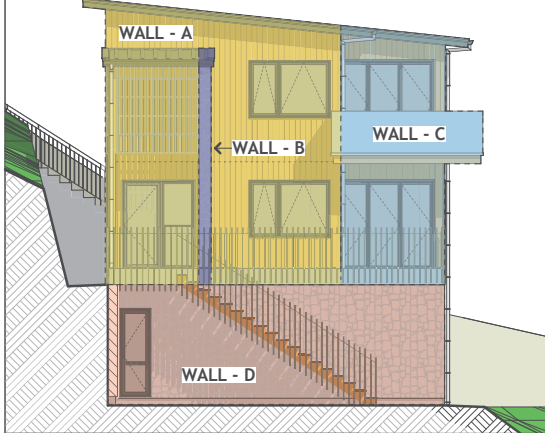


Note: This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council

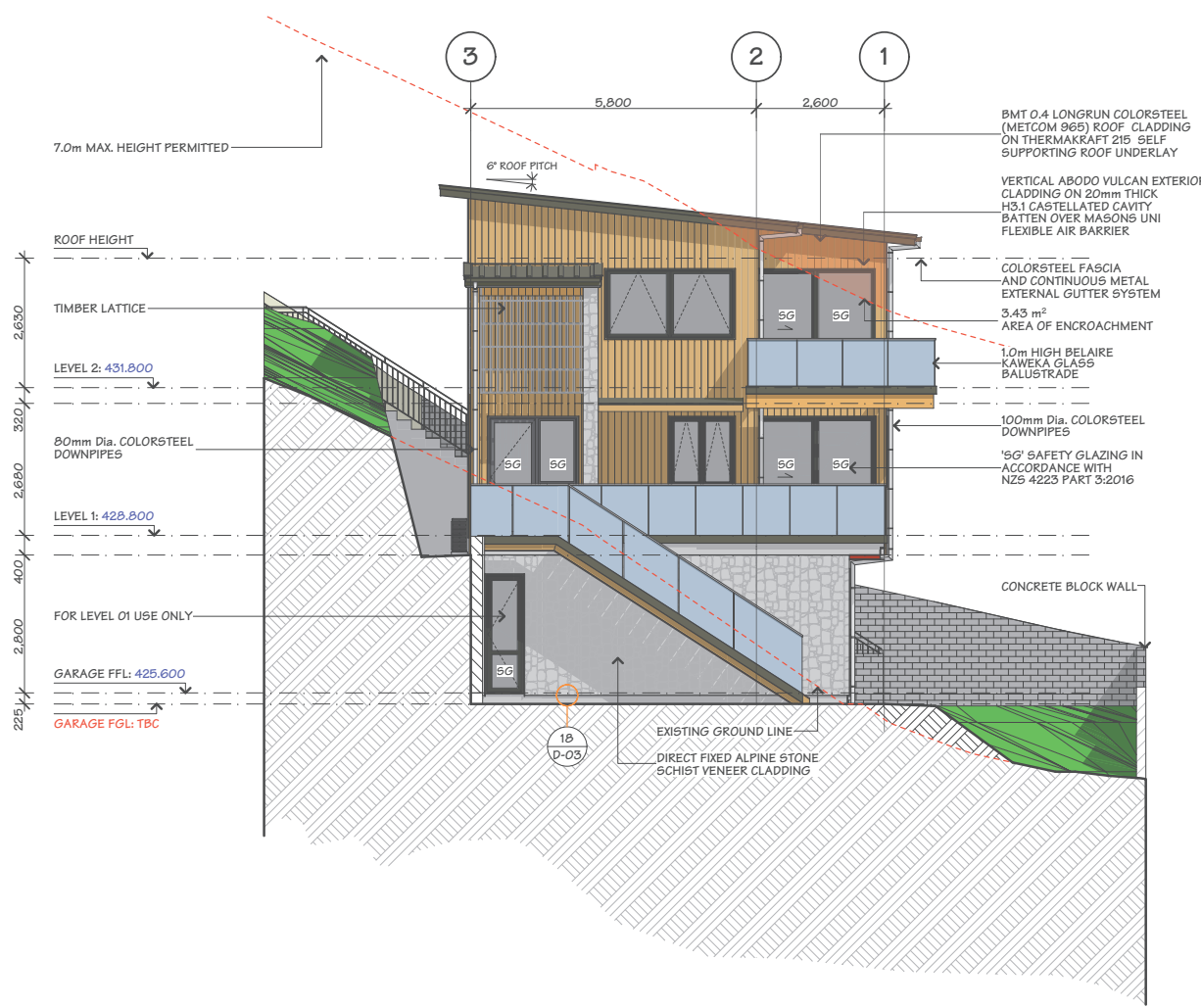


BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		17

BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12

BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SOUTH ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10B ST PETERS PLACE, QUEENSTOWN

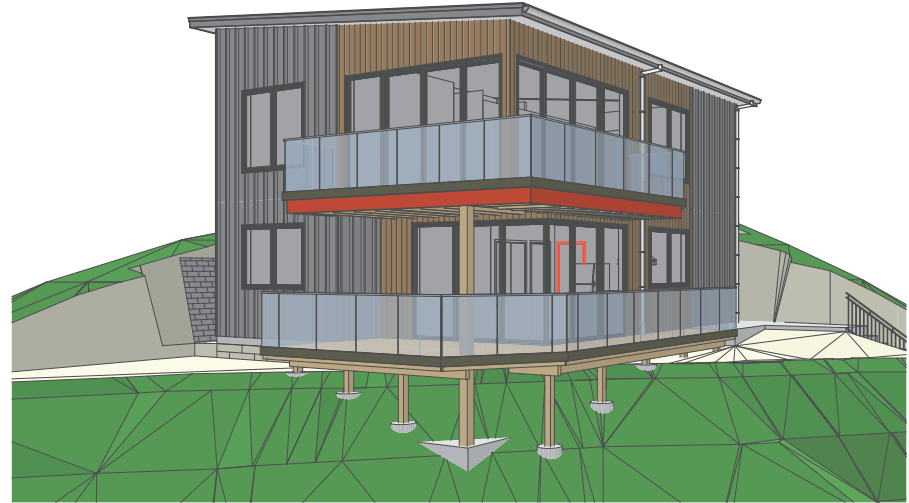
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DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240307.1920
VERSION:
WD-01

DESIGNER:
XDD
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB#:
23074
SHEET:
E-04
TOTAL SHEETS: 70

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN



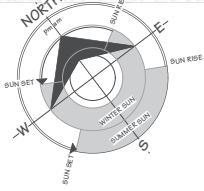
SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWC & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS



REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE:	DATE:	23 FEB 24	SHEET:	P-01
	XDD	BC RFI-01	05.09.24	JOB #:	23073	TOTAL SHEETS:	56
	XDD	BC RFI-02	05.14.24	COVER PAGE			
	XDD	BC RFI-03	05.20.24				
SCALE: NOT TO SCALE							

Note: This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE VERY HIGH
EARTHQUAKE ZONE 3
CORROSION ZONE B
SNOW LOADING N5 (450m)

BUILDING FOOTPRINT: 80.17m²
SITE COVERAGE: 8.91% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
TEMPORARY FENCING**

