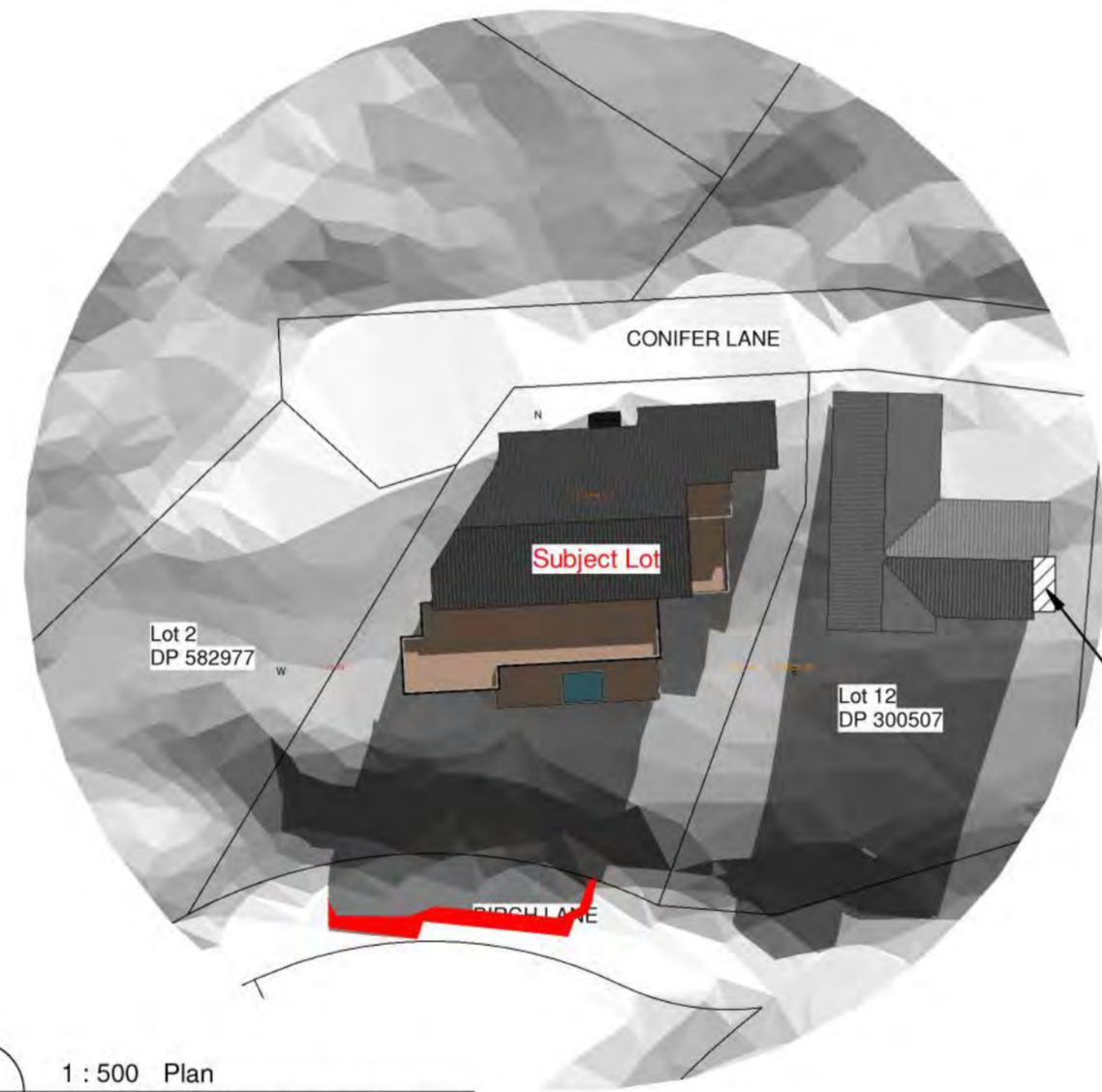
2 1 : 500 Plan  
SUN STUDY March 22 10 AM



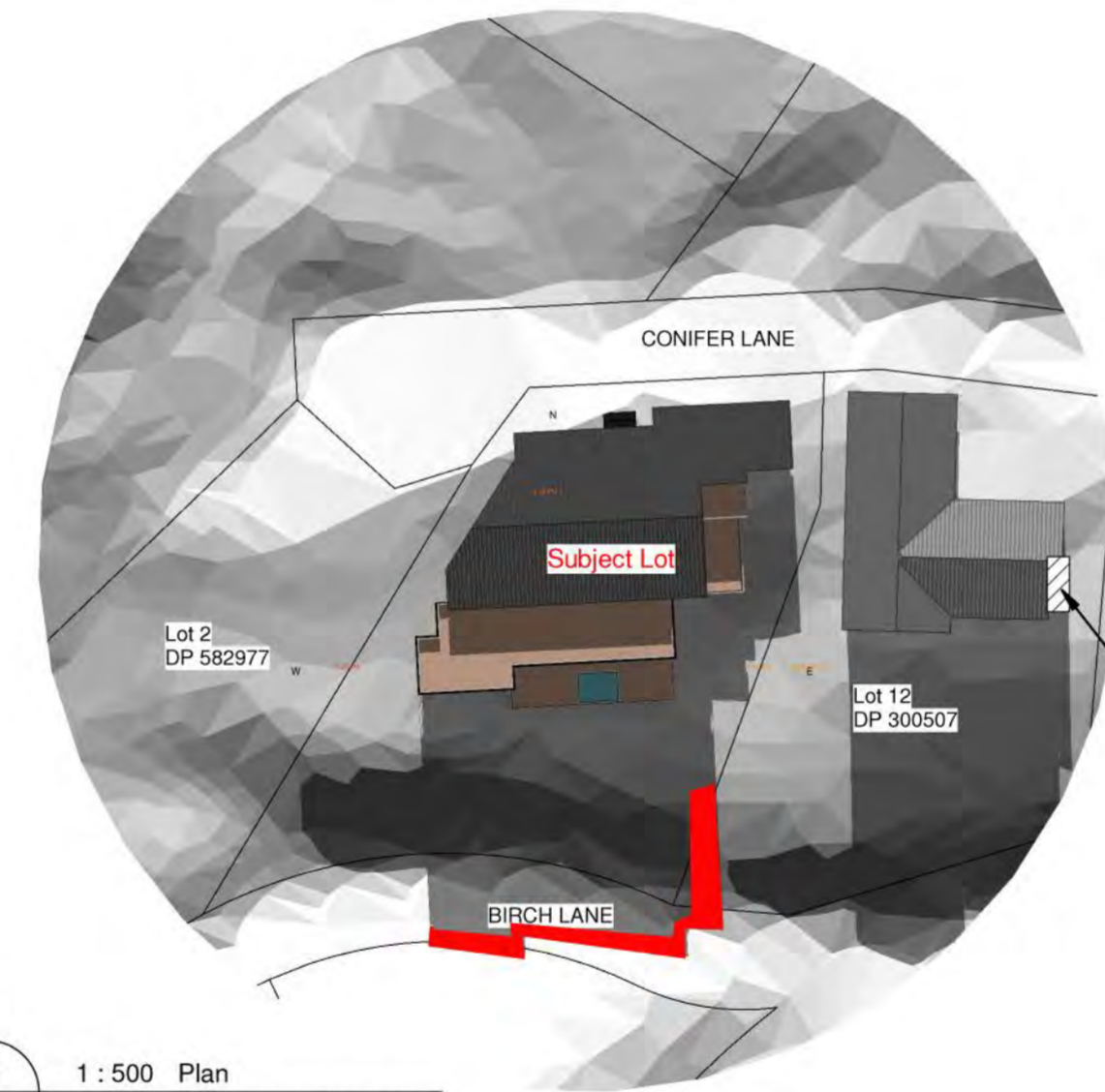
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SUN STUDY March 22 11 AM



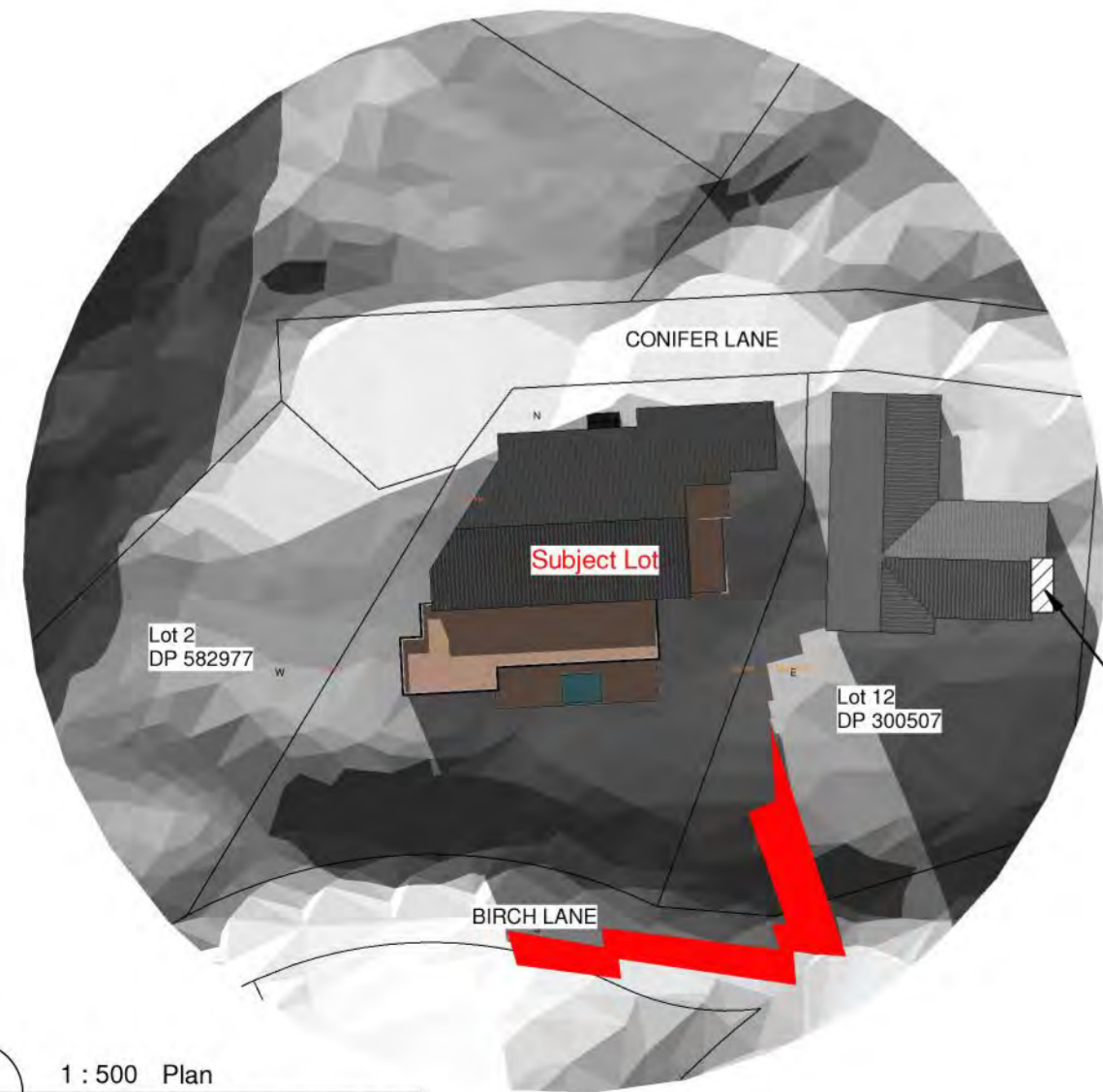
4 1 : 500 Plan  
SUN STUDY March 22 12 AM



