

Wānaka-Upper Clutha Community Board

12 February 2026

Report for Agenda Item | Rīpoata moto e Rāraki take [4]

Department: Planning & Development

Title | Taitara: Licence to Occupy 1-5 Prospectors Lane, Cardrona (LO250054)

Purpose of the Report | Te Take mō te Pūroko

The purpose of this report is to consider granting a Licence to Occupy the Road Reserve at 1-5 Prospectors Lane, Cardrona, to formalise multiple permanent structures within the vested road reserve.

Recommendation | Kā Tūtohuka

That the Wānaka-Upper Clutha Community Board:

1. **Note** the contents of this report and in particular;
2. **Grant** a Licence to Occupy to Central Road Properties Limited enabling the formalisation of multiple access and retaining structures within the Prospectors Lane road reserve, Cardrona subject to the following conditions:
 - a. *The licence shall remain at Council's pleasure.*
 - b. *The licence applies solely to formalisation of the following pre-existing structures located within the Prospectors Lane Road Reserve:*
 - *Handrails*
 - *Stairs*
 - *Masonry Walls*
 - c. *Handrails must be trimmed at least 150mm behind back of kerb , to ensure they do not protrude beyond the first step within 10 days of issue of the licence.*
 - d. *No additional structures or occupation of the road reserve beyond those listed above are permitted under this licence.*
 - e. *In the event that Council requires access to any Council services in or in close proximity to the agreed location, Council will not be liable for damage to, reinstatement of, or costs associated with the occupation removal. In an*

emergency Council's team may arrange removal of the occupation and recover costs from Applicant.

- f. Structures must not compromise road or services maintenance activities.*
- g. Any future Council infrastructure projects, including but not limited to road widening or service installation, shall take precedence over the Licence. The Licensee must comply with any relocation or removal requirements imposed by Council.*
- h. The Licence may be revoked at any time, without compensation, should the occupation conflict with Council's roading or infrastructure requirements.*
- i. Ongoing maintenance of the structures are to be the responsibility of the Licensee.*
- j. The Applicant must register a Covenant in Gross against the title of Lot 1 DP 602280 to secure the terms and conditions of the Licence to Occupy in perpetuity for all future owners.*

Written evidence of registration must be provided to QLDC at engineeringapprovals@qldc.govt.nz.

If the covenant is not registered in accordance with this condition the Licence to Occupy remains unauthorised until registration is completed.

All costs associated with preparing, Council solicitor review/checking, and registering the covenant are borne by the Applicant.

3. **Authorise** this report and resolution to be made available to the public as part of the next CE's report to Council.

Prepared by:



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Officer
16 January 2026

Reviewed by:



Name: Craig Hughes

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20 January 2026

Approved by:



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Title: General Manager -
Planning and Development
21 January 2026

Context | Horopaki

1. Central Road Properties Limited (herein referred to as “the Applicant”) has applied for a Licence to Occupy (LTO) the Prospectors Lane Road Reserve, Cardrona.
2. The application seeks to formalise several permanent structures that currently encroach within the road reserve, including (Attachment B):
 - Masonry retaining walls
 - Stairs and handrails
3. The property is subject to Resource Consent RM200452 (as varied by RM220785 and RM250523), granted on 16 November 2020, and Building Consent BC210401, granted on 17 May 2021. Code of Compliance was issued on the 7 December 2022.
4. The Applicant is currently seeking a further variation to Resource Consent RM200452 (RM250714).
5. As part of the assessment of RM250714, Council’s Senior Land Development Engineer undertook a site visit and advised that a Licence to Occupy is required for the above-mentioned structures.
6. A pre-construction survey dated March 2020 and site photographs dated February 2020 confirm the presence of existing rock and masonry walls within Prospectors Lane prior to the grant of Resource Consent RM200452 (APPENDIX A, page 16).
7. The approved drawings under RM200452 show proposed stairs and handrails serving Units 1–3, with notes indicating the removal or modification of existing stone retaining and the construction of new stairs.
8. Site observations indicate that the handrails are positioned level with, and project toward, the kerb line. Given the narrow carriageway and absence of shoulder space, this configuration has the potential to affect vehicle safety.
9. Handrail details specify a height of 950 mm measured along the stair pitch line but do not address horizontal clearance from the traffic corridor.
10. Existing sightlines, measured in accordance with PDP Diagram 11, are restricted. Drivers are required to encroach into the carriageway to obtain visibility.
11. Prospectors Lane is a narrow laneway without a formed shoulder and is a vested Council road asset.

12. The lane functions primarily as an access route for adjacent properties and is not used as a main road or throughfare.

Analysis and Advice | Tatāritaka me kā Tohutohu

13. Council's officers were consulted, and their analysis and advice are as follows:

Roading Operations and Contracts Manager

- The proximity of the steps and handrails to the carriageway, including handrails protruding toward the road, raises safety concerns.
- No documented safety assessment has been provided for the proximity of the steps to the corner. Sight distances are restricted, and the limited setback may not meet minimum safety requirements.
- Subject to identified safety concerns being appropriately addressed and provision being made for potential future Council infrastructure, a degree of compromise at this location may be appropriate.
- While Prospectors Lane is vested by Council, its function is similar to a private access right-of-way, and the occupation is unlikely to result in a significant adverse effect on the wider public (refer to Attachment D)

Parks and Reserve Planner

- No comments or concerns were received by parks planning.

Monitoring, Enforcement and Environmental Officer

- Plans show that 1 Prospectors Lane already has access within the property boundary, and the additional stairs to the road edge are excessive.

Three Waters Engineer

- Private water tobies may be located within the initial retaining portion of the road reserve. No issues if they are fed from back of the property for wastewater, stormwater and drinking water.

14. Permanent structures within the road reserve constrain Council's ability to install, maintain, and upgrade essential infrastructure (including drainage, utilities, and pedestrian facilities). These effects can be managed through conditions of a licence with infrastructure-primacy provisions, secured by a Covenant in Gross registered on the title (condition j) to ensure ongoing application to future owners.

15. All Queenstown Lakes District Council (QLDC) issued LTOs are revokable and remain at Council's pleasure (condition a).
16. The following special conditions have been included due to the above internal stakeholder feedback/discussions:
- Condition (c): Handrails must be trimmed to ensure they do not protrude beyond the start of the kerb, thereby reducing the risk of injury to road reserve users.
 - Condition (d): No additional structures or occupation beyond those listed above are permitted under this licence.
 - Condition (g): Any future infrastructure projects, including but not limited to road widening or service installation, shall take precedence over the Licence. The Licensee must comply with any relocation or removal requirements imposed by Council.
 - Condition (h): The Licence may be revoked at any time, without compensation, should the occupation conflict with Council's roading or infrastructure requirements.
17. These additional conditions address proximity and safety concerns and ensure Council can require changes if standards are not met.
18. This report identifies and assesses the following reasonably practicable options for assessing the matter as required by section 77 of the Local Government Act 2002.
19. **Option 1** Wanaka-Upper Clutha Community Board (WUCCB) **grant** the LTO Road Reserve application subject to the conditions proposed above

Advantages:

- Provides a formal and enforceable mechanism to manage existing occupations and promote compliance with Council standards.
- Enables retention of existing structures that may have functional or amenity value for the adjoining property.
- Reduces ambiguity regarding ownership, maintenance, and responsibility for works within the road reserve.
- Allows Council to impose conditions to address safety matters and future infrastructure needs.
- Includes enforceable conditions such as minimum sight-line requirements, and provision for relocation or removal at no cost to Council, reducing risk relative to unmanaged encroachment.

Disadvantages:

- Permanent structures within the road reserve limit Council's flexibility for future infrastructure upgrades (including drainage, utilities, and pedestrian facilities).
- May set a precedent for permitting private structures within public road reserves, potentially leading to similar applications.
- Residual safety risk may remain if mitigation measures are not fully implemented or maintained over time.

20. **Option 2** WUCCB **decline** the LTO Road Reserve application.