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F5/AS1 IS AN ACCEPTABLE SOLUTION

- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

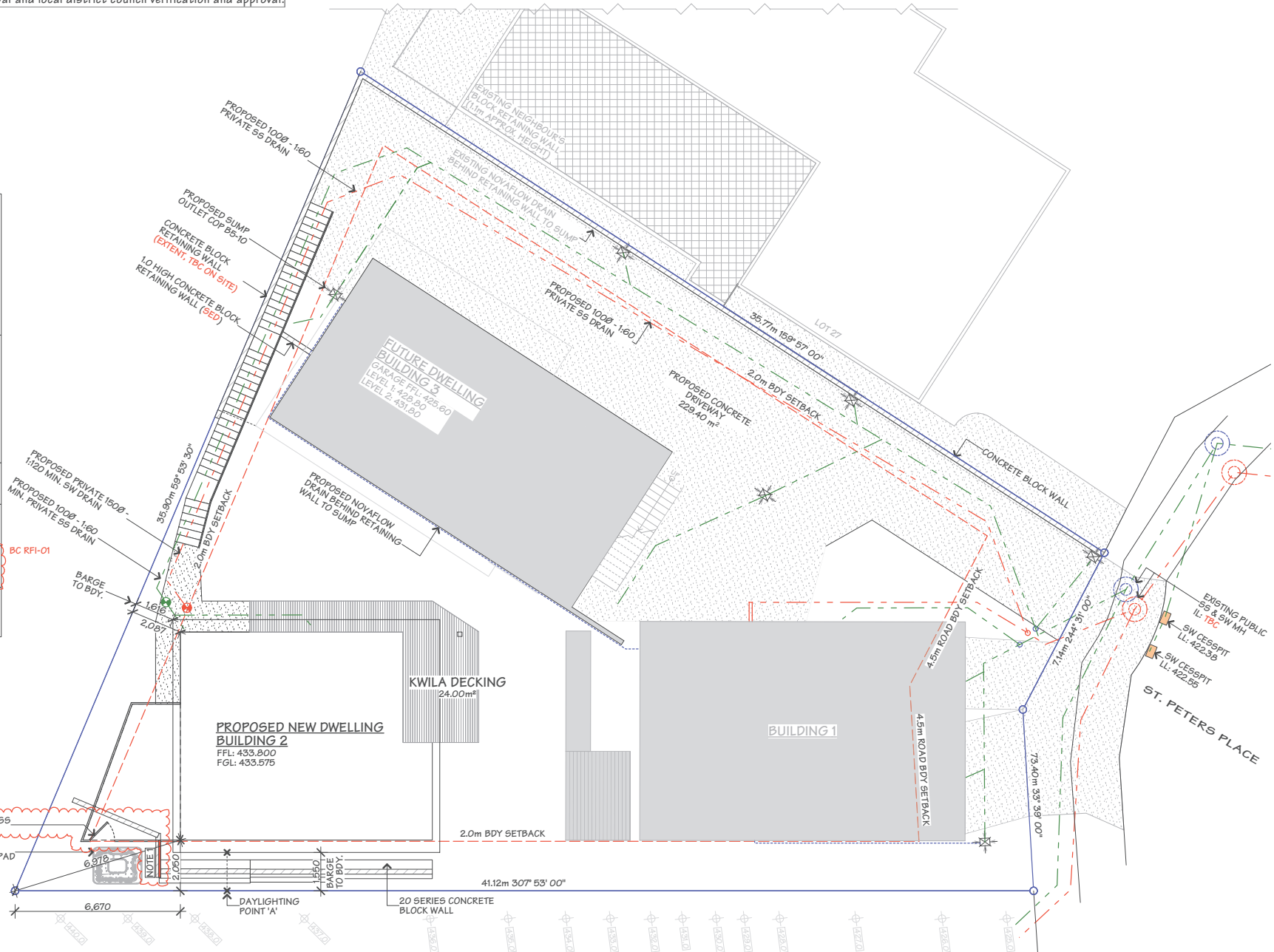
DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK

NOTE 1:

1.0m HIGH FRAMELESS GLASS BALUSTRADE (RAKAIA CHANNEL)

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL, JOB NO. 51746



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SITE PLAN

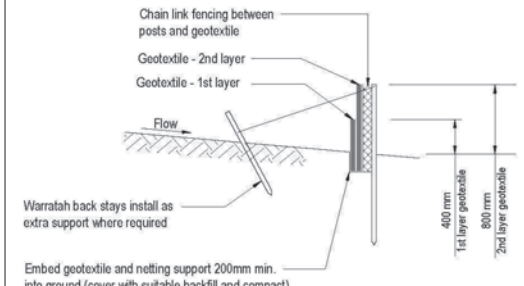
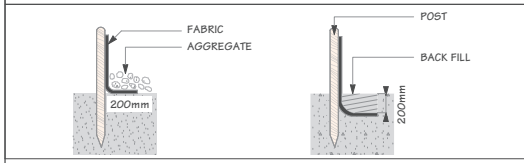
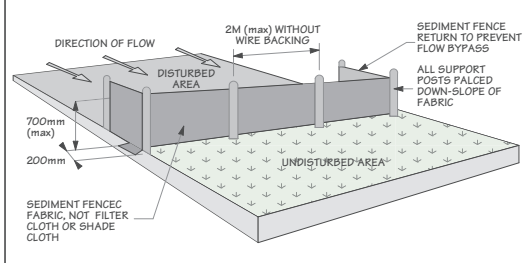
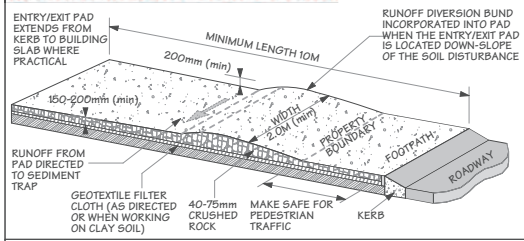
LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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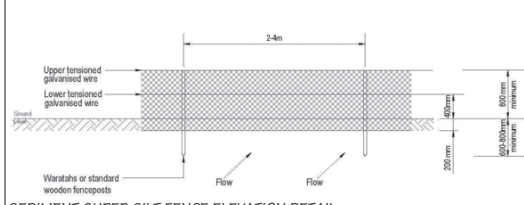
DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:150	SHEET: P-02
PUBLISHED REF NO.: 240514.1440		DRAWN: DM	JOB#: 23073	
VERSION: BC-RF1 02	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56	

NOT: This plan is subject to DP developer approval and local district council verification and approval.