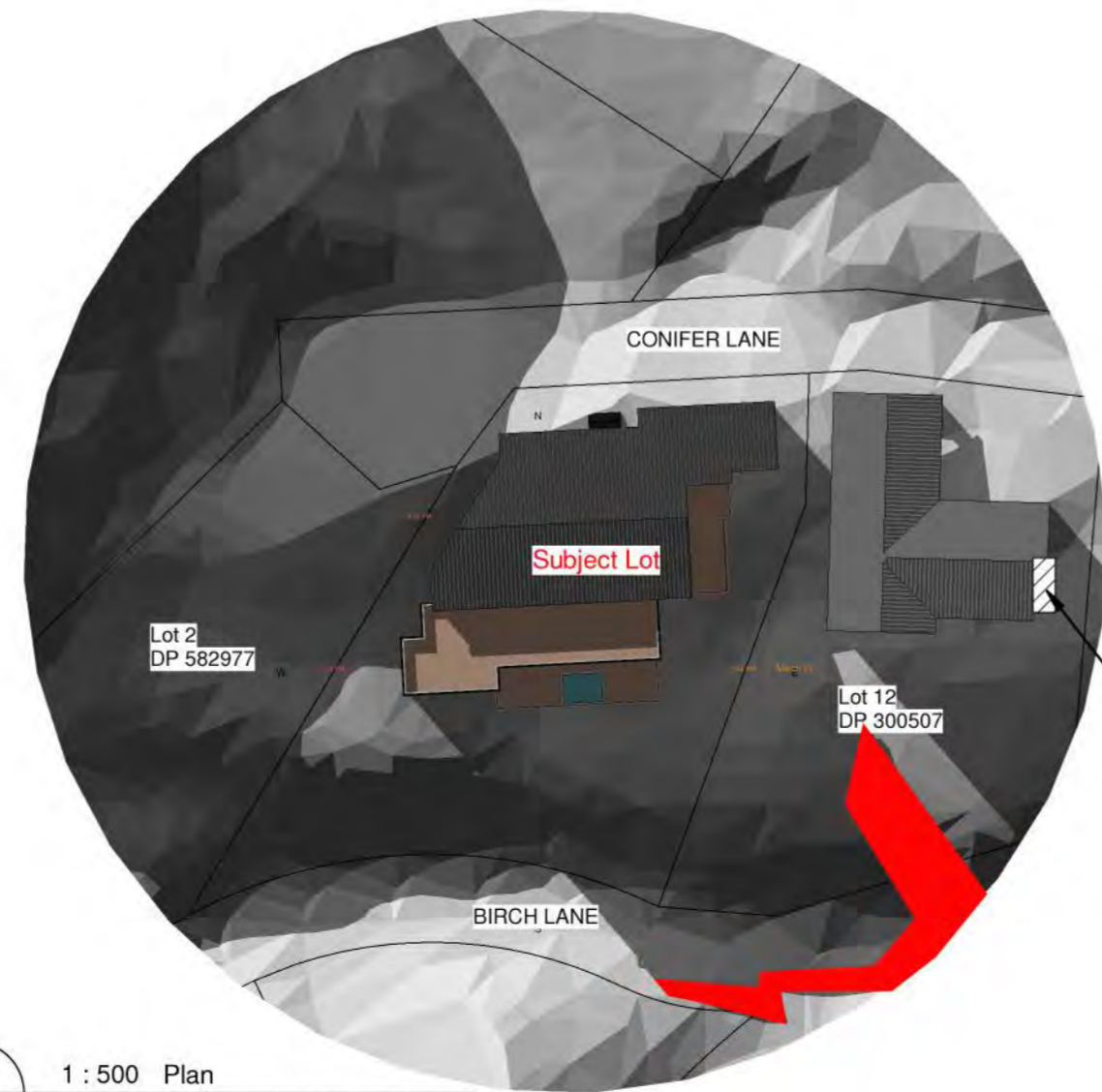
5 1 : 500 Plan  
SUN STUDY March 22 13 PM



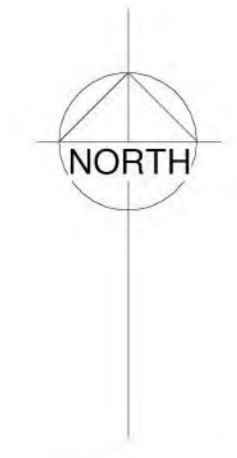
6 1 : 500 Plan  
SUN STUDY March 22 14 PM



7 1 : 500 Plan  
SUN STUDY March 22 15 PM



8 1 : 500 Plan  
SUN STUDY March 22 16 PM



Daylight saving

NOTES:

Daylight saving on March  
Date of sunstudy in 22 March

Shade of  
Infridgement area:



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Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY PLAN-March