Advantages:

- The road reserve will return to its original condition, free of permanent private structures allowing for public use and possible future infrastructure development.
- Aligns with Council policy direction to avoid permanent encroachment within road reserves.
- Removes potential safety risks associated with structures located in close proximity to the carriageway.
- Avoids setting a precedent for similar encroachments in vested road reserves.

Disadvantages:

- Would require the Applicant to remove or modify existing structures, which may be costly and contested.
- Does not provide a formal mechanism to manage the existing encroachments in the interim.
- May result in compliance challenges or delays if removal or remediation is not promptly undertaken.

21. This report recommends **Option 1** for addressing the matter as deemed appropriate by Council's officers.

Consultation Process | Hātepe Matapaki

Significance and Engagement | Te Whakamahi I kā Whakaaro Hiraka

22. This matter is of medium significance, as determined by reference to the Council's Significance and Engagement Policy 2024. As it relates to Council's roading network is identified as a strategic and significant asset. Although the significance is medium, the revocable nature of the licence and primacy of future works materially limit permanent impact and precedent risk.
23. There are no persons, other than the applicants, identified who are adversely affected by or would be significantly interested in this matter.
24. Council officers were consulted about this application, and their comments are contained within this report.

Māori Consultation | Iwi Rūnaka

25. Council has not consulted Iwi as part of this application.

Risk and Mitigations | Kā Raru Tūpono me kā Whakamaurutaka

26. This matter relates to the Regulatory/Legal/Compliance risk category. It is associated with RISK10021 Ineffective operations and maintenance of property or infrastructure assets within the QLDC Risk Register. This risk has been assessed as having a very high residual risk rating. This matter relates to this risk because permanent structures in the road reserve (retaining walls, stairs and handrails) compromise Council's ability to maintain or upgrade roading infrastructure.
27. This matter relates to the Workforce risk category. It is associated with RISK10032 Health, safety or wellbeing incident affecting employee within the QLDC Risk Register. This risk has been assessed as having a moderate residual risk rating. This matter relates to this risk because works to remove or modify structures involve physical hazards for contractors.
28. This matter relates to the Community & Wellbeing risk category. It is associated with RISK10048 Health, safety or wellbeing incident affecting member of the public within the QLDC Risk Register. This risk has been assessed as having a moderate residual risk rating. This matter relates to this risk because current handrails protrude towards the carriageway, creating a hazard for vehicles and pedestrians.
29. Approving the recommended option allows Council to control and reduce risks relative to the current unregulated encroachment. The licence is revocable at Council's pleasure; future infrastructure has primacy; required clearances and sight-lines will be achieved; an independent RSA will verify safety performance; and removal/relocation can be required at no cost to Council. If conditions are not met, Council may revoke the licence and require removal.

Financial Implications | Kā Riteka ā-Pūtea

30. The Applicants have paid a fee for their application to be processed which includes the preparation of the licence document if successful.
31. Should a legal review of the licence be required, Council's legal costs will be recovered from the applicant.
32. Council's legal costs to have the Licence recorded against the Applicant's title by a Covenant in Gross will be recovered from the Applicant.

Council Effects and Views | Kā Whakaaweawe me kā Tirohaka a te Kaunihera

33. The following Council policies, strategies and bylaws were considered:
- **Significance and Engagement Policy 2024:** Providing clarity on Council's decision-making processes and assessing the extent to which individuals, organisations, groups and sectors in the community are affected by the Council's decisions.
 - **Long Term Plan:** The consideration to grant or otherwise a Licence to Occupy is considered part of the Council's 'Regulatory Services' outlined in the Plan.
 - **Asset Management Policy 2016 & Infrastructure Asset Management Strategy (2018-2048):** Emphasise maintaining Council's ability to manage and upgrade infrastructure, which permanent encroachments compromise.
 - **Council's Urban Verge Mowing Policy 2007:** Assumes most verges are grassed and places the civic responsibility of maintaining grassed verges on the adjacent property owner.
 - **Draft Open Space Strategy 2021:** Guides protection and use of public spaces, reinforcing the need to keep road reserves free of permanent private structures.
 - **Traffic and Parking Bylaw 2018:** Provide legal controls on structures or obstructions within road reserves.

34. The recommended option is consistent with the principles set out in the named policy/policies.
35. This matter is not included in the Long Term Plan/Annual Plan as the cost of the licence will be met by the applicant.

Legal Considerations and Statutory Responsibilities | Ka Ture Whaiwhakaaro me kā Takohaka Waeture

36. The decision on whether to grant or decline an LTO road reserve must comply with the following statutory and legal frameworks:

- **Local Government Act 2002:** Sections 76-78 require Council to follow proper decision-making processes, including consideration of reasonably practicable options and the views of affected persons. Section 10 sets out the purpose of local government: to enable democratic local decision-making and action by, and on behalf of, communities; and to promote the social, economic, environmental, and cultural well-being of communities in the present and for the future. Granting a revocable LTO under strict conditions is consistent with LGA s10 obligations, protecting public assets while resolving existing encroachments safety.
- **Traffic and Parking Bylaw 2018:** Provides legal controls on structures or obstructions within road reserves. Permanent encroachments such as ramps and retaining walls are inconsistent with the intent of this bylaw.
- **Temporary Use of Public Space for Construction Purposes Policy (2003):** Limits occupation of road reserves to short-term, reversible activities. The proposed permanent structure does not comply with this policy.
- **Asset Management Obligations:** Council has a statutory responsibility to maintain and upgrade roading infrastructure. Granting permanent occupation would compromise Council’s ability to meet these obligations.

37. Council has not sought legal advice for this specific application, as the recommendation to decline is consistent with Council’s policies, bylaws, and statutory responsibilities.

Local Government Act 2002 Purpose Provisions | Te Whakatureture 2002 o te Kāwanataka ā-Kiaka

38. Section 10 of the Local Government Act 2002 states the purpose of local government is (a) to enable democratic local decision-making and action by, and on behalf of, communities; and (b) to promote the social, economic, environmental, and cultural well-being of communities in the present and for the future.

39. The recommended option:

- Is consistent with the Council's plans and policies; and
- Would not significantly alter the intended level of service provision for any significant activity undertaken by or on behalf of the Council or transfer the ownership or control of a strategic asset to or from the Council.

Attachments | Kā Tāpirihaka

A	Cover Letter
B	Handrails & Sight Distances
C	Mark Up plans showing structures for formalisation
D	Location Overview



**2340 Cardrona Valley
Road, Cardrona**

**Licence to Occupy
Road Reserve**

**Central Road
Properties Ltd**

30 October 2025



LTO APPLICATION – 2340 CARDRONA VALLEY ROAD

Project number	J001008
Version number	1.0
Date	30/10/25
Project Manager	Emma Bunce
Author	Veronika Jia
Additional technical contributors	

VERSION	DATE	DESCRIPTION	AUTHOR	REVIEWED
1.0	28/10/25	LTO Application	VJ	EB



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1. INTRODUCTION

The Applicant, Central Road Properties Limited, is seeking to apply for a Licence to Occupy Road Reserve for a retaining structure and stairs within Prospectors Lane, for the benefit of 2340 Cardrona Valley Road, Wanaka (Lot 1 DP 602280). The following consents have been obtained for the development of 2340 Cardona Valley Road:

- Resource consent RM200452 granted on 16 November 2020 and subsequently varied under RM220785 and RM250523.
- Building Consent BC210401 granted on 17 May 2021 and Code Compliance Certificate (CCC) obtained on 07 December 2022.

2. BACKGROUND

Resource Consent RM200452, granted on 16 November 2020, as amended by RM220785 (granted 15 September 2022) and RM250523 (granted 14 August 2025, re-issued 28 August 2025) provides for the following activities at 2340 Cardrona Valley Road:

- Construction of three units (Units 1-3) for residential and visitor accommodation activities, and associated earthworks, landscaping, sheds, and vehicle access, and infrastructure to service these units; and
- Subdivision of the Site into 5 lots, with 4 lots created around the Units 1-3 and Unit 13 (Lots 1-3 and 13) and a balance lot (Lot 100). (Unit 13 was consented under RM181899.)