STABILISED ENTRY/EXIT PAD - BUILDING SITES



SEDIMENT SUPER SILT FENCE CONSTRUCTION DETAIL



SEDIMENT SUPER SILT FENCE ELEVATION DETAIL



LEGEND:

OVERLAND FLOW PATH	
STABILISED ENTRANCE WAY	
TEMPORARY GATE	
TEMPORARY FENCE	
SEDIMENT FENCE	
SUPER SILT FENCE	
STOCKPILE	



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SEDIMENT CONTROL PLAN

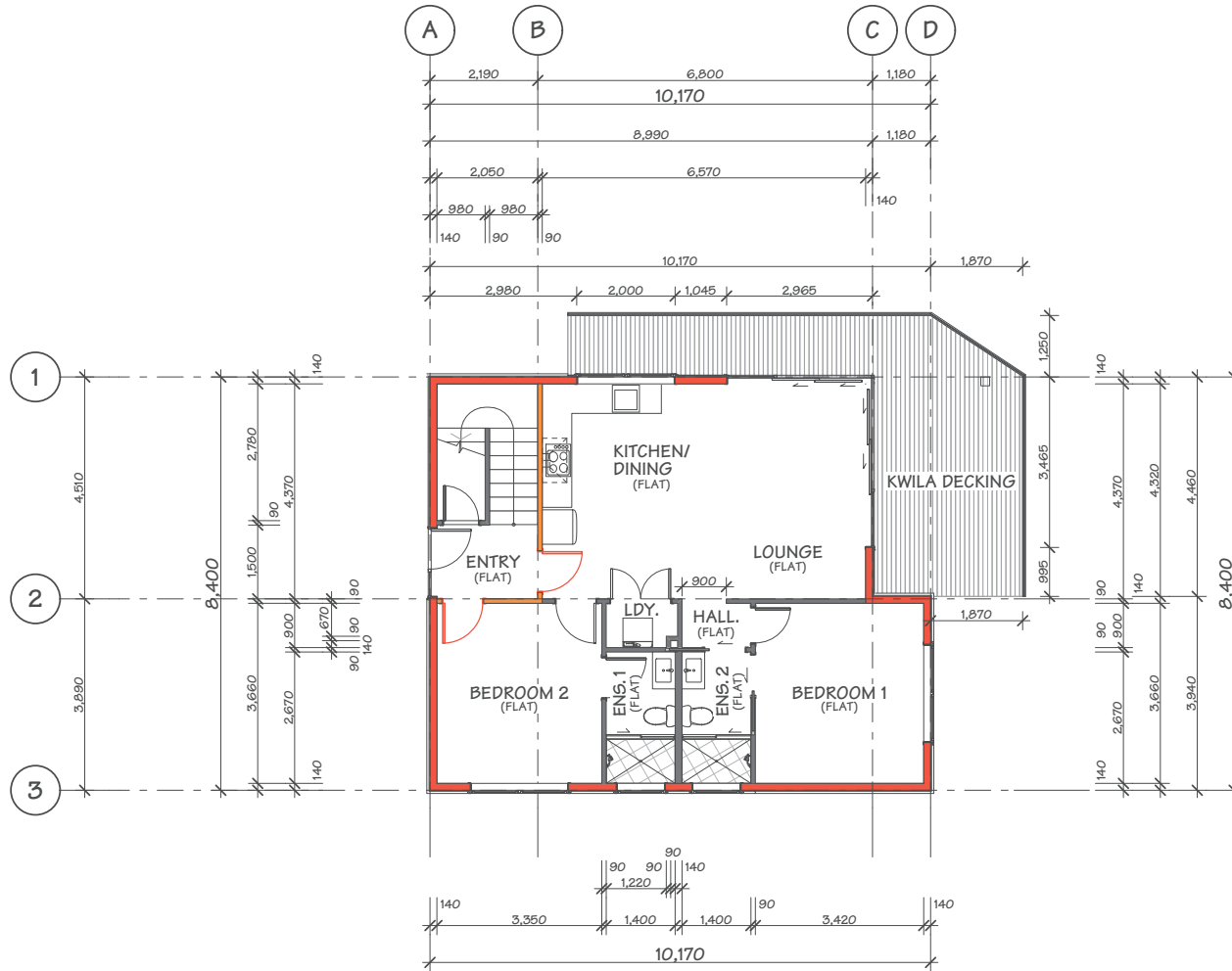
LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:150	SHEET: P-03
PUBLISHED REF NO.: 240409.0154		DRAWN: DM		
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	23073	TOTAL SHEETS: 56

Note: This plan is subject to development approval and local district council verification and approval.

Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

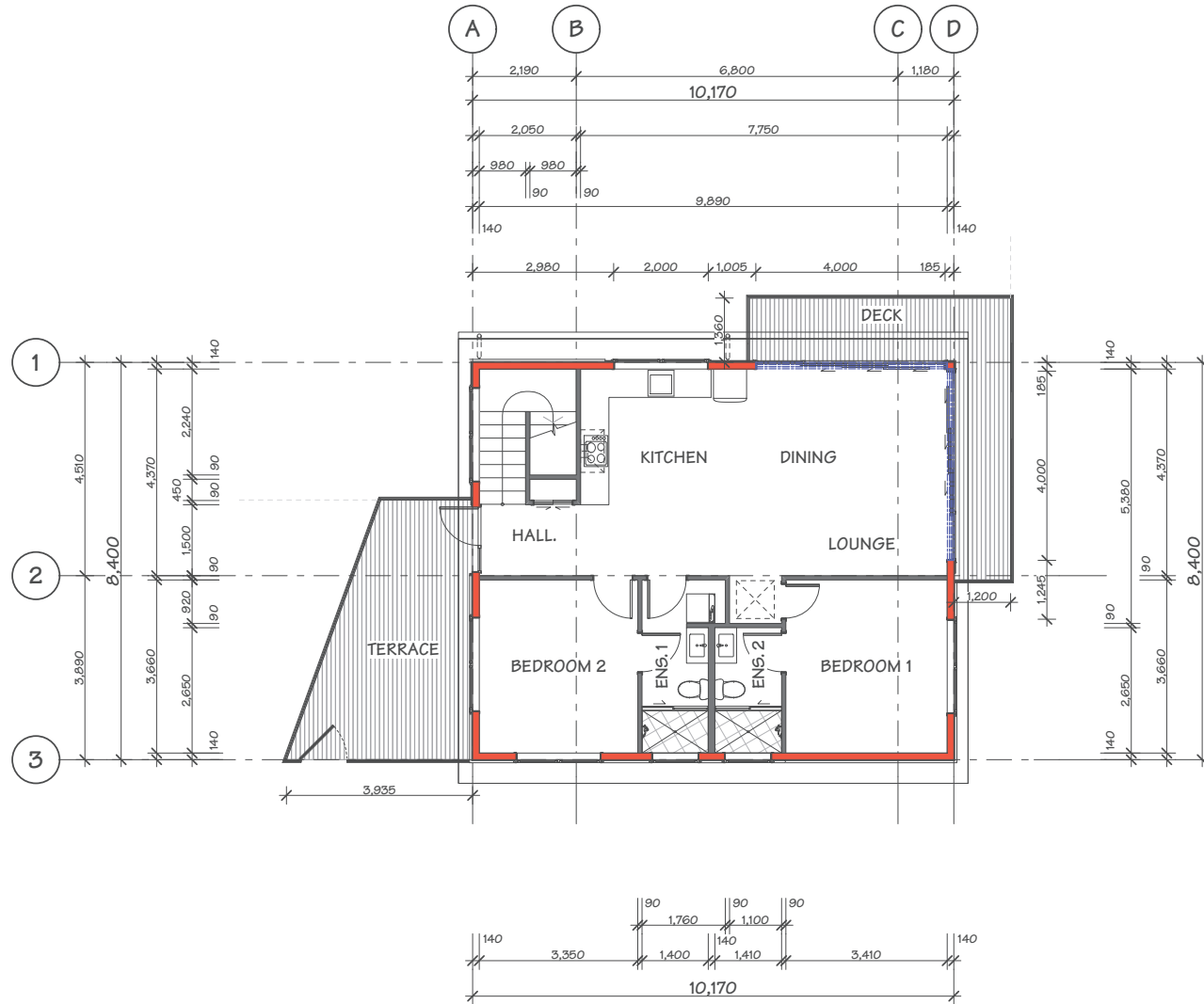
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-08
PUBLISHED REF NO.: 240409.0154	DRAWN: DM	JOB#: 23073	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56

This plan is subject to developer's approval and local district council verification and approval.

Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

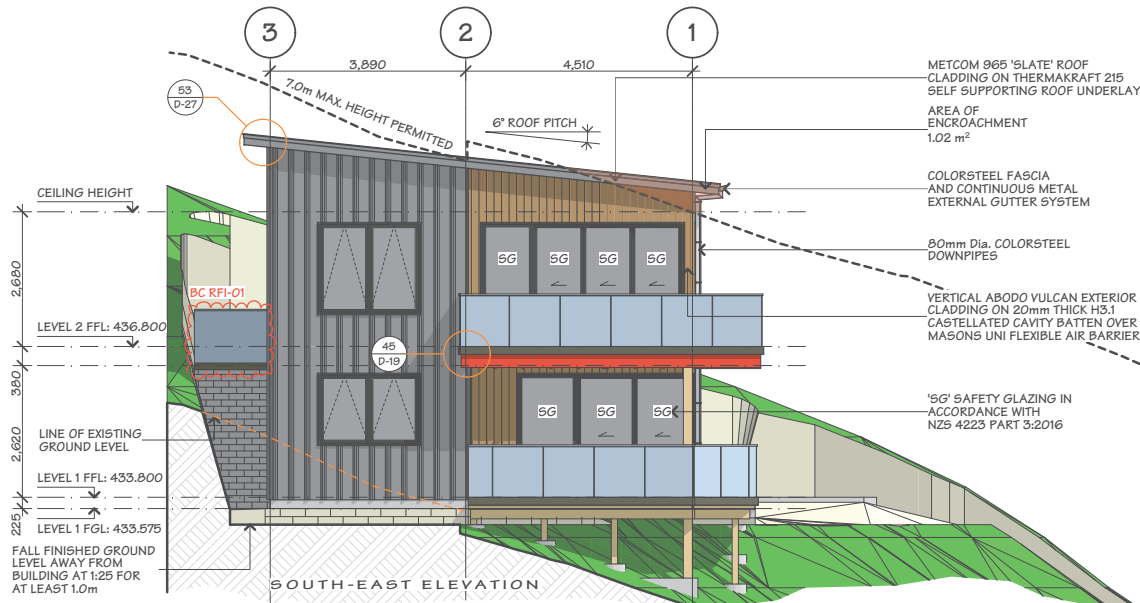
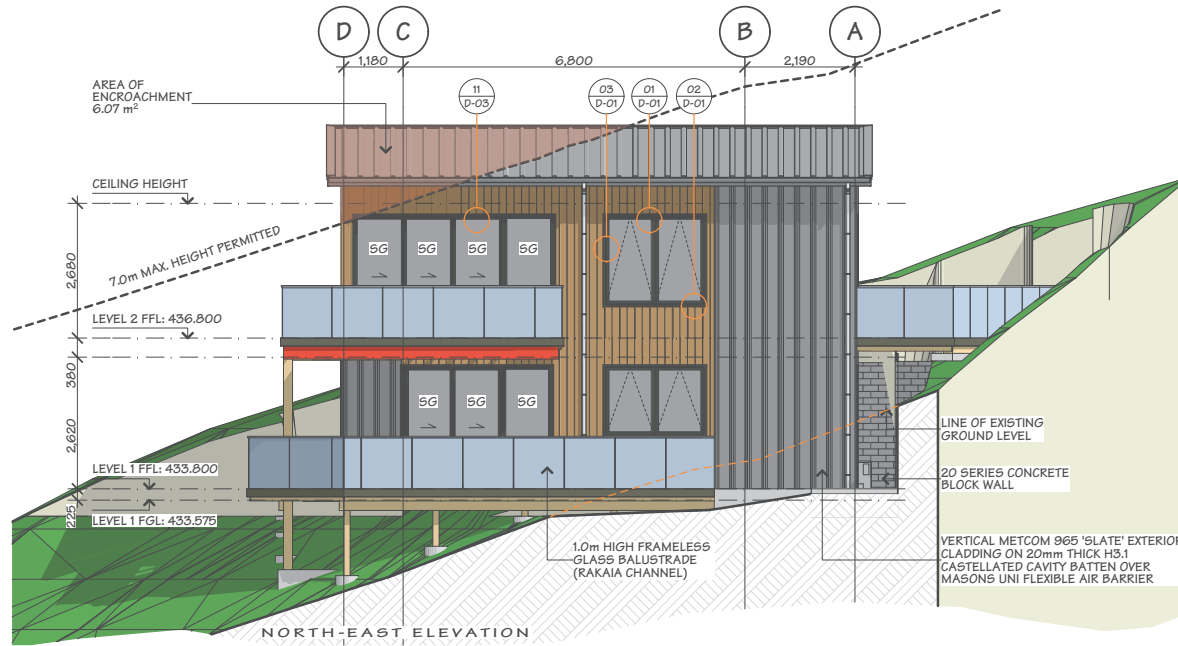
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DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 240409.0154	DRAWN: DM	JOB#: 23073	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56

Note: This plan is subject to development approval and local district council verification and approval.

Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 01

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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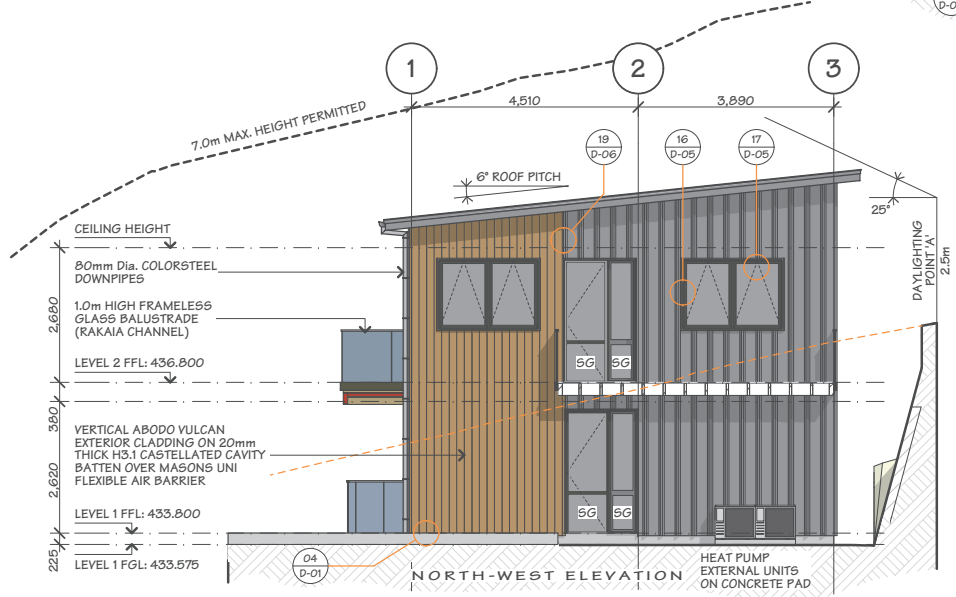
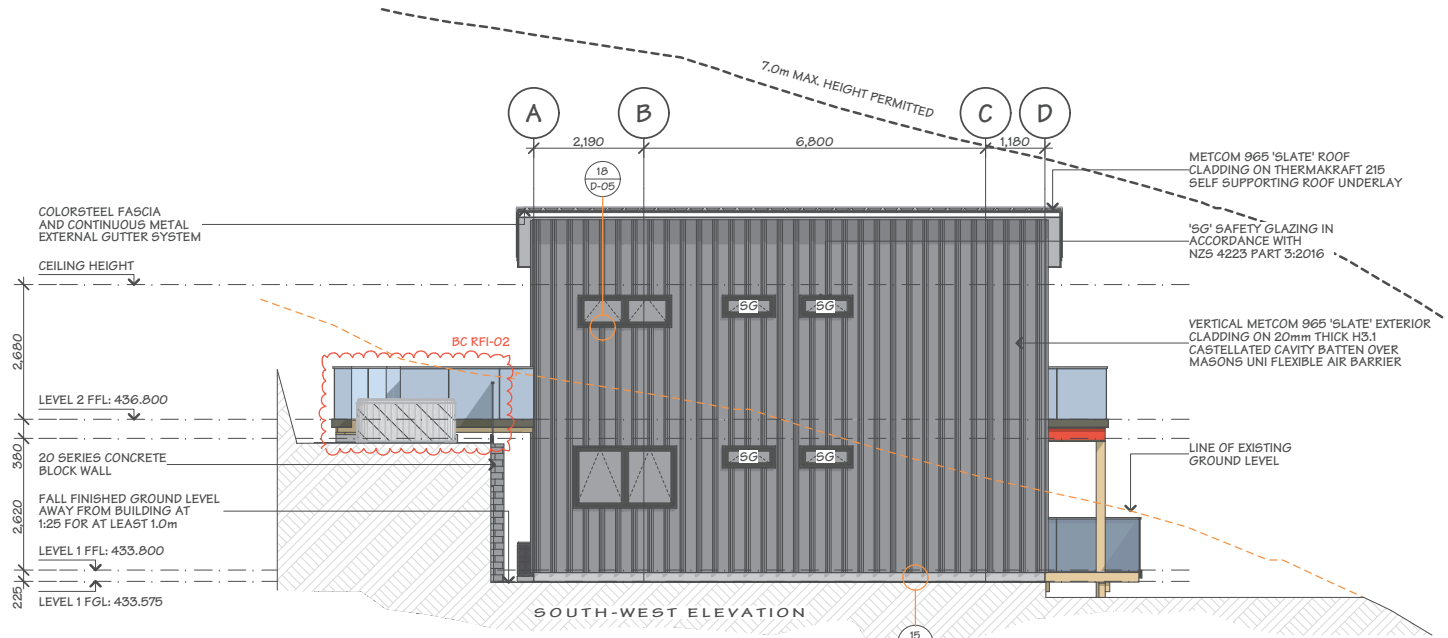
DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: E-01
PUBLISHED REF NO.: 240509.1050		DRAWN: DM		
VERSION: BC-RFI 01	REV. NO. 02	CHECKED: JAM	JOB#: 23073	TOTAL SHEETS: 56

This plan is subject to developer's approval and local district council verification and approval.

Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: E-02
PUBLISHED REF NO.: 240514.1440		DRAWN: DM	JOB#: 23073	
VERSION: BC-RFI 02	REV. NO. 01	CHECKED: JAM	TOTAL SHEETS: 56	

Visitor Accommodation Management Plan

The purpose of this Visitor Accommodation Management plan (VAMP) is to provide a foundation for avoiding adverse effects resulting from the use of the residential units at 10A, 10B and 10C St Peters Place, for Residential Visitor Accommodation (RVA).

To clarify, the Residential Visitor Accommodation activity will occur from the 10A – Unit 1 and Unit 2, 10B – Unit 1 and Unit 2, and 10C – Unit 1 and 2, on the floor plans submitted with the building consent application BC230309 stamped for approval 16 June 2023.

The RVA use shall at times comply with the applicable Proposed District Plan (PDP) noise limits.

The VAMP also contains a Noise Management Plan (NMP) - designed to assist in achieving compliance with the relevant noise standards of the PDP.

Property Manager

The Property Manager of this Residential Visitor Accommodation is: XXXXX

The Property Manger's Contact Details are as follows:

Address:	XXXXXXXXXX
Email:	XXXXXXXXXX
24 hour contact number:	XXXXXXXXXX
Alternative contact number:	XXXXXXXXXX

The Property Manager shall have the following responsibilities:

General:

- Be available on call to address any breaches of the resource consent.
- Maintain a record of all tenancies detailing the number of occupants and the number of days/nights of occupancy. This register shall be made available for inspection by the Council at all times upon request.
- Keep a dated record of any complaints received, and the steps taken to address the breach. Have this available to QLDC upon request.
- Provide contact details to the nearby and adjoining neighbours on an annual basis.

On booking & prior to check-in:

- To advise guests where to park on site.
- To advise guests that no coaches are to pick-up, drop-off or park at the site.

- To advise guests that there is no dedicated mobility parking available on-site. Guests will also be advised that the design and layout of each residential units is only accessible via stairs.

On check-in of tenants:

- To provide the tenants with a copy of the House Rules;
- To check that the number of guests does not exceed four (4) per unit.
Note: The number of guests must not exceed 2 adults per bedroom and the total number of adults and children must not exceed four (4);
- To check that the tenants have not brought their own stereo equipment, or if they have brought such equipment, to impound it for the term of the tenancy;
- To have all adult tenants read the full terms of the tenancy agreement;
- To check that the on-site compendium contains a copy of the House Rules and a copy of the conditions of resource consent.

On servicing and other visits:

- To ensure that rubbish and recycling bins do not remain on the street for more than 24 hours. *Note: the rubbish and recycling collection day is Wednesday.*
- To check that the number of tenants does not exceed four (4) including adults and children.

House Rules

- There shall be no more than 4 guests present at any one time in each unit.
- There shall be no use of any other outdoor entertainment areas between 10pm and 7am.
- Any noisy activities should only occur inside after 10pm with windows and doors closed.
- All vehicles are to be parked on the site, either in the garage or on the driveway.
- Rubbish and recycling shall only be placed for collection on the day of, or day prior to collection and shall be brought back in as soon as possible after being emptied.