SCALE @ A1= 1 : 500

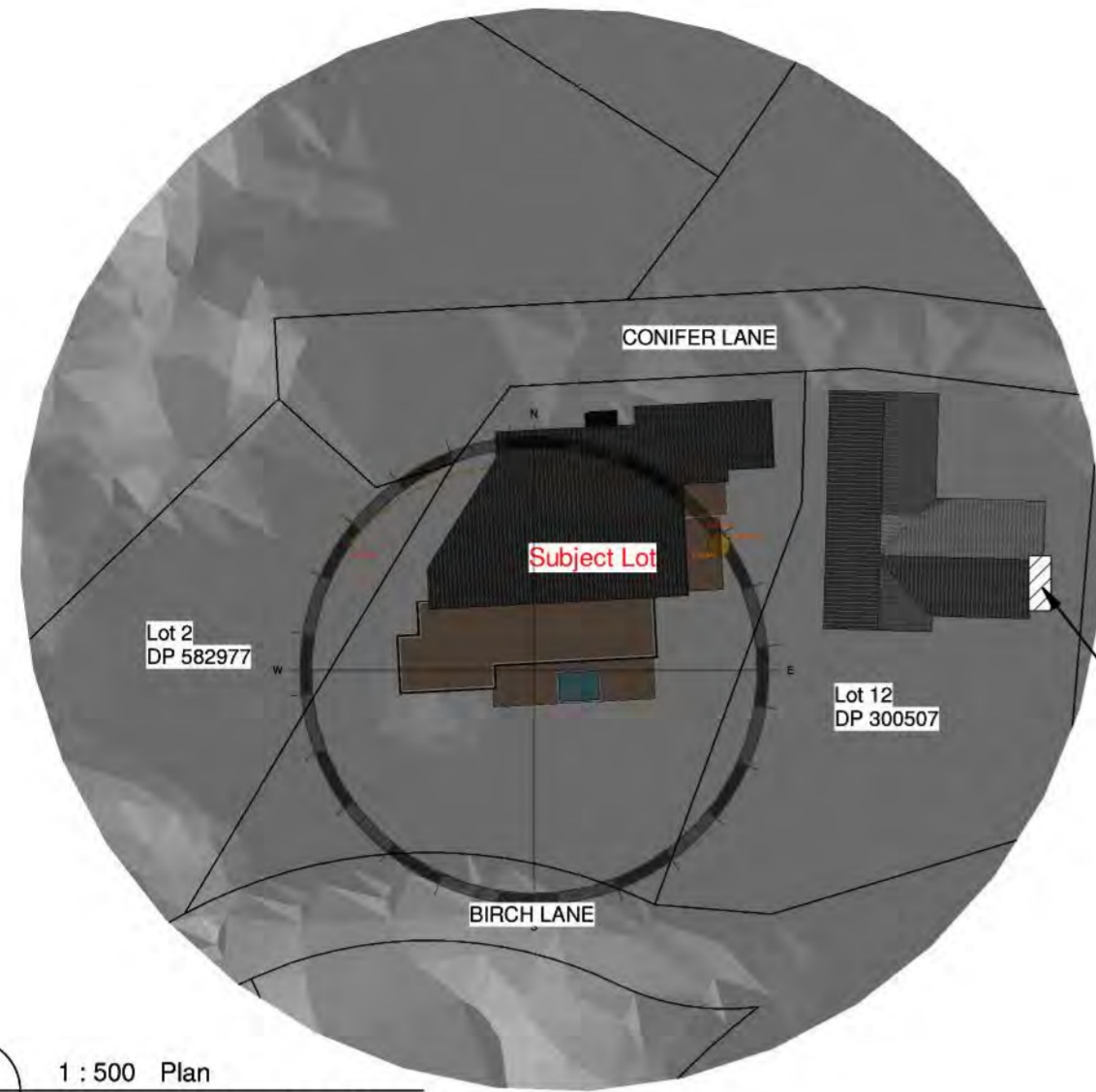
DESIGN JH  
DRAWN JW

**ARCHITECTURAL**

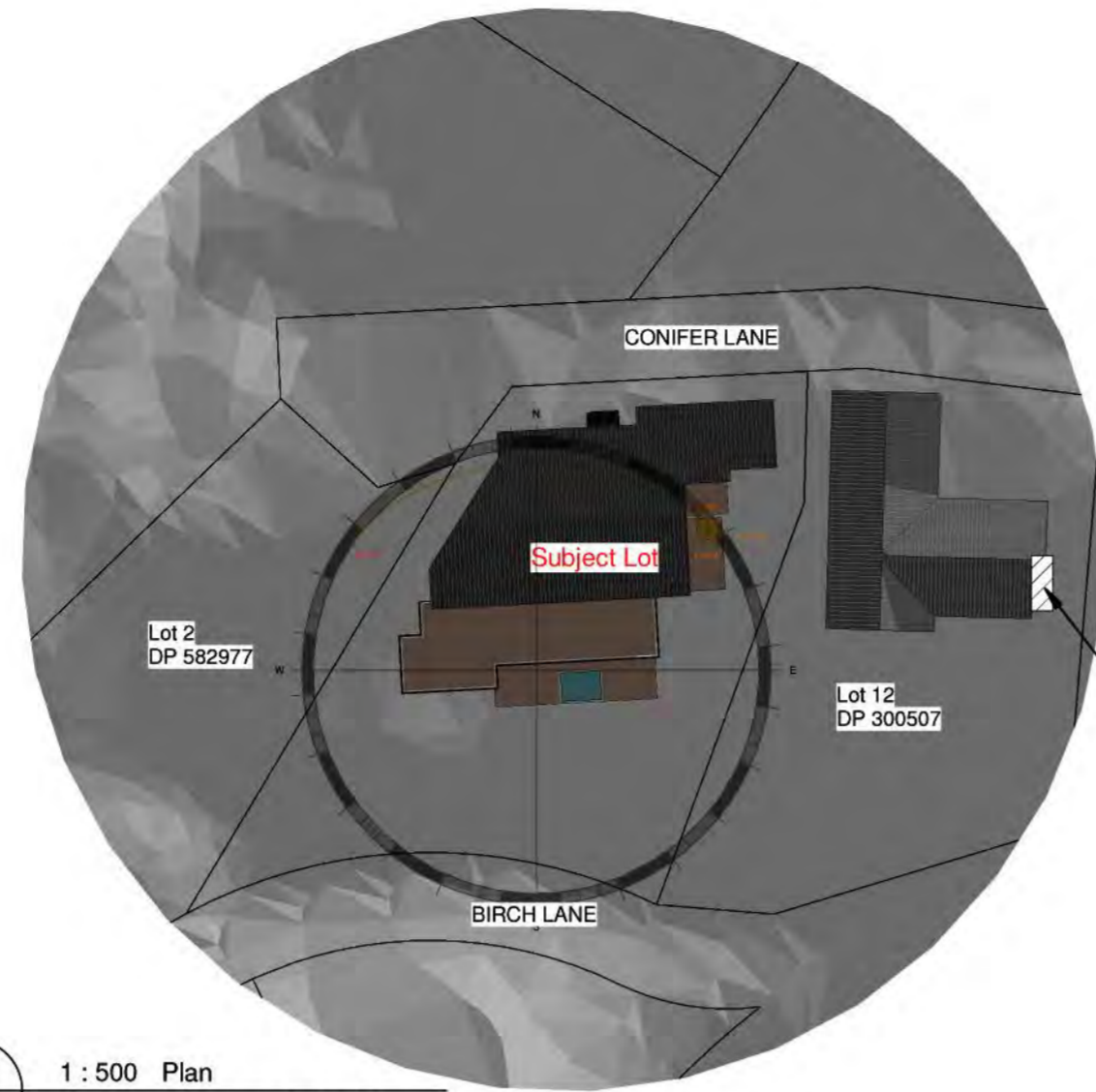
Drawing Number Revision  
**A1-04A** **A**

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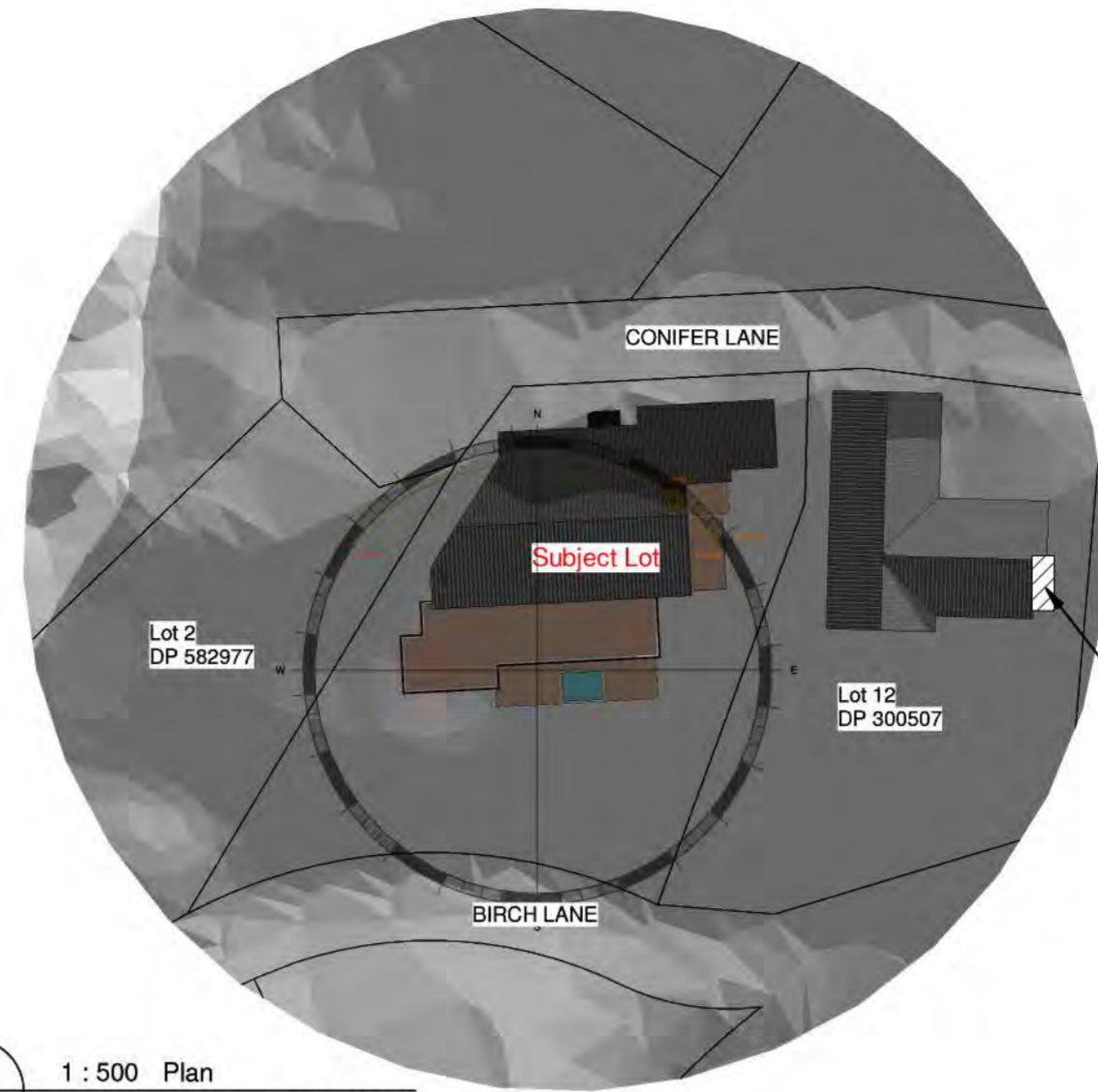
**QUEENSTOWN LAKES DISTRICT COUNCIL**  
**APPROVED PLAN:**  
**RM250342**  
**Monday, 04 August 2025**