Building Consent BC210401 was approved on 17 May 2021. Subsequently, the CCC was obtained on 07 December 2022.

In parallel with the above consenting process, on 14 December 2023, QLDC granted approval (RM230815) to Cardrona Camp Limited, to facilitate a boundary adjustment to transfer approximately 1000m² of 2348 Cardrona Valley Road (Lot 2 DP 27042) to 2340 Cardrona Valley Road (Lot 1 DP 27042). A survey plan showing this subdivision has since been deposited and a new record of title has been issued for the subject site. 2340 Cardrona Valley Road is now legally described as Lot 1 DP 602280. This boundary adjustment was not reflected in the scheme plan for the subdivision of 2340 Cardrona Valley Road that was approved by QLDC in August 2025, under RM250523. As such, a Section 127 (change of condition) application (RM250714) was lodged in September 2025 to amend the subdivision scheme plan approved under RM250523, prior to the survey plan being submitted to QLDC for approval under Section 223 of the RMA.

On 21 September 2025, QLDC issued a Section 92 Request for Further Information in relation to RM250714 asking that a Licence to Occupy (LTO) be obtained for structures that have been constructed in the Council Road Reserve on Prospectors Lane.

On 28 October an application for an extension of the lapse period for the subdivision consent issued under RM220785 was lodged (ET200452), to provide time for the LTO, RM250714, and the survey plan to be approved by QLDC.

3. SITE LOCATION AND DEVELOPMENT

OVERVIEW OF THE SITE

The site is located at 2340 Cardrona Valley Road, Cardrona as shown in Figure 1 below. The site is legally described as Lot 1 DP 602280 as held in the Record of Title (ROT) 1213339 under the ownership of Central Road Properties Limited. The ROT is contained in Appendix A.



Figure 1: Site Location 2340 Cardrona Valley Road, Source: LINZ 24 October 2025

The site is 5708m² in area.

The site is subject to a number of easements relating to right of way, right to transmit electricity and telecommunications, and right to convey water.

The site is located on the western side of Cardrona Valley Road towards the southern extent of the village. It is situated on the corner of Cardrona Valley Road and Prospectors Lane. It is rectangular-shaped and generally flat (with a slight slope from the western corner of the site to the eastern).

The site contains four buildings positioned parallel to the northern boundary, comprising of, from west to east, Units 1, 2, 3 (established under RM200452) and 13 (established under RM181899) along with utility sheds, landscaping, access and parking as provided for under the respective applications. Three vehicular access points are provided off Prospectors Lane for the respective Units

1, 2 and 3. Pedestrian access to Units 1 to 3 are via the dedicated pathways off Prospectors Lane. A vehicle access off Cardona Valley Road and parking area have also been implemented in accordance with RM181899 to provide access to the Abodo Wood show home (Unit 13) (refer to Photo 5 below) with pedestrian pathway running along the south and west of the Unit providing connection between Prospectors Lane and Cardrona Valley Road.

Photos (1-4) of the Site, taken in February 2023, are provided below:



Photo 1: Units 1-3, from Prospectors Lane



Photo 2: Unit 13, corner of Prospectors Lane and Cardrona Valley Road



Photo 3: Example of vehicle access and parking for Units 1-3, this photo is of Unit 2/Lot 2, from Prospectors Road.



Photo 4: Rear of the Units 2-3 and 13, from adjacent undeveloped area of Site, looking east towards Cardrona Valley Road.



Photo 5: Aerial view showing formed access and parking for Unit 13 (commercial showhome established under RM181899) (source: Cardrona Cabin Showroom Trailer – Abodo Wood)

The southern portion of the Site (within proposed Lot 100 as identified on the approved scheme plan) remains vacant with the exception of the formed access and parking area associated with the operation of the commercial show home. This undeveloped area is shown on photo 6 below, taken from the consent application for the boundary adjustment. The photo was taken on 14 September 2023, but no further development of this area of 2340 Cardrona Valley Road has occurred since that time. The rear of Units 1-3 and 13 are shown in the background of the photo, along the northern boundary.



Photo 6: 2340 Cardona Valley Road as viewed from 2348 Cardona Valley Road looking north-east (September 2023) – from “Camp Cardrona Variation and Boundary Adjustment, 4 Sight Consulting, dated October 2023.

4. DESCRIPTION OF THE APPLICATION

In response to the Section 92 Request for Further Information in relation to RM250714, a Licence to Occupy (LTO) is sought for structures that have been constructed in the Council Road Reserve on Prospectors Lane.

Refer to Appendix A for the pre-construction topographical survey by Clark Fortune McDonald & Associates dated March 2020. It shows that there is existing rock walls located within the road reserve of Prospectors Lane.

The photos appended in Appendix B (time stamped on 27 February 2020) also show the existing road wall along Prospectors Lane.

Resource Consent RM200452, granted on 16 November 2020, Plan A-12 C, Site Plan Dimensions - shows the existing walls and proposed stairs.

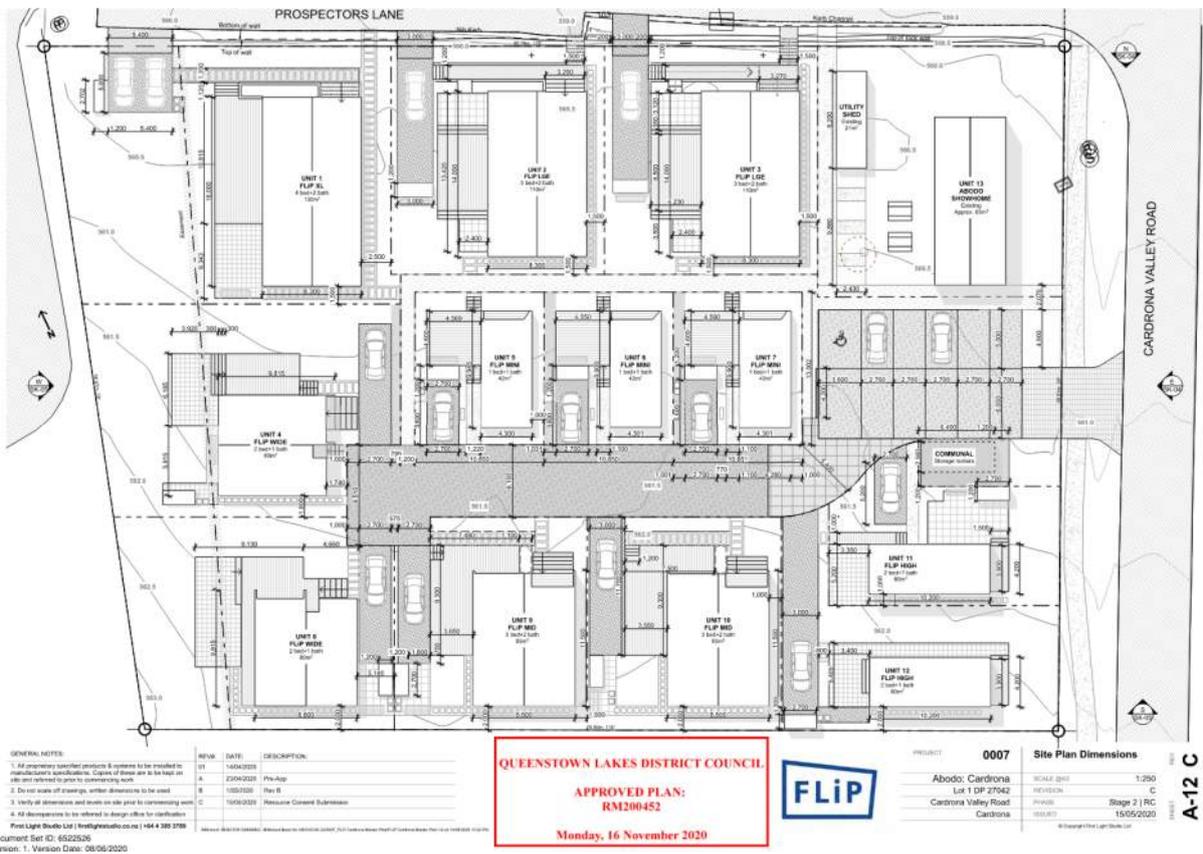


Figure 1 Plan A-12 C, Site Plan Dimensions

Building Consent BC210401, approved on 17 May 2021, on Plan A-12 B, Site Plan Dimensions - shows the existing walls and proposed stairs.