Other Matters

- A sign will be placed on the door leading to the outdoor balconies stating "This outdoor area is not to be used between 10pm and 7am daily".
- Signs (minimum A4 size) shall be erected on doors leading to outdoor living areas to remind guests that the use of outdoor areas is prohibited between the hours of 10.00pm to 7.00am.
- In addition, one sign shall be installed in the kitchen of the unit and a weatherproof sign (e.g. laminated) shall be installed within the outdoor areas.
- Upon installation, and prior to the use of the property for visitor accommodation, photographs of these signs shall be submitted to the Council Monitoring Department for monitoring purposes. The signs shall be retained on site as long as the visitor accommodation activity is undertaken.

Noise Management Plan (NMP)

This NMP will set out specific methods and procedures to be undertaken by the owner/manager of the RVA.

Noise Management Procedures

- The manager of the VA shall advise guests prior to moving in that the building is located within a residential area and request that they respect this by keeping noise levels to a reasonable level, especially between the hours of 8.00 pm to 8.00 am.
- The manager of the VA shall provide their phone contact number to all guests and be contactable within a reasonable period of time.

Specific Noise Mitigation Measures

- The manager of the VA shall advise guests that they are not to play amplified sound from the outdoor living areas between the hours of 8.00 pm – 8.00 am, and that the outdoor living areas are not to be used between 10.00 pm – 7.00 am. Amplified sound includes but is not limited to amplified speakers (musical or otherwise) and musical instruments.
- The consent holder shall erect signs (minimum A4 size) on site to remind guests that they are in a residential area and to keep noise to a reasonable level, especially between the hours of 8.00 pm to 8.00 am. One sign shall be installed in the kitchen and one weatherproof sign (i.e. laminated or plastic) shall be installed within each outdoor living area. The outdoor signs shall also state that no amplified sound/music is to be played from the outdoor living area between the hours of 8pm – 8am, and that the area is to be vacated between 10pm – 7am.

Complaint Procedures

- Should a complaint be received in relation to the RVA activity on the site, including from the Council or its Enforcement Officers, neighbours, or any other party, the VA manager shall take the following steps:
 - Take written note of the complaint.
 - Investigate the complaint and update the complaints register
 - Decide on any actions, if necessary, that need to be taken to prevent further complaints of the same nature.
 - Review the Noise Management Plan to ensure the specified noise mitigation methods remain the best practice to avoid future noise complaints.
 - Respond to the complainant and advise them of the outcome of the above processes.
 - Details of all complaints (including any remedial actions taken) shall be kept for at least the preceding 5 years and any complaints received shall be forwarded to the Council Monitoring Department for monitoring purposes within 48 hours of the complaint being received.
 - The complaint register shall be made available for inspection by the Council at all times.

Review of Noise Management Plan

- This NMP shall be reviewed on an annual basis to ensure the specified objectives and methods to ensure the minimisation of noise remain best-practice.
- This review shall be completed no later than 30 December of each year.
- Should any changes to this NMP result from the review process, the amended NMP shall be submitted to the Council's Monitoring Planner for certification.
- As part of this annual review, a letter drop shall be undertaken to all neighbouring property owners. This letter shall advise each neighbouring unit owner of the contact details of the current manager of the VA activity and invite neighbours to contact this manager should they have any questions or complaints. The neighbours who need to be supplied this information are as follows:

AFFECTED PERSON'S APPROVAL

FORM 8A

Resource Management Act 1991 Section 95

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Glew & Proapt Trustees Limited

PERSON AFFECTED PERSON'S DETAILS

I/We Kate Martin & Anthony Broatch

Are the owners/occupiers of
12 St Peters Place, Queenstown

DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

Undertake Residential Visitor Accommodation from 10A & 10B St Peters Place, Queenstown.

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat).

at the following subject site(s):

10A & 10B & 10C St Peters Place, Queenstown



PLEASE TICK

I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



PLEASE TICK

I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED



PLEASE TICK


I/We have sighted and initialled ALL plans dated and approve them.

12 December 2024



The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Kate Martin	
	Contact Phone / Email address 0278266366 / kateritamartin@gmail.com	
	Signature 	Date 28/01/2025

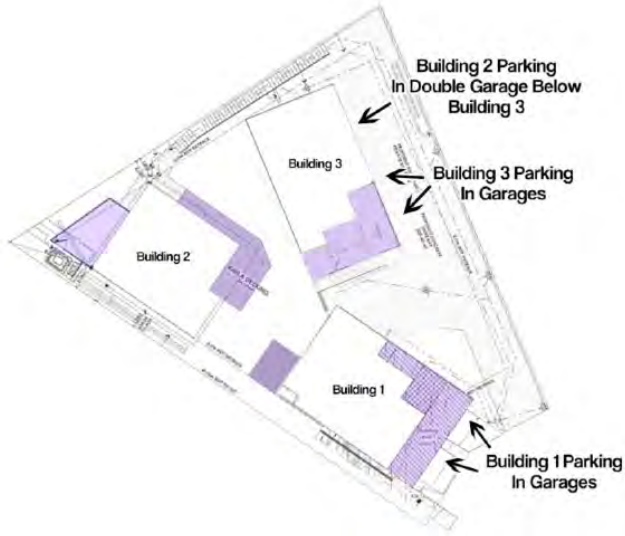
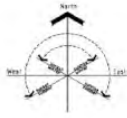
B	Name (PRINT) Anthony Broatch	
	Contact Phone / Email address 02041300833	
	Signature 	Date 28/01/2025

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.
 There is no obligation to sign this form, and no reasons need to be given.
 If this form is not signed, the application may be notified with an opportunity for submissions.
 If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

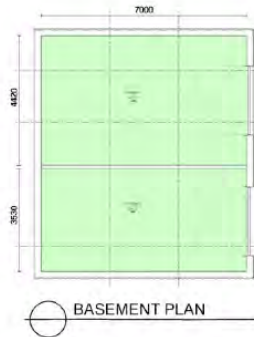


RVA Site Plan 10 St Peters Place, Queenstown

Created using base plans from QLDC RM210754 File by Fat Parrot Architecture & BC240158 & BC240157 Files by Xpress Design + Drafting

Version 1.0 - 12 December 2024

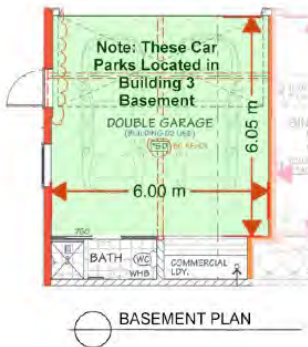
PLEASE SIGN HERE



RVA Floor Plans Building 1, 10 St Peters Place

Created using base plans from QLDC RM210754 Resource Consent File by Fat Parrot Architecture

Version 1.0 - 12 December 2024



RVA Floor Plans Building 2, 10 St Peters Place

Created using base plans from QLDC BC240156 Building Consent File by Xpress Design + Drafting

Version 1.0 - 12 December 2024



RVA Floor Plans Building 3, 10 St Peters Place

Created using base plans from QLDC BC240155 Building Consent File by Xpress Design + Drafting

Version 1.0 - 12 December 2024

PLEASE SIGN HERE

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Building 1



Building 2



Building 3



RVA Elevations 10 St Peters Place

Created using base plans from QLDC RM210754 File by Fat Parrot Architecture & BC240155 & BC240157 Files by Xpress Design + Drafting

Version 1.0 - 12 December 2024

AFFECTED PERSON'S APPROVAL

FORM 8A

Resource Management Act 1991 Section 95

#

RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited



AFFECTED PERSON'S DETAILS

I/We Andrew Donnelly, Elizabeth Donnelly, Caroline Lorbeer and Jason Loveridge

Are the owners/occupiers of

3 St Peters Place, Queenstown



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A,10B and 10C St Peters Place, Queenstown

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):

10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED







I/We have sighted and initialled ALL plans dated and approve them.