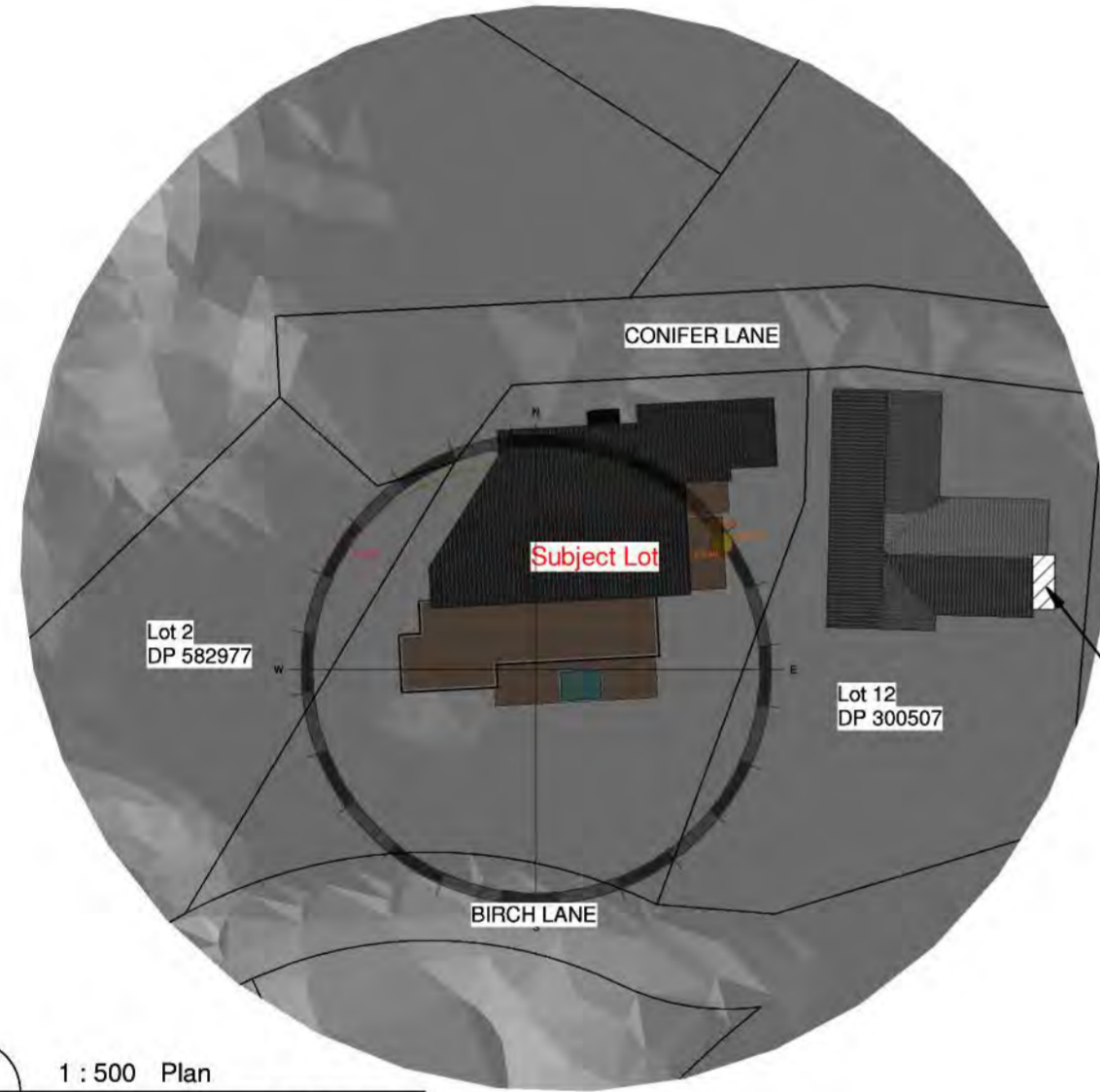
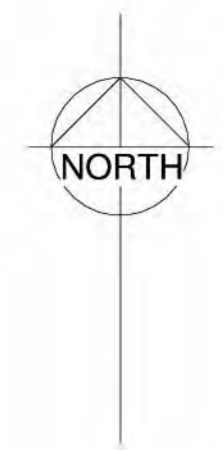
1 1:500 Plan  
SUN STUDY June 22 9 AM