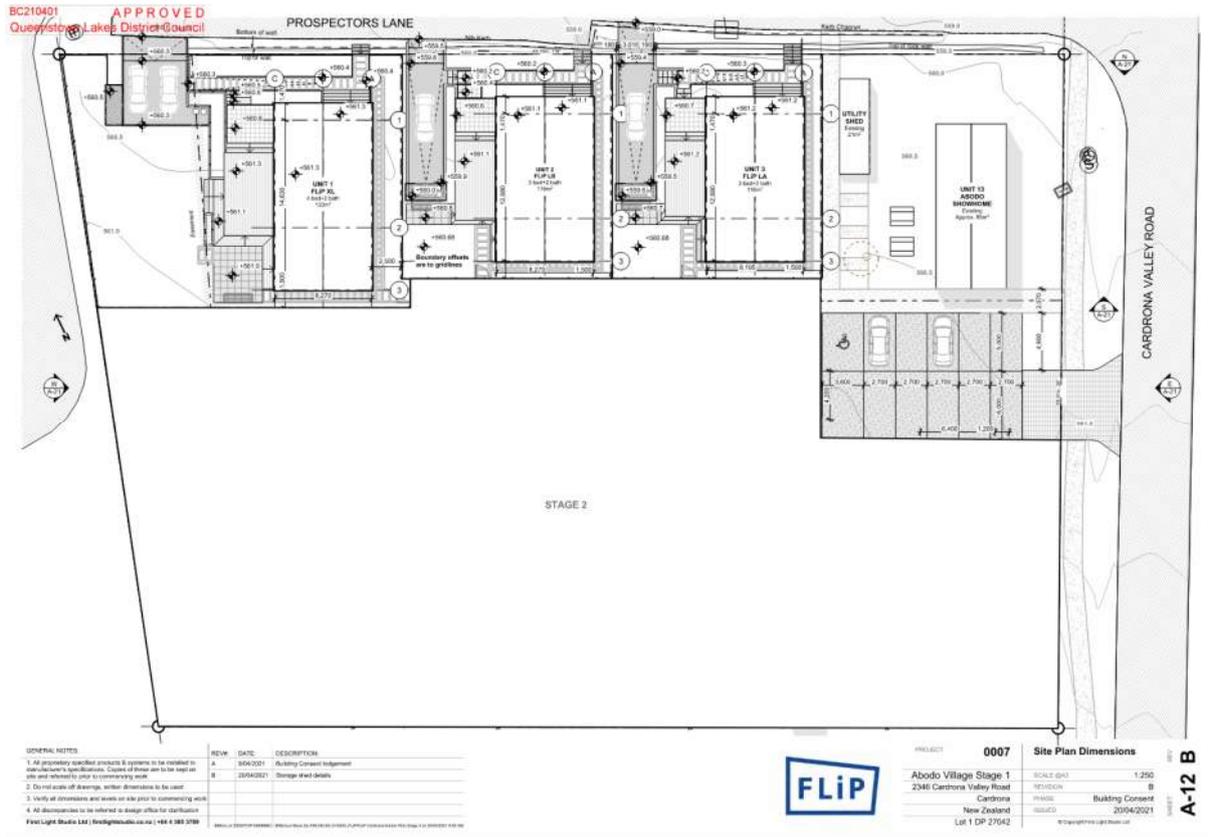


Figure 2 Plan A-12 B, Site Plan Dimensions

Refer to approved landscape drawings (Appendix C), the stairs and the masonry walls (clouded) are to be included in the licence to occupy application.

5. CONCLUSION

A licence to occupy the road reserve in Prospectors Lane is sought for new stairs and masonry walls, associated with the development of 2340 Cardrona Valley Road. Rock Walls to the north-north-east of the Site boundary existed prior to the development of the Site as consented in 2020. It is therefore assumed that a licence to occupy is not required for these pre-existing structures.

APPENDIX A – TOPO SURVEY 2020



LEGEND

- BOTTOM OF BANK
- TOP OF BANK
- ROCKY OUTCROP
- FENCE
- TREE
- POWER CONNECTION
- SPEED SIGN
- VALVE (UNKNOWN)
- TRANSFORMER
- BDY POINT (OLD PEG)
- SURVEY MARK
- WATER MAIN/LATERAL
- DRAINAGE MAIN/LATERAL
- SEWER MAIN/LATERAL
- MAJOR CONTOUR (2.0m INTERVAL)
- MINOR CONTOUR (0.5m INTERVAL)

DATUM
IT DP 27042

X: 363223.02
Y: 783378.81
Z: 560.97

ALL SERVICES TAKEN FROM QLDC DATABASE. NOT SURVEY ACCURATE



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Rev.	Date	Revision Details	By

TOPOGRAPHIC SURVEY
LOT 1 DP 27042
CARDRONA VALLEY

Client	Surveyed	Signed	Date	Job No.	Drawing No.
CENTRAL ROAD PROPERTIES	RG	Signed	03.03.20	13571	05
	Drawn	Signed		Scale	1:250 @ A1
	RG	Signed	04.03.20		1:500 @ A3
	Designed	Signed		Datum & Level	Rev.
				MTNIC2000 / MSL	-

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 - Using the drawings and other data in electronic form without requesting and checking them for accuracy against the original hard copy versions.
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CENTRAL ROAD PROPERTIES	RG		03.03.20	13571	05
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	Designed	Signed	Date	Datum & Level	Rev.
				MTNIC2000 / MSL	-

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APPENDIX B - PHOTOS TAKEN ON 27 FEB 2020