3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Andrew Donnelly
	Contact Phone / Email address 022 690 4224
	Signature  Date 16-11-25
B	Name (PRINT) Elizabeth Donnelly
	Contact Phone / Email address 022 690 4225
	Signature  Date 16-11-25
C	Name (PRINT) Caroline Lorbeer
	Contact Phone / Email address 0414704691 CLORBEER@HOTMAIL.COM
	Signature  Date 16-11-25
D	Name (PRINT) Jason Loveridge
	Contact Phone / Email address 0458594444 JASON.LOVERIDGE101@GMAIL.COM
	Signature  Date 16-11-25

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.

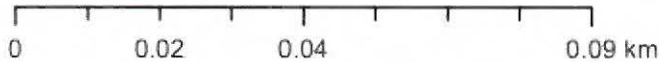


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Handwritten initials.



Scale: 1:1,146

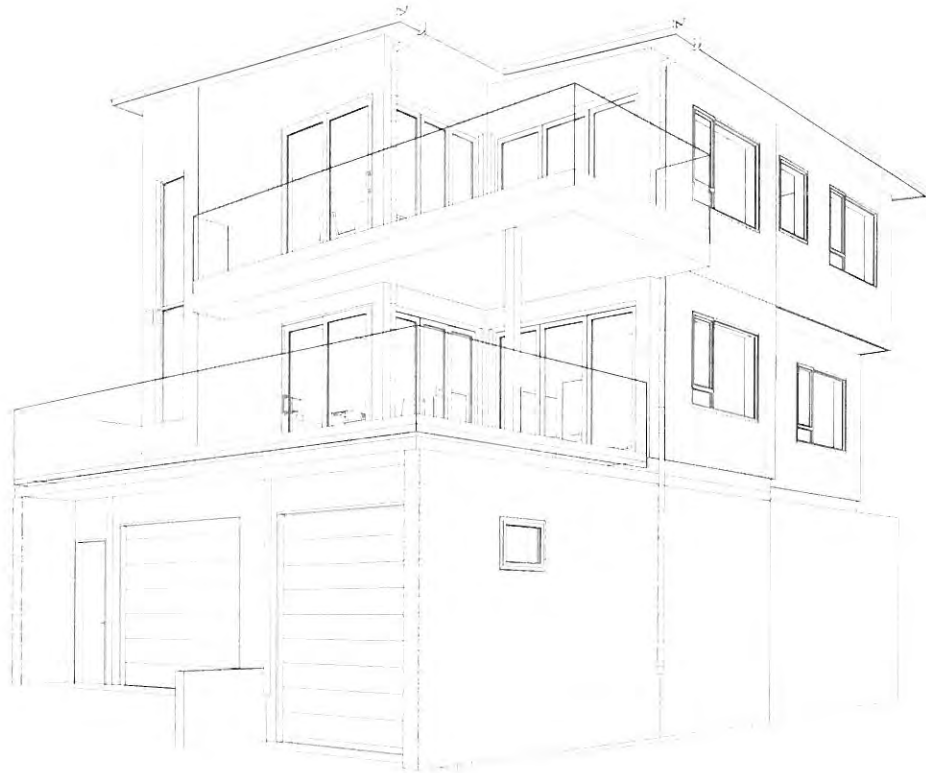


The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

J G

352 *ED*

PA



Sheet List				
Sheet No	Sheet Name	Quantity	Scale	Notes
A00	Site Plan	1	1:500	
A01	Section 1	1	1:20	
A02	Section 2	1	1:20	
A03	Section 3	1	1:20	
A04	Section 4	1	1:20	
A05	Section 5	1	1:20	
A06	Section 6	1	1:20	
A07	Section 7	1	1:20	
A08	Section 8	1	1:20	
A09	Section 9	1	1:20	
A10	Section 10	1	1:20	
A11	Section 11	1	1:20	
A12	Section 12	1	1:20	
A13	Section 13	1	1:20	
A14	Section 14	1	1:20	
A15	Section 15	1	1:20	
A16	Section 16	1	1:20	
A17	Section 17	1	1:20	
A18	Section 18	1	1:20	
A19	Section 19	1	1:20	
A20	Section 20	1	1:20	
A21	Section 21	1	1:20	
A22	Section 22	1	1:20	
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A24	Section 24	1	1:20	
A25	Section 25	1	1:20	
A26	Section 26	1	1:20	
A27	Section 27	1	1:20	
A28	Section 28	1	1:20	
A29	Section 29	1	1:20	
A30	Section 30	1	1:20	
A31	Section 31	1	1:20	
A32	Section 32	1	1:20	
A33	Section 33	1	1:20	
A34	Section 34	1	1:20	
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A99	Section 99	1	1:20	
A100	Section 100	1	1:20	

Project number 7382

Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown



ED

MLA

AK

BC240156
Queenstown Lakes District Council

APPROVED
PROPOSED

PROPOSED MULTI-UNIT DWELLING - BLDG. 3
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN

SHEET	PLAN SET INDEX
P-01	COVER PAGE
P-02	SITE PLAN
P-03	SEDIMENT CONTROL PLAN
P-04	GARAGE DRAINAGE PLAN
P-05	LEVEL 1 DRAINAGE PLAN
P-06	LEVEL 2 DRAINAGE PLAN
P-07	PLUMBING SCHEMATIC
P-08	ROOF CATCHMENT PLAN
P-09	GARAGE FLOOR PLAN
P-10	GARAGE DIMENSION PLAN
P-11	GARAGE FLOOR FRAMING/GLADDING & WINDOW SETOUT PLAN
P-12	LEVEL 1 FLOOR PLAN
P-13	LEVEL 1 DIMENSION PLAN
P-14	LEVEL 1 FRAMING/GLADDING & WINDOW SETOUT PLAN
P-15	LEVEL 2 FLOOR PLAN
P-16	LEVEL 2 DIMENSION PLAN
P-17	LEVEL 2 FRAMING/GLADDING & WINDOW SETOUT PLAN
P-18	GARAGE FOUNDATION PLAN
P-19	LEVEL 1 FOUNDATION PLAN
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN
P-24	GARAGE BRACING PLAN
P-25	LEVEL 1 BRACING PLAN
P-26	LEVEL 2 BRACING PLAN
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS
P-29	BRACE FIXING DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN
P-31	LEVEL 1 ELECTRICAL PLAN
P-32	LEVEL 2 ELECTRICAL PLAN
E-01	NORTH ELEVATION
E-02	EAST ELEVATION