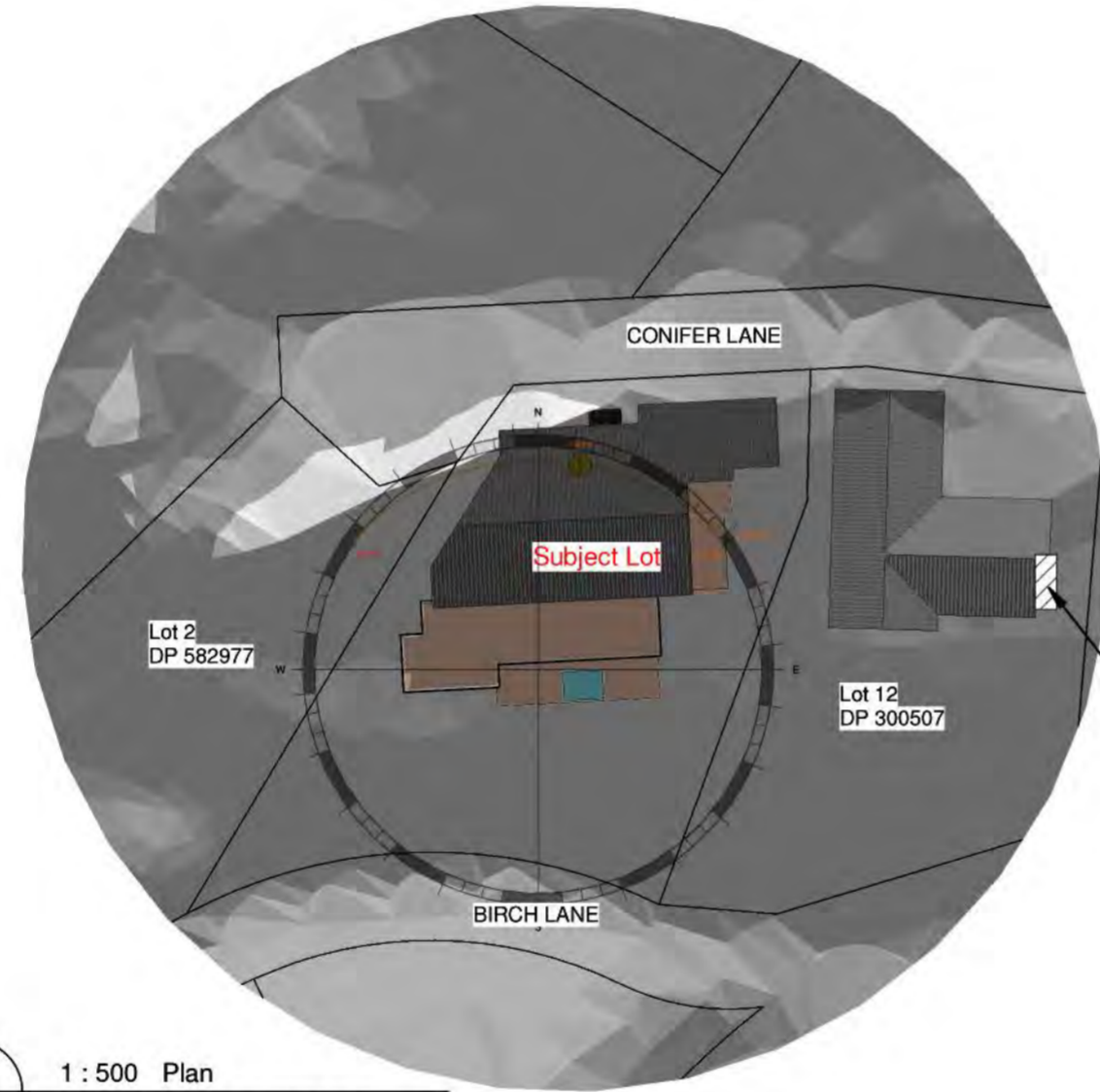
2 1:500 Plan  
SUN STUDY June 22 10 AM



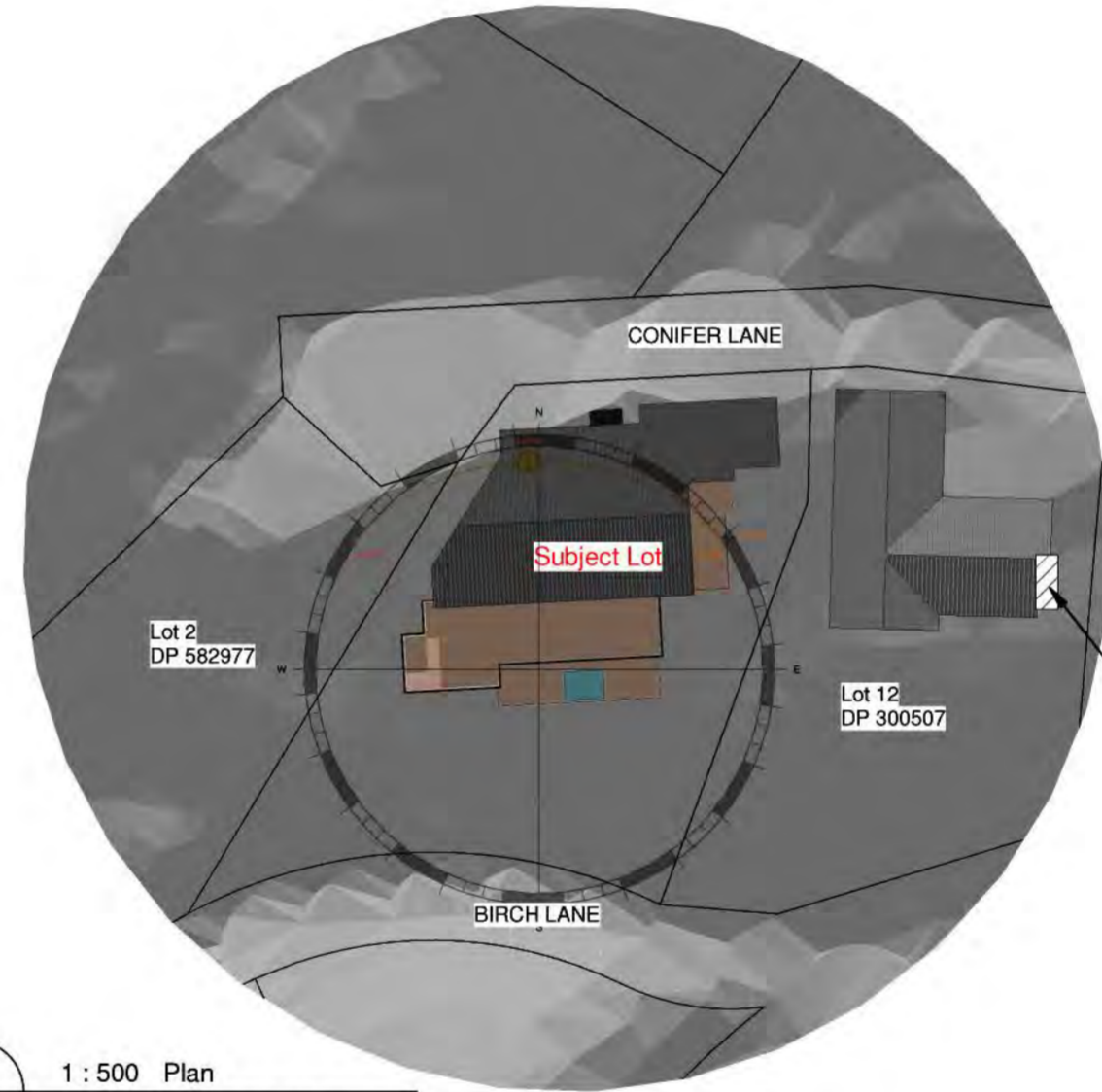
3 1:500 Plan  
SUN STUDY June 22 11 AM



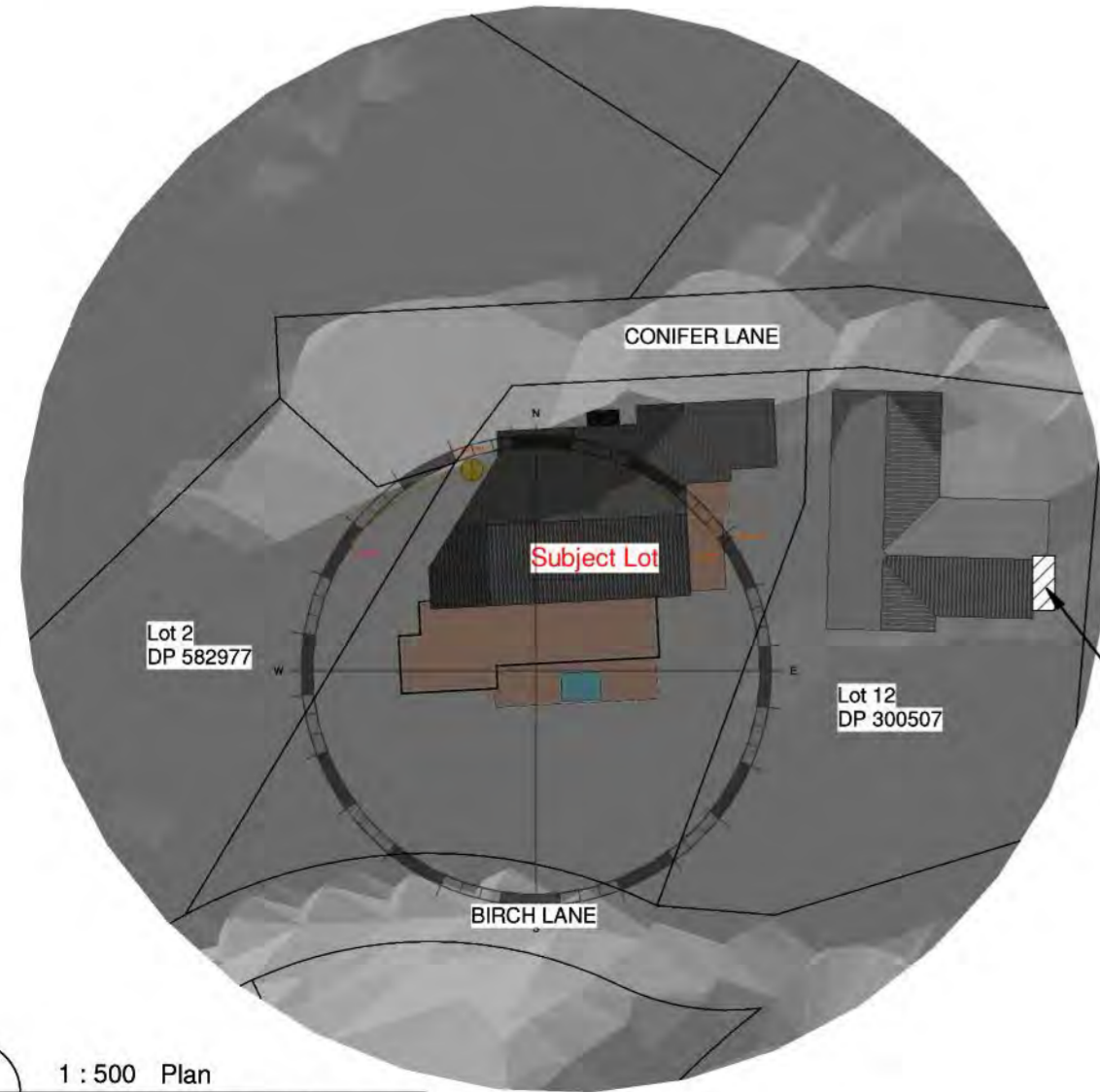
4 1:500 Plan  
SUN STUDY June 22 12 AM



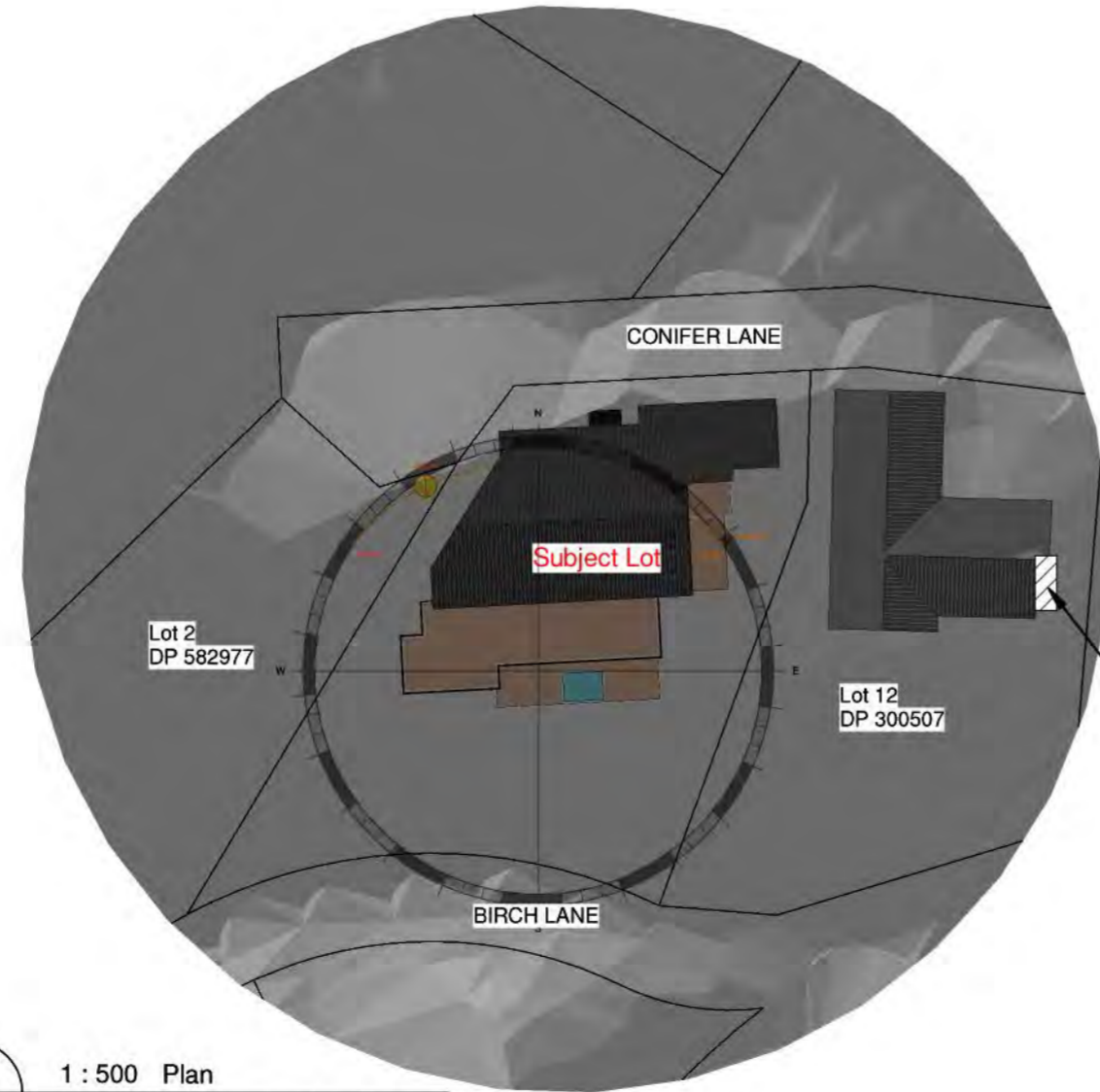
5 1:500 Plan  
SUN STUDY June 22 13 PM



6 1:500 Plan  
SUN STUDY June 22 14 PM



7 1:500 Plan  
SUN STUDY June 22 15 PM



8 1:500 Plan  
SUN STUDY June 22 16 PM

NOTES:

Date of sunstudy in 22 June

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TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY PLAN-June