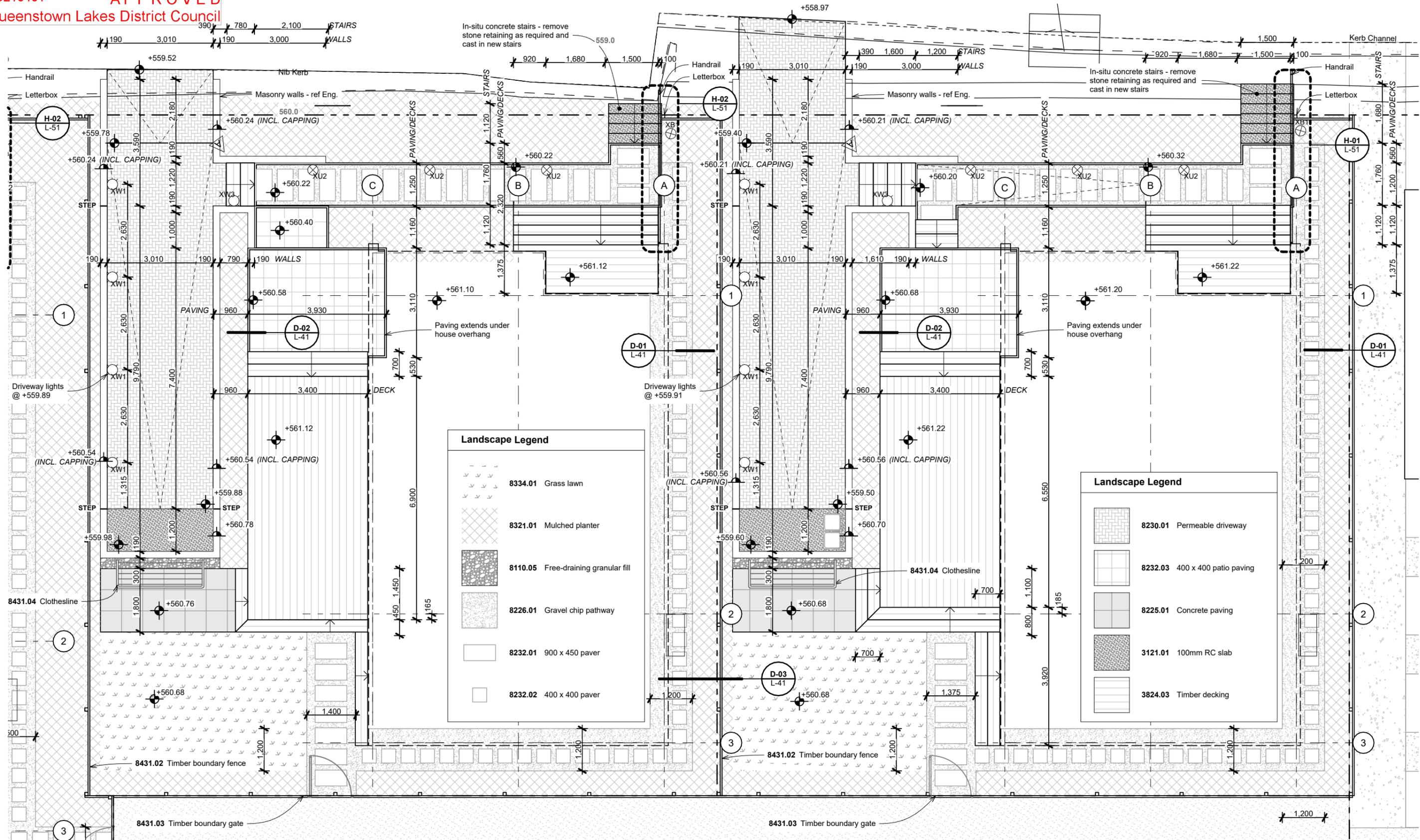


Existing stone wall on Prospectors Lane (looking west).



Existing masonry wall on Prospectors Lane (looking south).

APPENDIX C – APPROVED LANDSCAPE PLANS



Notes

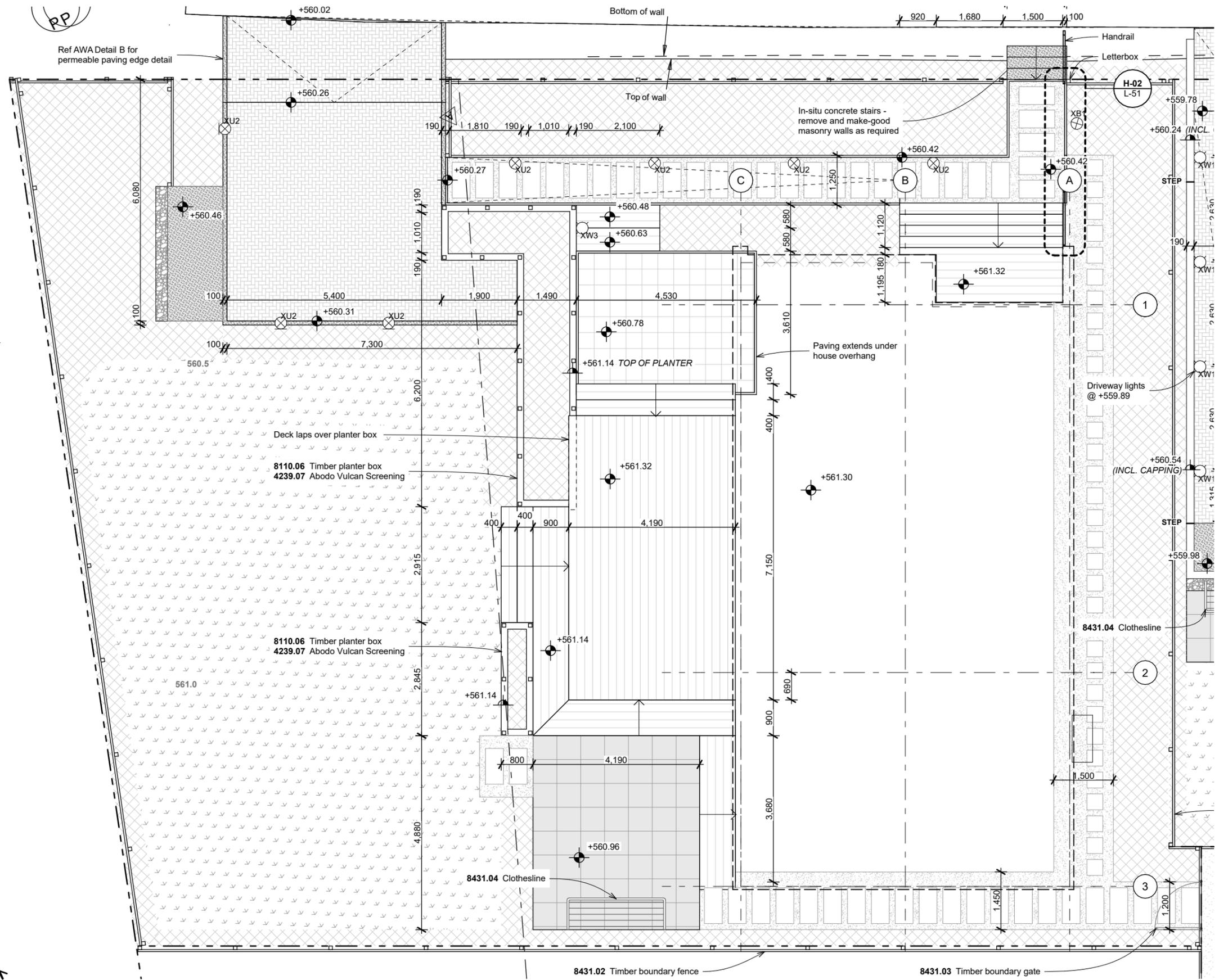
General

1. Refer to DCM Landscape drawings for planting.
2. Refer to sheet A-02 for full selections.
3. Retaining walls (except within shed) to be finished with 40mm capping blocks. All visible retaining wall faces to be sealed with Armourtech DPS 101 clear concrete sealer - applied in accordance with the manufacturer's instructions.
4. Refer to House Lighting Plans E-102 for switching of exterior lights and selections.



GENERAL NOTES:	REV#:	DATE:	DESCRIPTION:
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2. Do not scale off drawings, written dimensions to be used			
3. Verify all dimensions and levels on site prior to commencing work			
4. All discrepancies to be referred to design office for clarification			

PROJECT	0007	Landscape Plan - LA/LB
Abodo Village Stage 1	SCALE @A3	1:100
2346 Cardrona Valley Road	REVISION	C
Cardrona	PHASE	Pricing
New Zealand	ISSUED	27/04/2021
Lot 1 DP 27042		© Copyright First Light Studio Ltd



Landscape Legend	
	8334.01 Grass lawn
	8321.01 Mulched planter
	8110.05 Free-draining granular fill
	8226.01 Gravel chip pathway
	8232.01 900 x 450 paver
	8232.02 400 x 400 paver
	8230.01 Permeable driveway
	8232.03 400 x 400 patio paving
	8225.01 Concrete paving
	3121.01 100mm RC slab
	3824.03 Timber decking

Notes

General

1. Refer to DCM Landscape drawings for planting.
2. Refer to sheet A-02 for full selections.
3. Retaining walls (except within shed) to be finished with 40mm capping blocks. All visible retaining wall faces to be sealed with Armourtech DPS 101 clear concrete sealer - applied in accordance with the manufacturer's instructions.
4. Refer to House Lighting Plans E-102 for switching of exterior lights and selections.