SCALE @ A1= 1:500

DESIGN JH  
DRAWN JW

**ARCHITECTURAL**

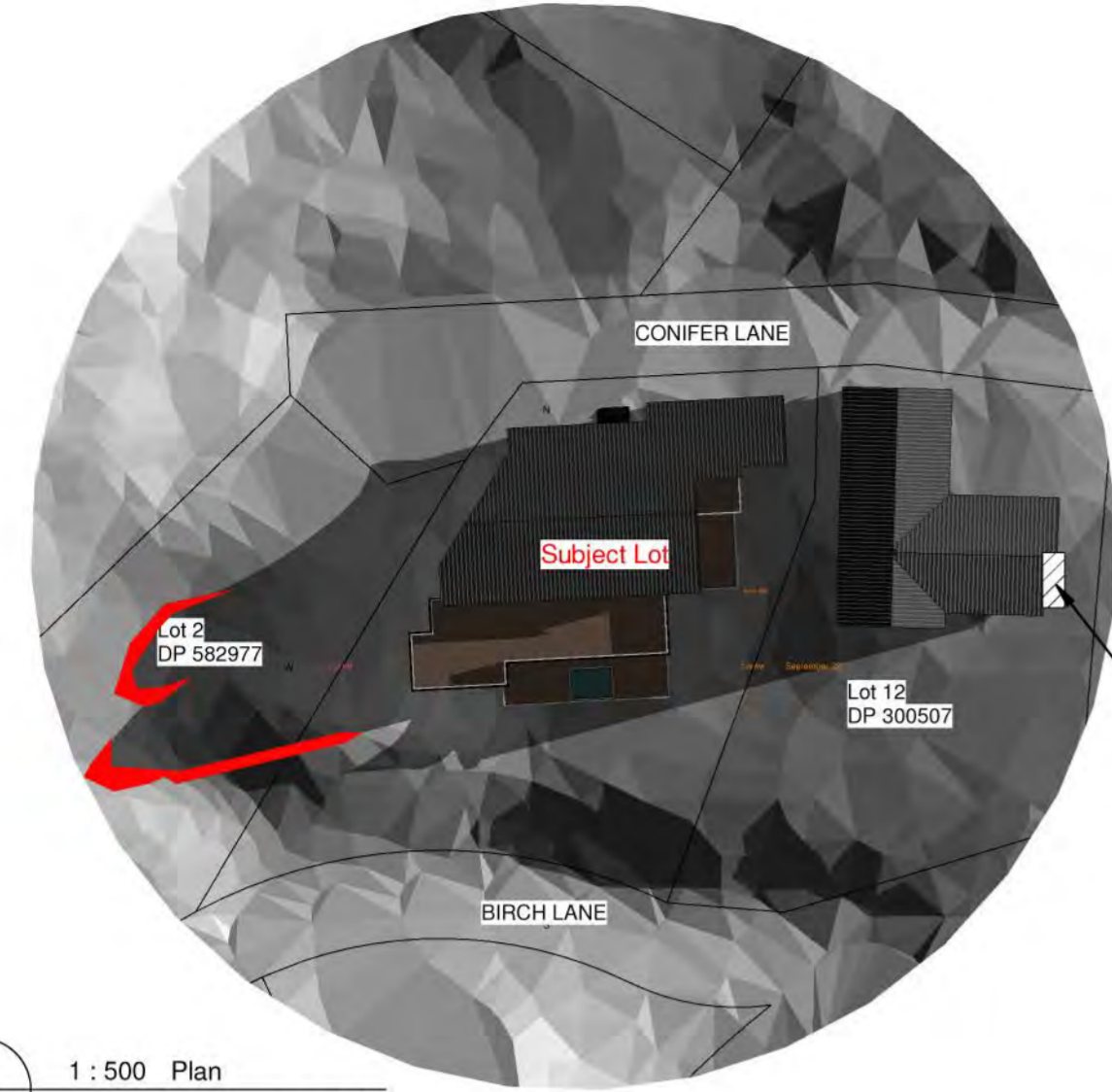
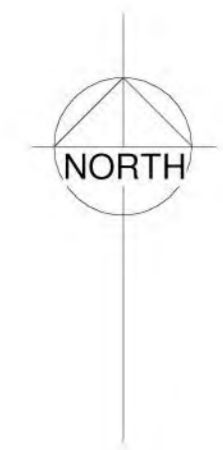
Drawing Number Revision  
**A1-04B** **A**

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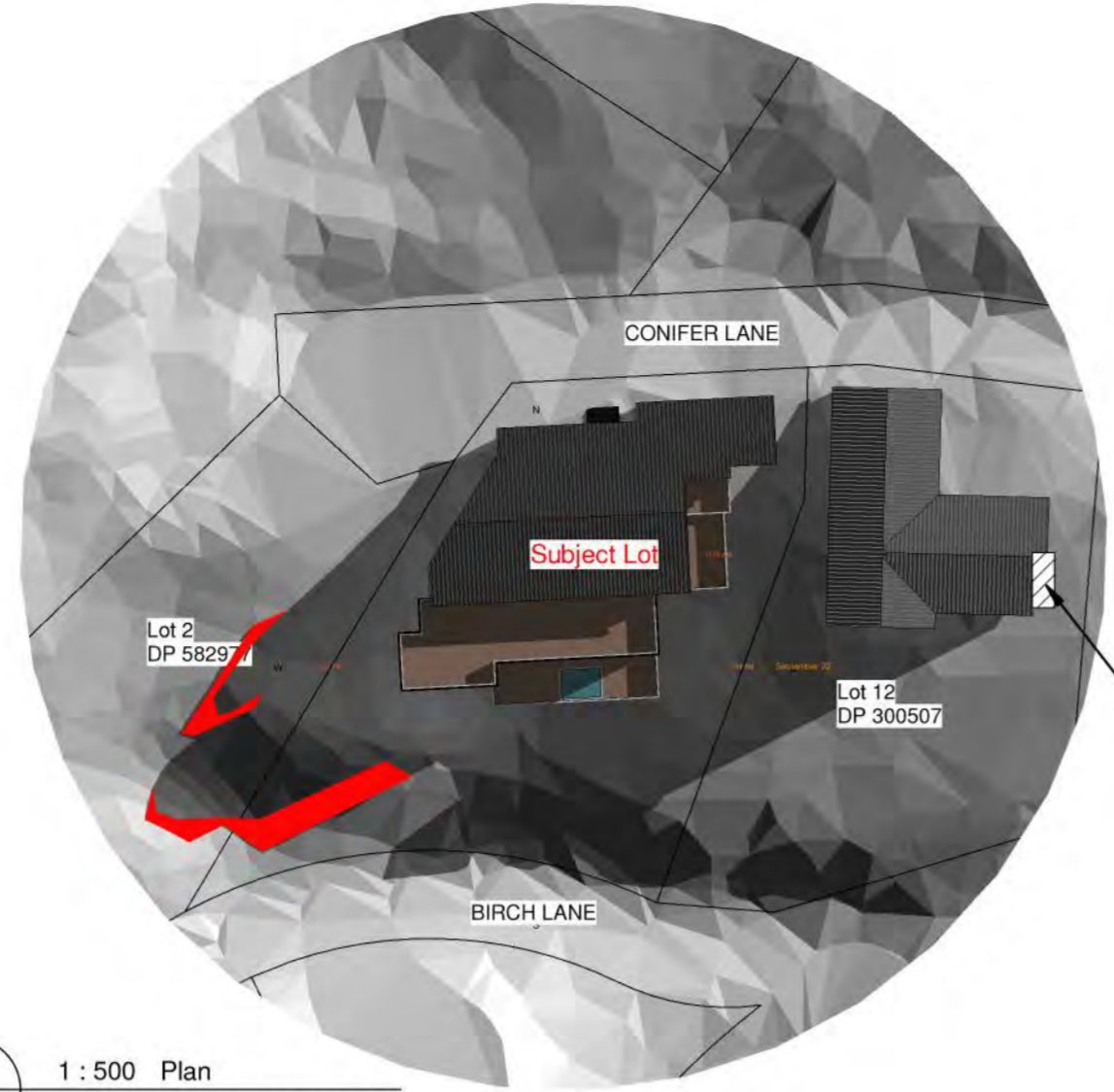
**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM250342**

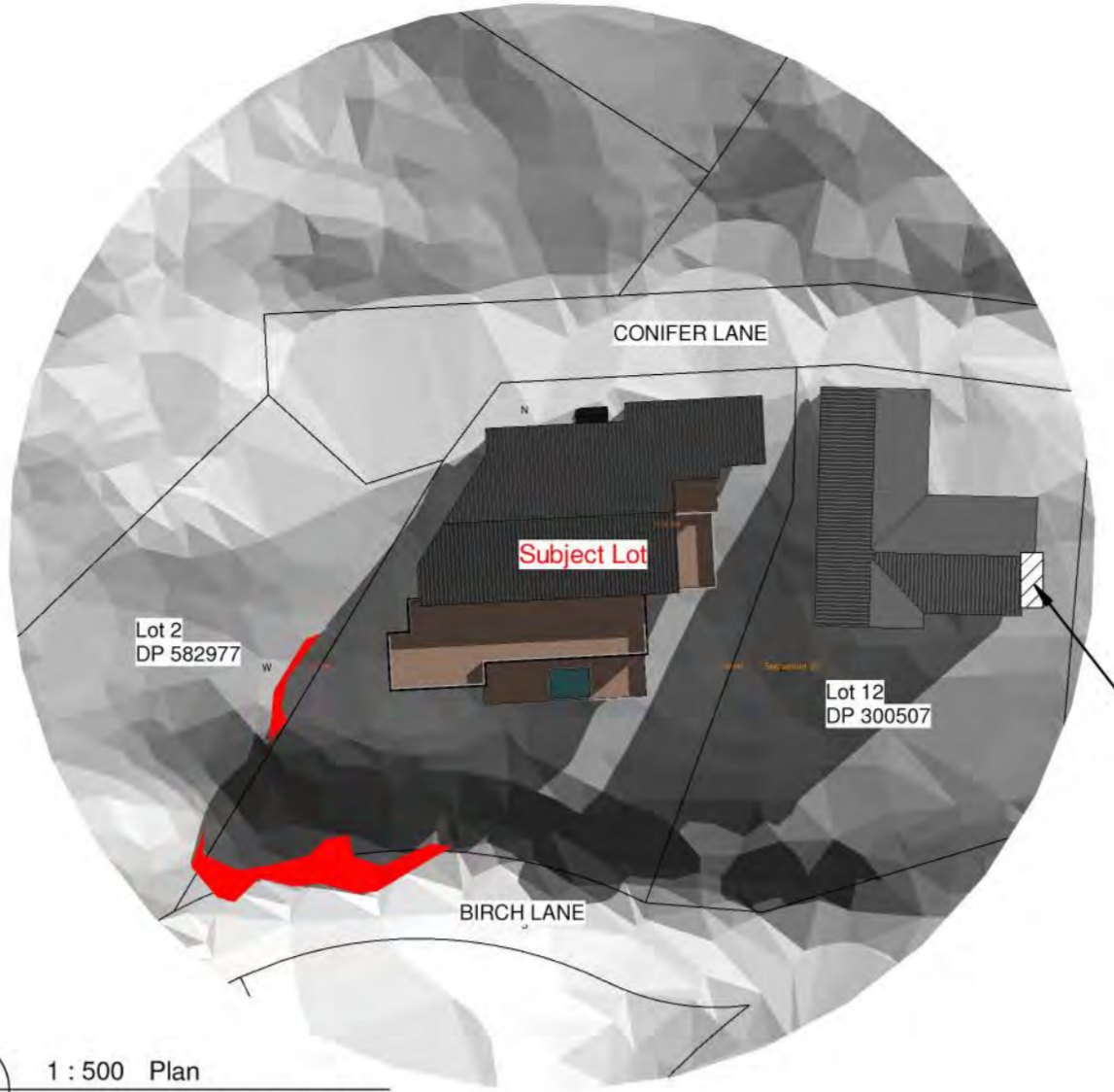
**Monday, 04 August 2025**



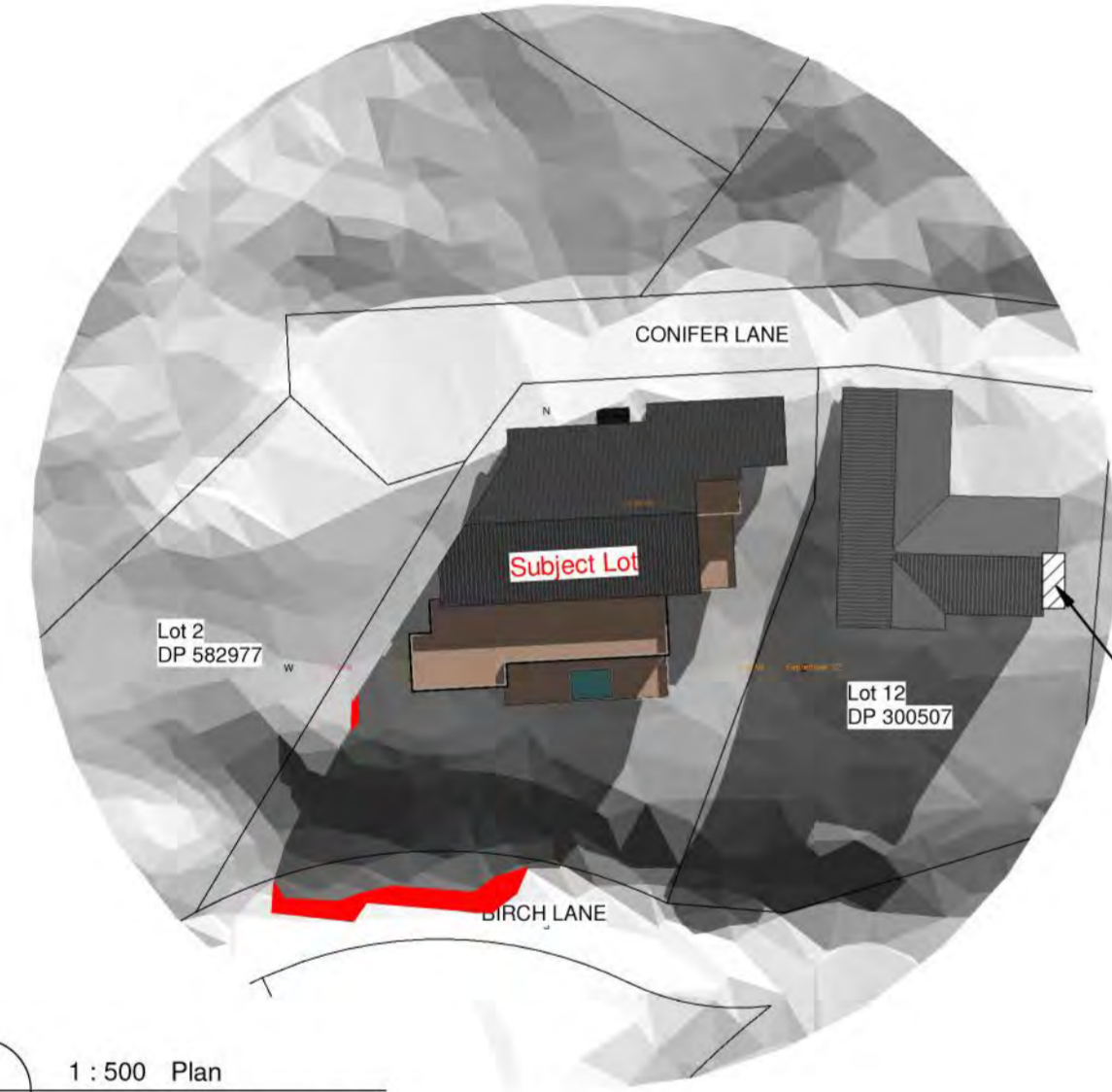
1 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 9 AM



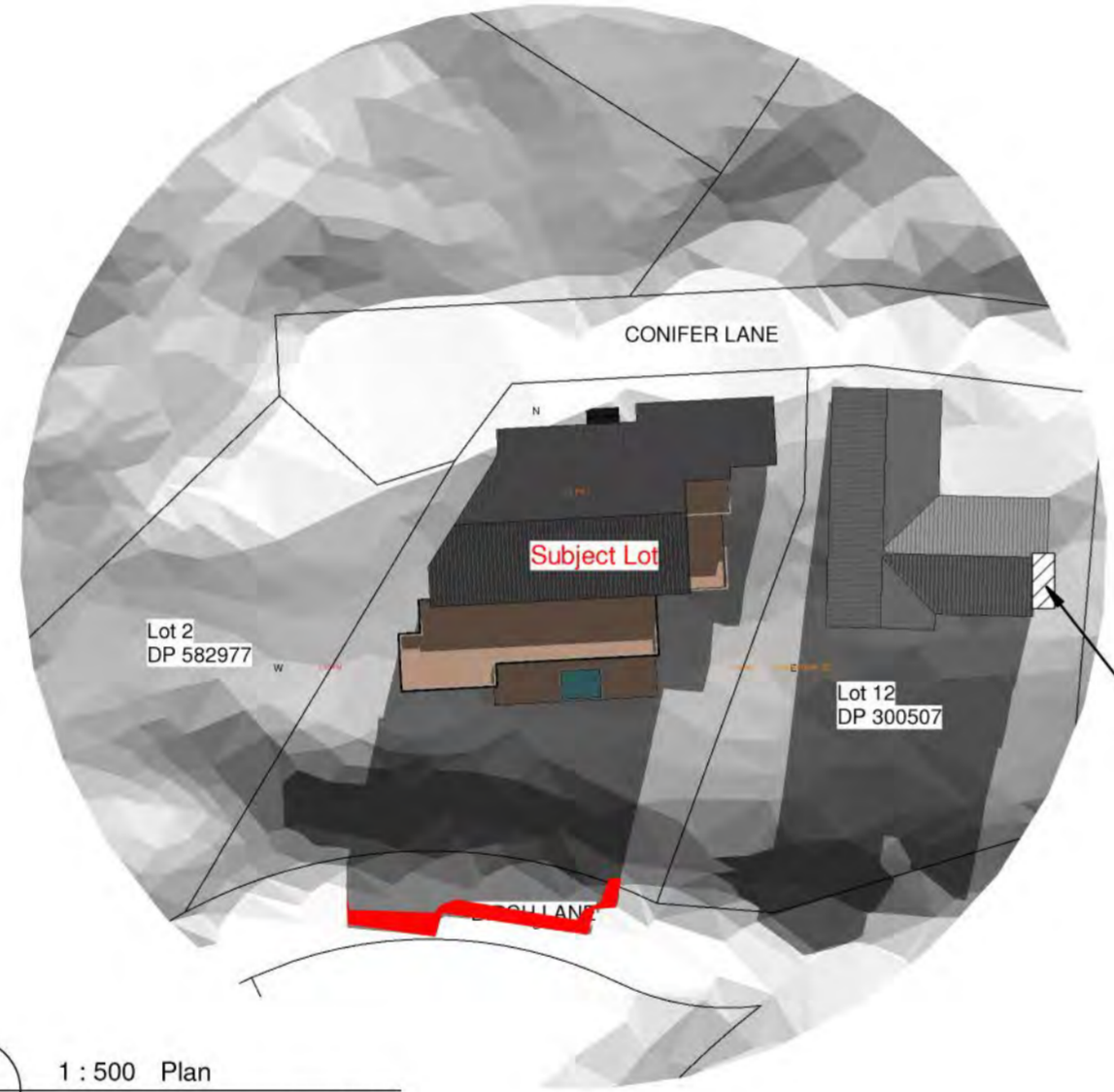
2 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 10 AM



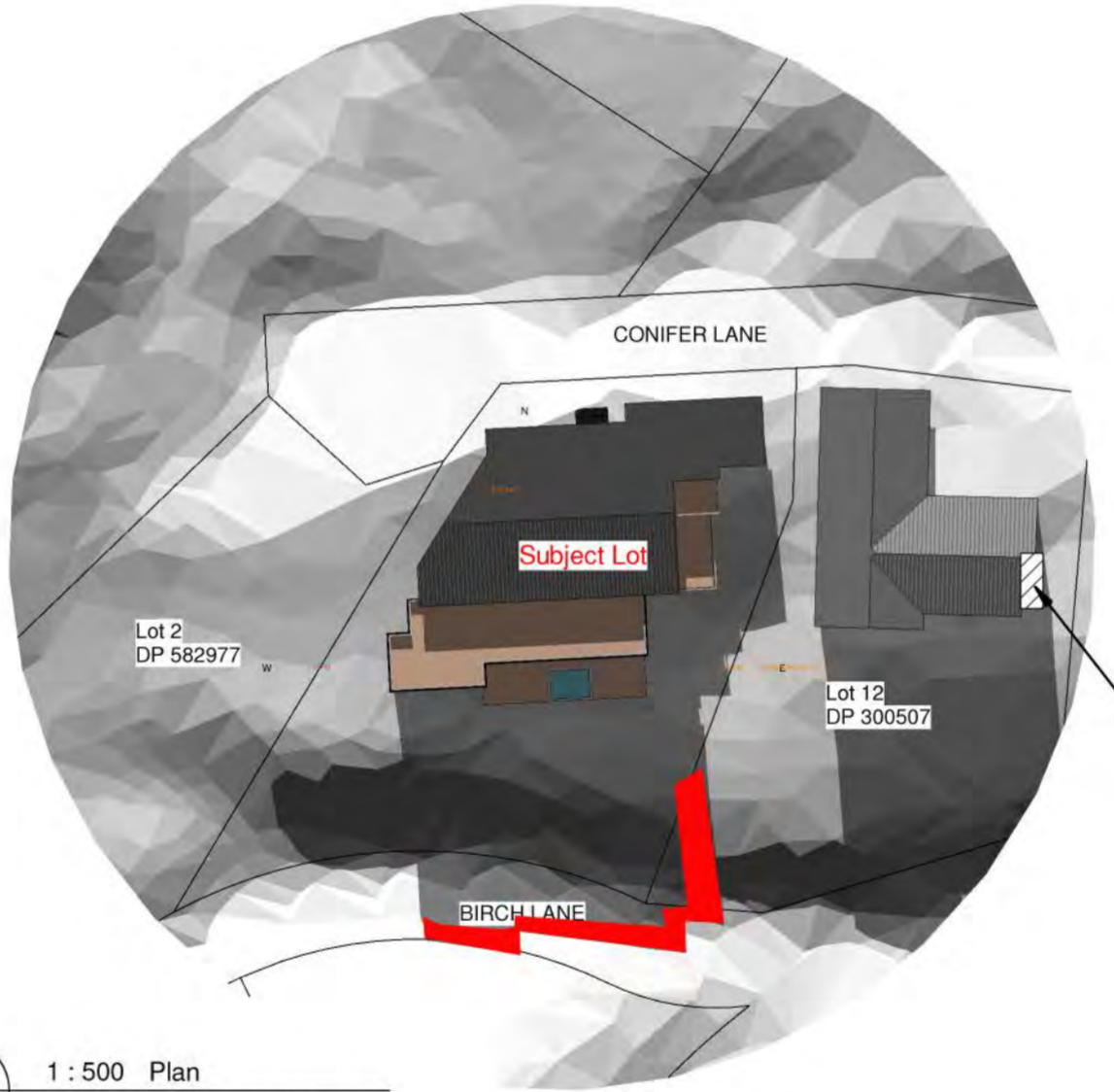
3 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 11 AM