GENERAL NOTES:

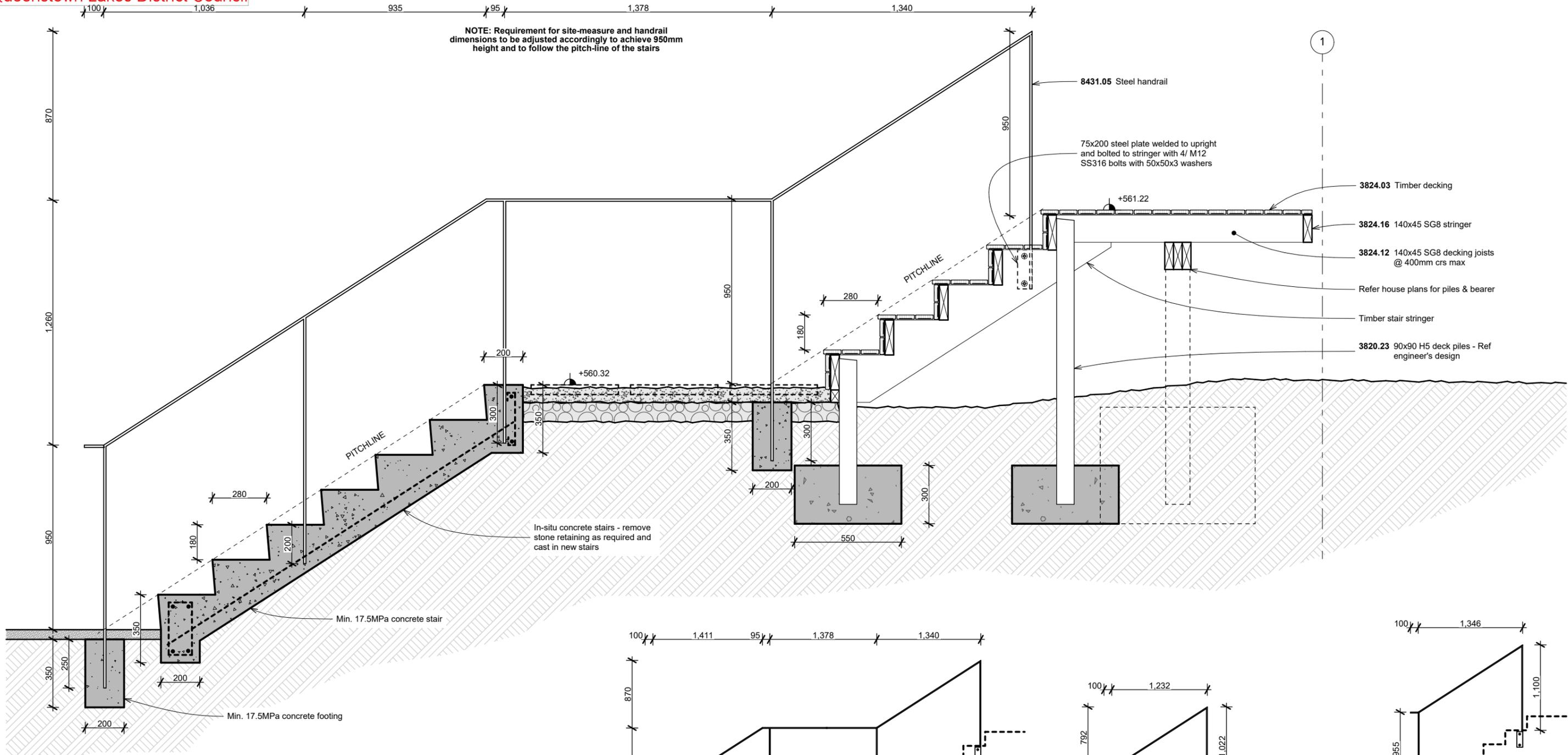
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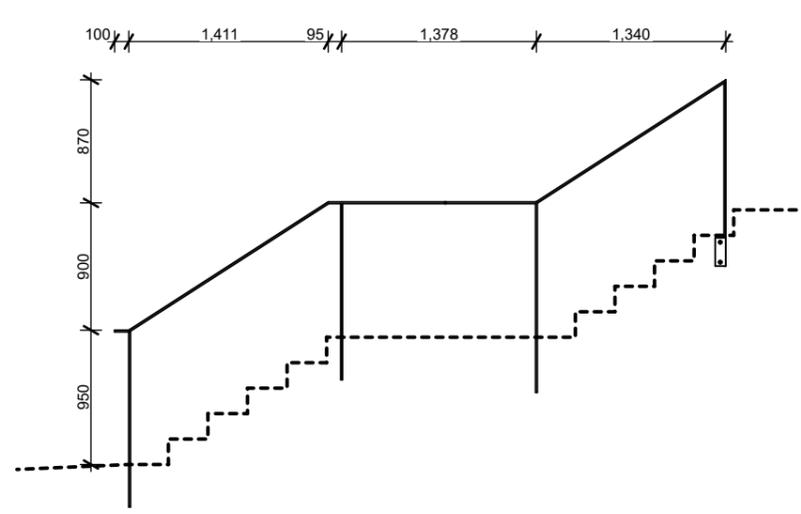
REV#:	DATE:	DESCRIPTION:
C	27/04/2021	Issued for Pricing

PROJECT	0007	Landscape Plan - XL
Abodo Village Stage 1		SCALE @A3 1:100
2346 Cardrona Valley Road		REVISION C
Cardrona		PHASE Pricing
New Zealand		ISSUED 27/04/2021
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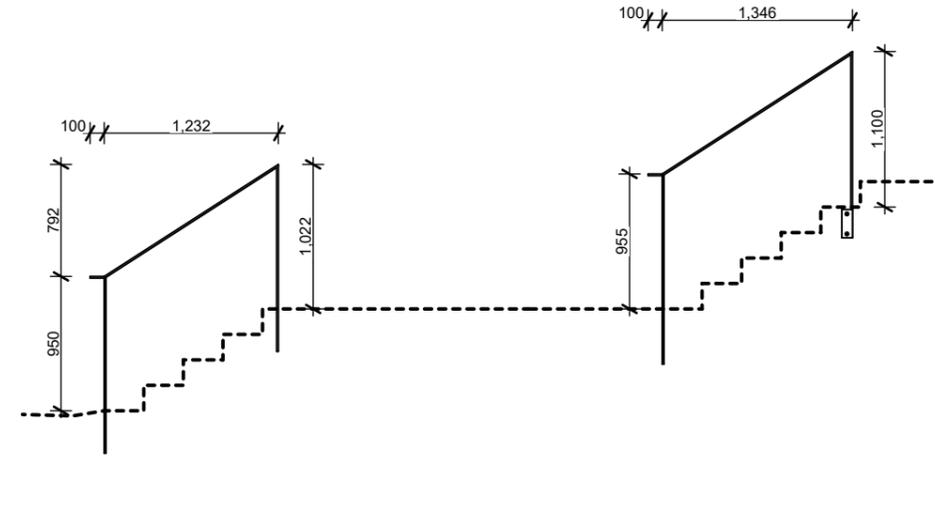
REV SHEET
L-12 C



H-01 LA Handrail 01 Details 1:20



H-02 LB Handrail 02 Elevation 1:50



H-03 XL Handrail 03 Elevation 1:50

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REV#:	DATE:	DESCRIPTION:
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PROJECT	0007	Handrails
Abodo Village Stage 1	SCALE @A3	1:20, 1:50
2346 Cardrona Valley Road	REVISION	C
Cardrona	PHASE	Pricing
New Zealand	ISSUED	27/04/2021
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REV
SHEET
L-51 C



awa environmental limited

a: Level 1, 1 Ghuznee, Wellington

w: www.awa.kiwi

Prepared by Awa Environmental Limited

For Central Road Properties Ltd.