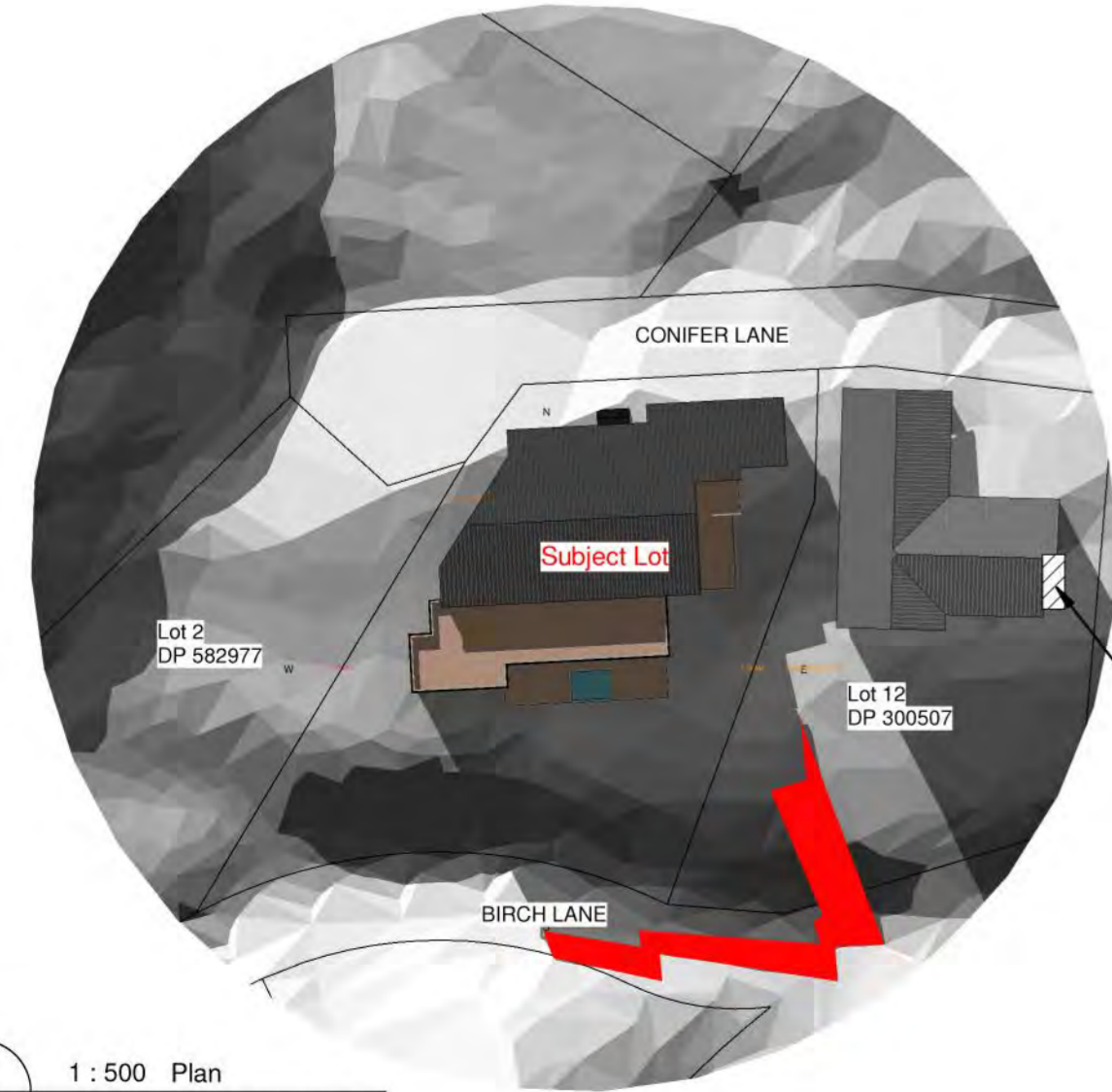
4 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 12 AM



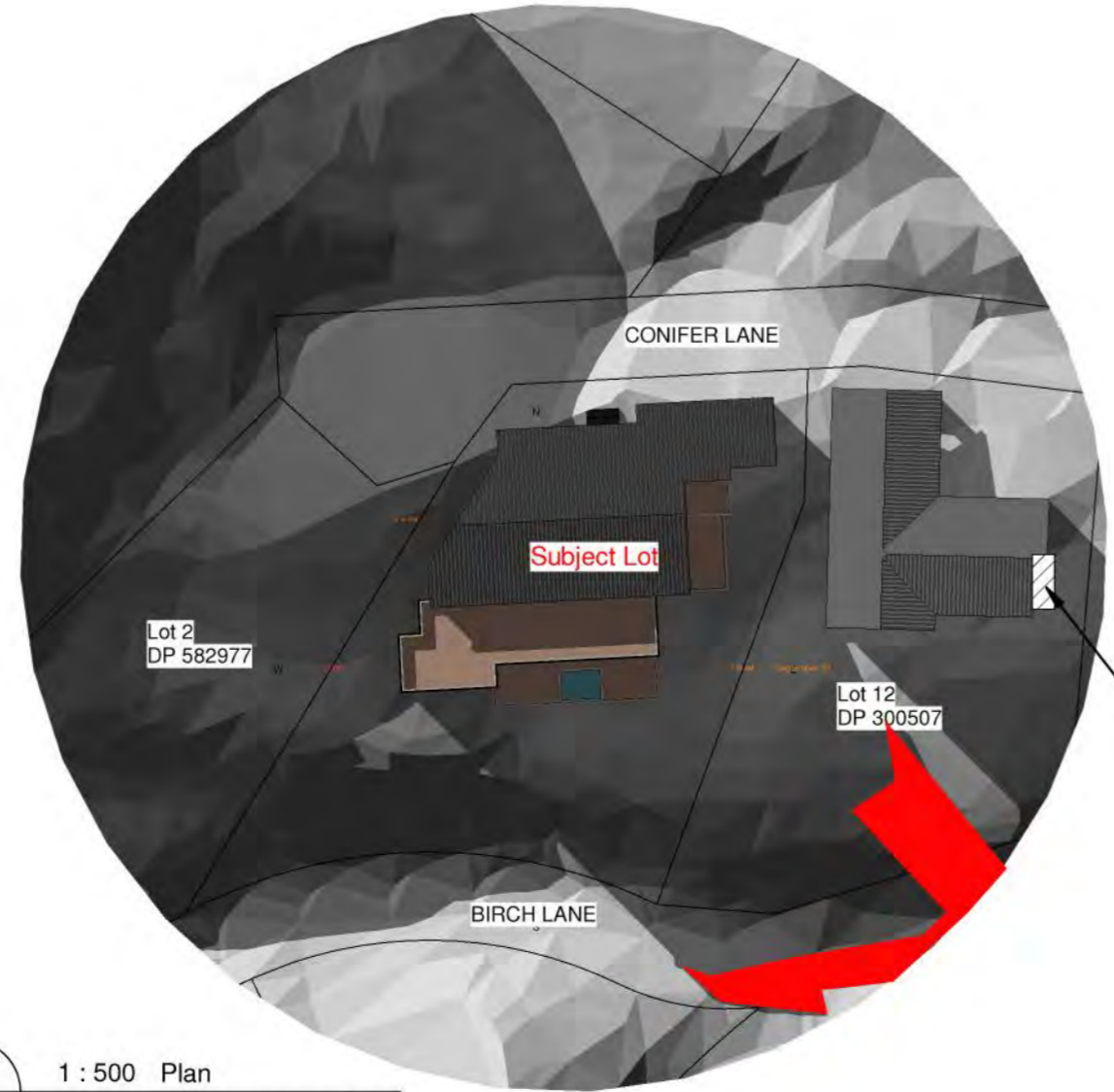
5 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 13 PM



6 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 14 PM



7 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 15 PM



8 1 : 500 Plan  
A1-21 SUN STUDY Sep 22 16 PM

NOTES:

Date of sunstudy in 22 September

Shade of Infringement area:



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TEL: 09-4145366

Project Number: 225QLDS  
NEW DWELLING  
5 Conifer Lane, Queenstown

Sheet  
SUN STUDY  
PLAN-September

SCALE @ A1= 1 : 500

DESIGN JH  
DRAWN JW

**ARCHITECTURAL**

Drawing Number Revision  
**A1-04C** **A**

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**QUEENSTOWN LAKES DISTRICT COUNCIL**  
  
**APPROVED PLAN:  
RM250342**  
  
**Monday, 04 August 2025**

To: Queenstown Lakes District Council  
Re: Application for Residential Visitor Accommodation – 5 Conifer Lane

Dear Planning Officer,  
Please find enclosed the Resource Consent Application for RVA at 5 Conifer Lane, including AEE, VAMP, and NMP.  
Kind regards,  
Jim He