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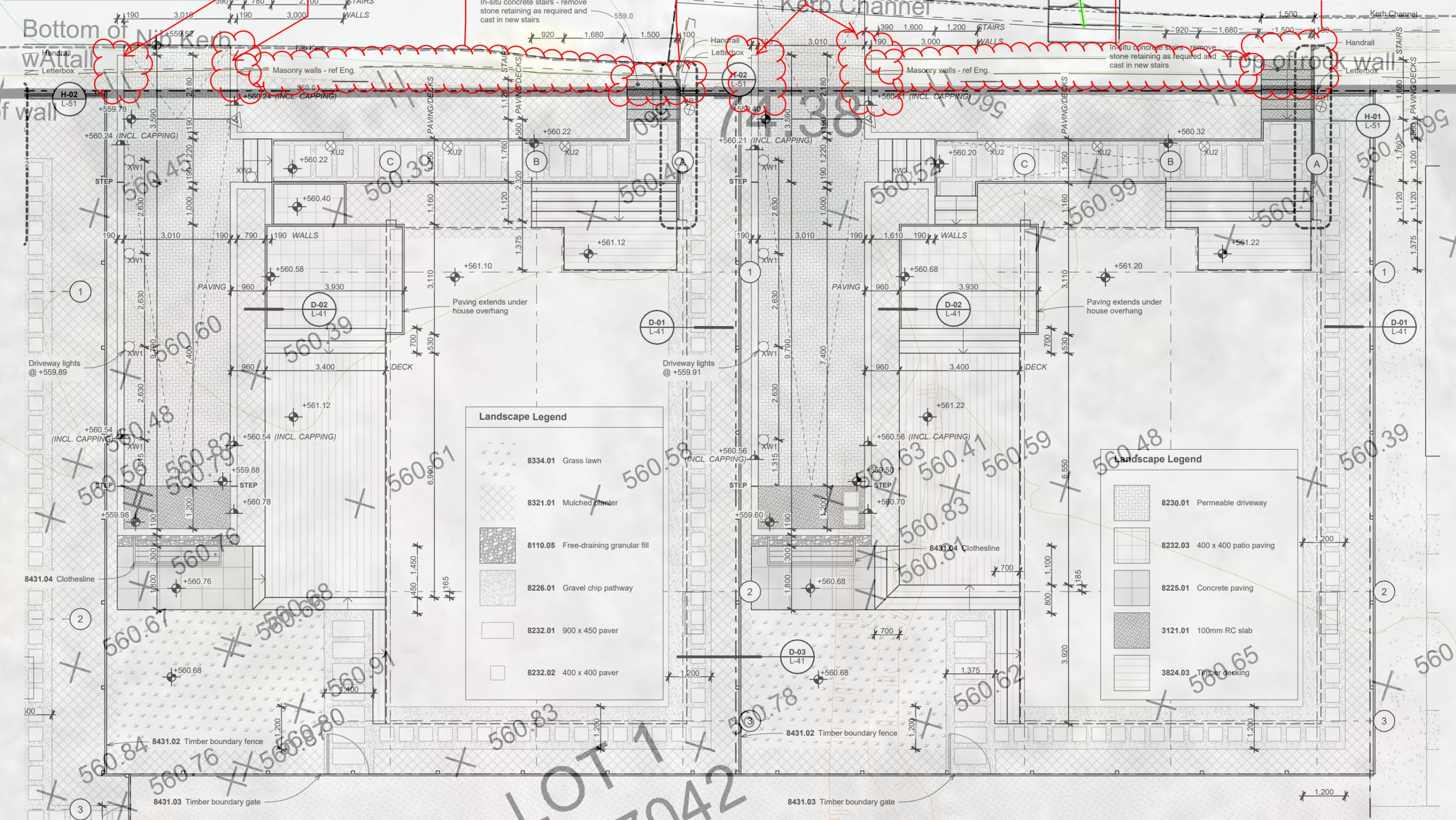
Attachment B: Handrails & Sight Distances







Attachment C: Mark Up Plans (next page)



Landscape Legend

	8334.01 Grass lawn
	8321.01 Mulched planter
	8110.05 Free-draining granular fill
	8226.01 Gravel chip pathway
	8232.01 900 x 450 paver
	8232.02 400 x 400 paver

Landscape Legend

	8230.01 Permeable driveway
	8232.03 400 x 400 patio paving
	8225.01 Concrete paving
	3121.01 100mm RC slab
	3824.03 Timber decking

Notes

General

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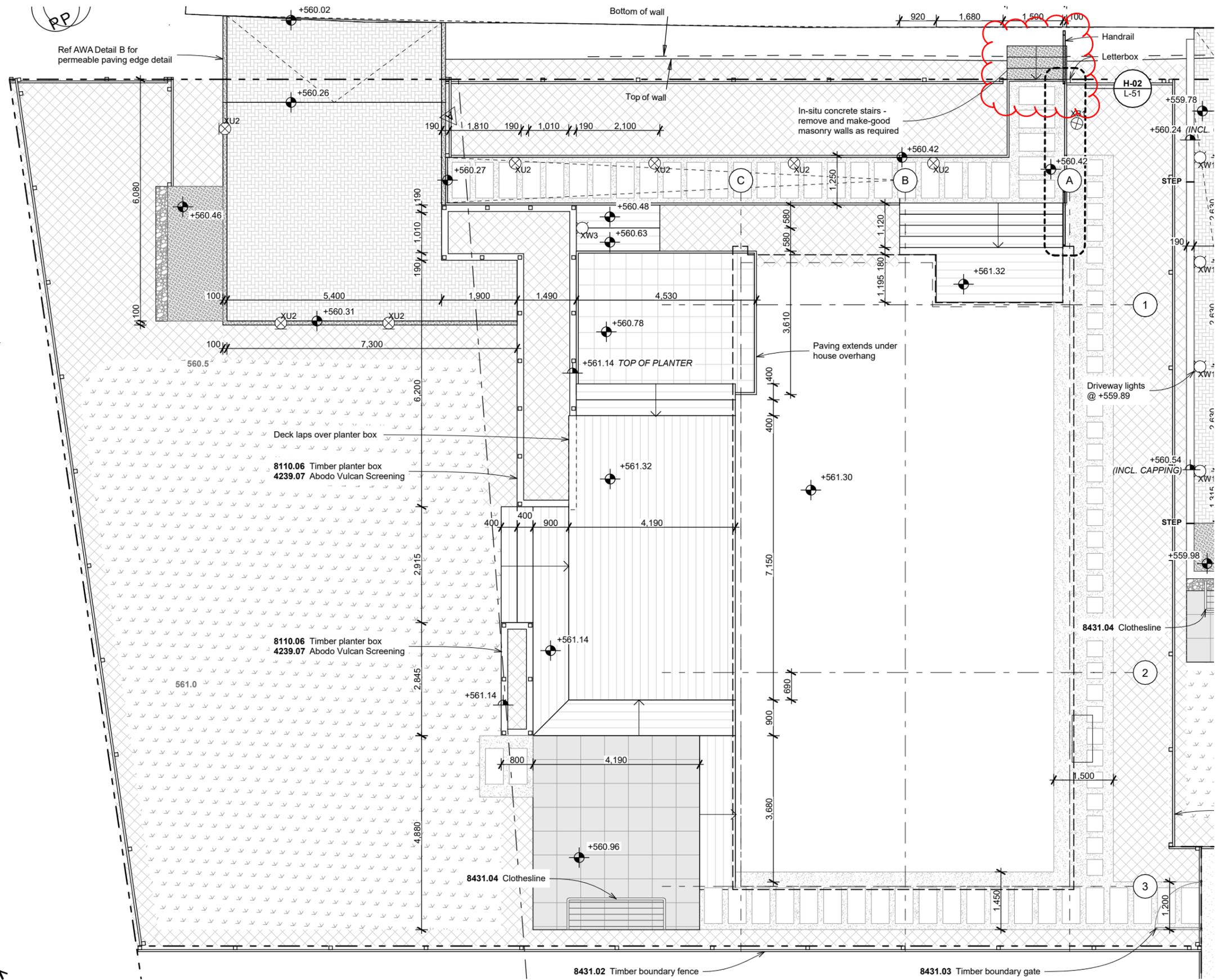
REV#:	DATE:	DESCRIPTION:
C	27/04/2021	Issued for Pricing

PROJECT	0007	Landscape Plan - LA/LB
Abodo Village Stage 1	2346 Cardrona Valley Road	Cardrona
New Zealand	Lot 1 DP 27042	
SCALE @A3	1:100	
REVISION	C	
PHASE	Pricing	
ISSUED	27/04/2021	



LOT 1
DP 27042
4760m²
18D/158

REV SHEET L-11 C



Landscape Legend	
	8334.01 Grass lawn
	8321.01 Mulched planter
	8110.05 Free-draining granular fill
	8226.01 Gravel chip pathway
	8232.01 900 x 450 paver
	8232.02 400 x 400 paver
	8230.01 Permeable driveway
	8232.03 400 x 400 patio paving
	8225.01 Concrete paving
	3121.01 100mm RC slab
	3824.03 Timber decking

Notes

General

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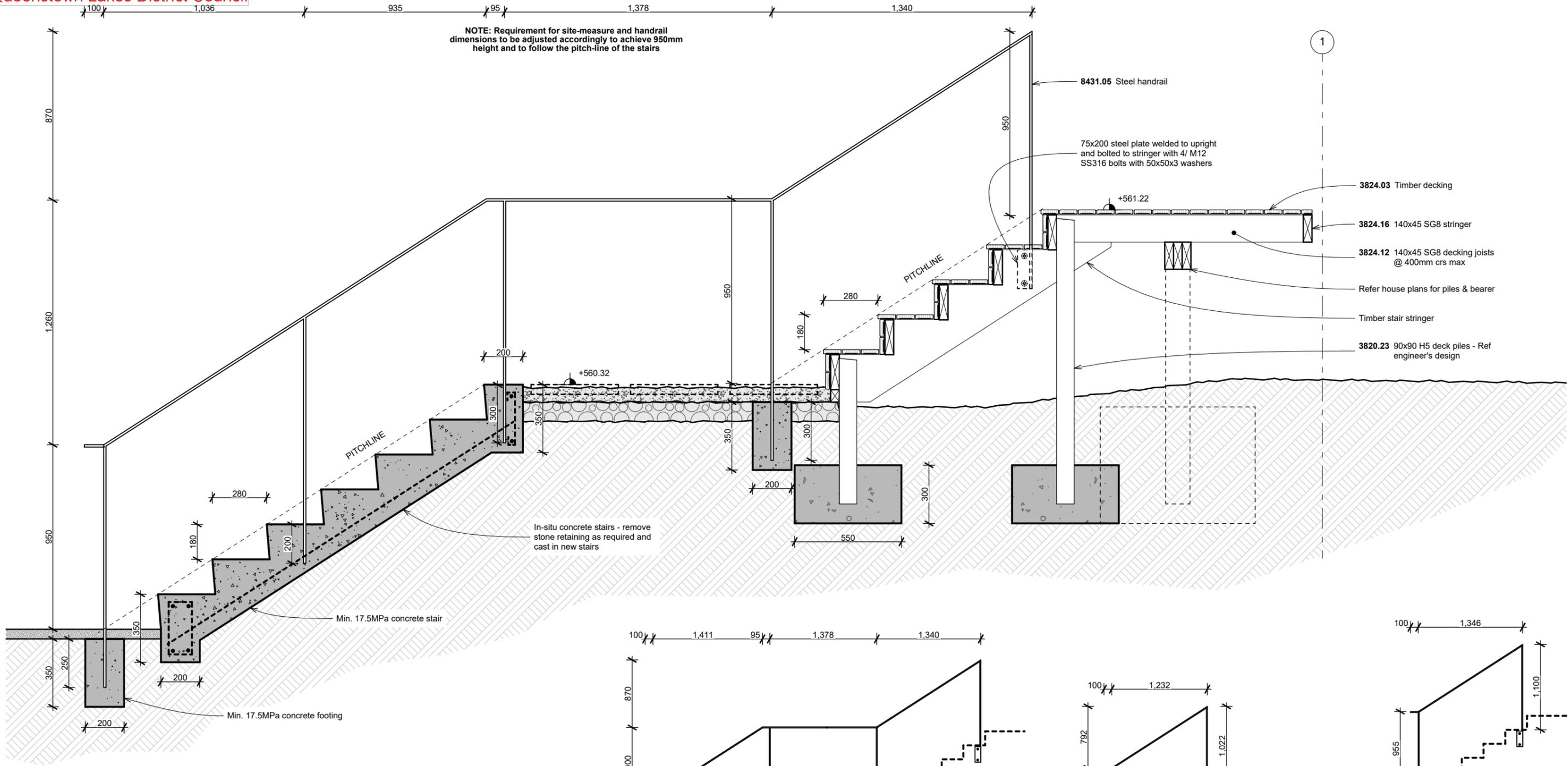
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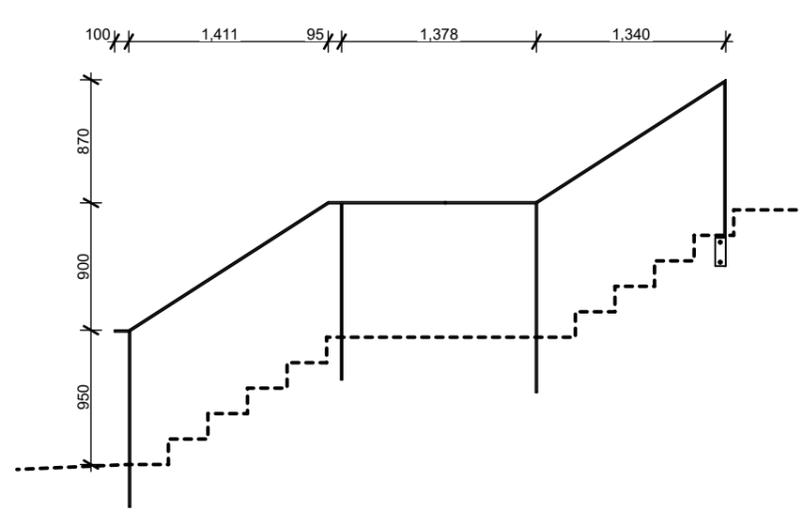
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PROJECT	0007	Landscape Plan - XL
Abodo Village Stage 1		SCALE @A3 1:100
2346 Cardrona Valley Road		REVISION C
Cardrona		PHASE Pricing
New Zealand		ISSUED 27/04/2021
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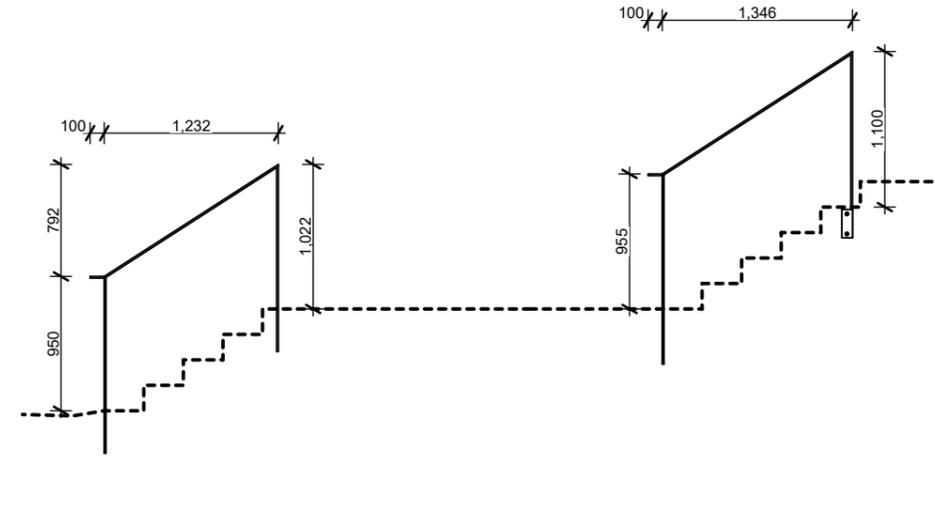
REV SHEET **L-12 C**



H-01 LA Handrail 01 Details 1:20



H-02 LB Handrail 02 Elevation 1:50



H-03 XL Handrail 03 Elevation 1:50

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PROJECT	0007	Handrails
Abodo Village Stage 1	SCALE @A3	1:20, 1:50
2346 Cardrona Valley Road	REVISION	C
Cardrona	PHASE	Pricing
New Zealand	ISSUED	27/04/2021
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REV SHEET **L-51 C**



Scale: 1:1,128



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