SHEET	PLAN SET INDEX
E-03	WEST ELEVATION
E-04	SOUTH ELEVATION
S-01	CROSS SECTION A-A
S-02	CROSS SECTION B-B
S-03	CROSS SECTION C-C
S-04	SCHEDULE OF DOORS
S-05	SCHEDULE OF WINDOWS
D-01	FOUNDATION DETAILS
D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
D-05	VERT. ABODO VULCAN & BASE DETAILS
D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
D-08	VERT. ABODO VULCAN ROOF DETAILS
D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
D-13	HANDRAIL/STAIRCASE DETAIL
D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
D-15	SHOWER/WET AREA DETAILS
D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
D-17	HWC & SEISMIC RESTRAINT DETAILS
D-18	FIRE RATED WALL DETAILS - SHEET 01
D-19	FIRE RATED WALL DETAILS - SHEET 02
D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
D-21	FIRE RATED JUNCTION DETAILS
D-22	FIRE RATED PENETRATION DETAILS
D-23	FIRE RATED ROOF DETAILS
D-24	CONCRETE DECK DETAILS - SHEET 01
D-25	CONCRETE DECK DETAILS - SHEET 02
D-26	TIMBER DECK DETAILS
D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
D-28	FLOOR JOIST STIFFENER



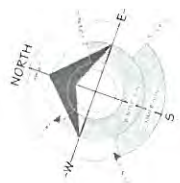
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BC RFI-01	XDD	BC RFI	05.08.24
BC RFI-02	XDD	BC RFI	05.17.24

DATE: 08 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70
COVER PAGE	
SCALE: NOT TO SCALE	

358 *ED* *RA* *MS*

3580156 plan is subject to RDA approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE: VERY HIGH
EARTHQUAKE ZONE: 3
CORROSION ZONE: B
SNOW LOADING: N5 (450m)

BUILDING FOOTPRINT: 110.76m²
SITE COVERAGE: 12.31% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

**NOTE: HAZARD MANAGEMENT
TEMPORARY FENCING**

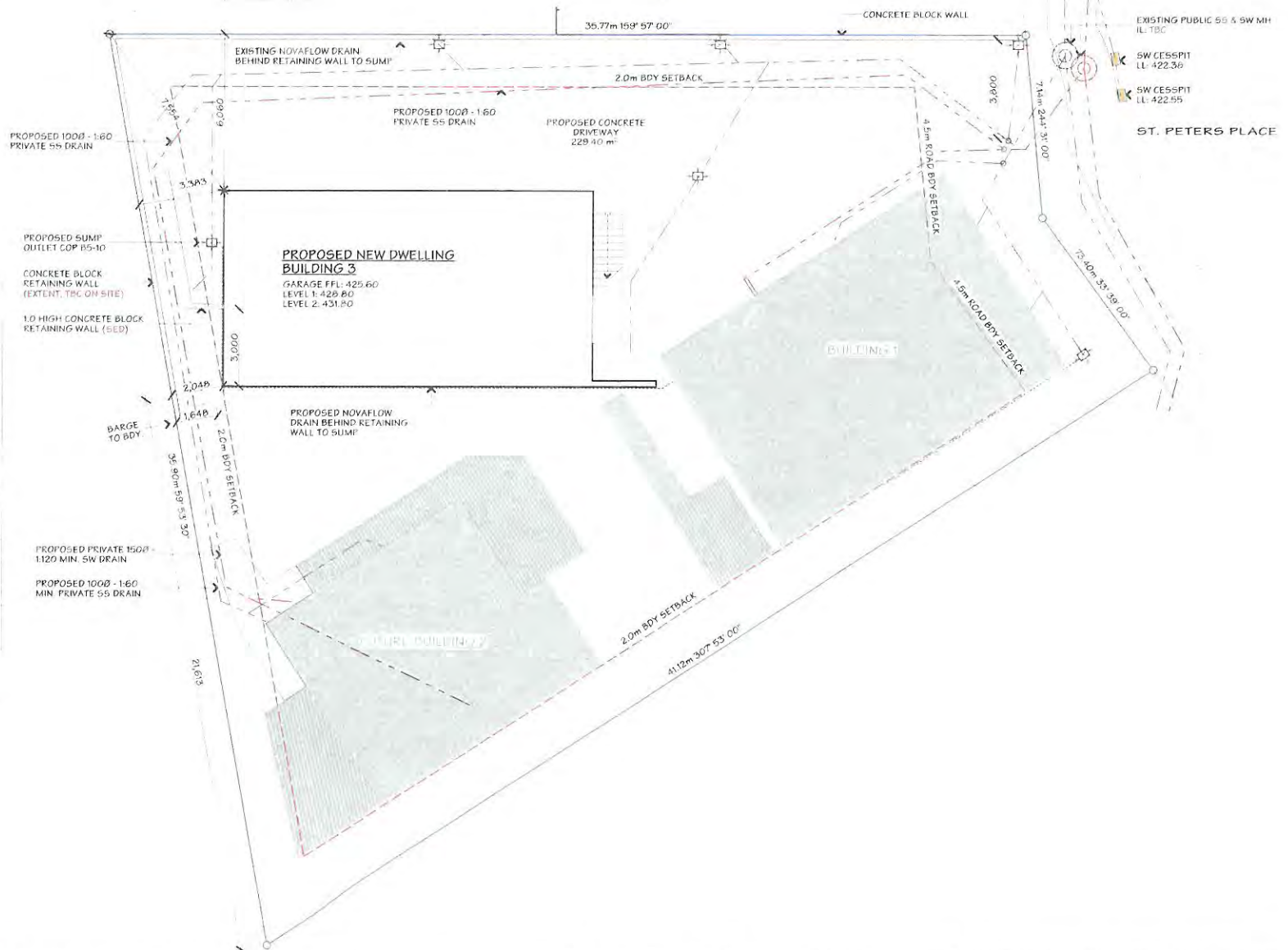
IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F5/A51 IS AN ACCEPTABLE SOLUTION.

PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2. MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK.

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL, JOB NO. 51746.



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SITE PLAN

LEGAL DESCRIPTION:
LOT-1
DP: 512388
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Queenstown's Drafting Ltd (QDL) has prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further detail, please contact QDL before proceeding with construction.

A liability disclaimer to verify all dimensions on site and ensure that all work complies with New Zealand Building Code and NZS 3604 as applicable. Failure to meet these conditions remains the responsibility of the client.

DATE OF ISSUE:
23 FEB 24

PUBLISHED REF NO:
2403071920

VERSION:
WD-01

DESIGNER:
XDD

DRAWN:
JAM

CHECKED:
MS

SCALE:
1:150

JOB#:
23074

SHEET:
P-02

TOTAL SHEETS: 70

359

Note: This plan is subject to developer approval and local district council verification and approval.

- NOTES
- BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 - ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 - DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 - OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

LEGAL DESCRIPTION:
LOT: 1
DP: 512366
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Issue For Sale: Drafting Ltd. (2024) is a registered provider of services for the purposes of being a BUILDING CONSULTANT. This drawing is not an architectural drawing as it does not include a structural design or a structural design for construction.

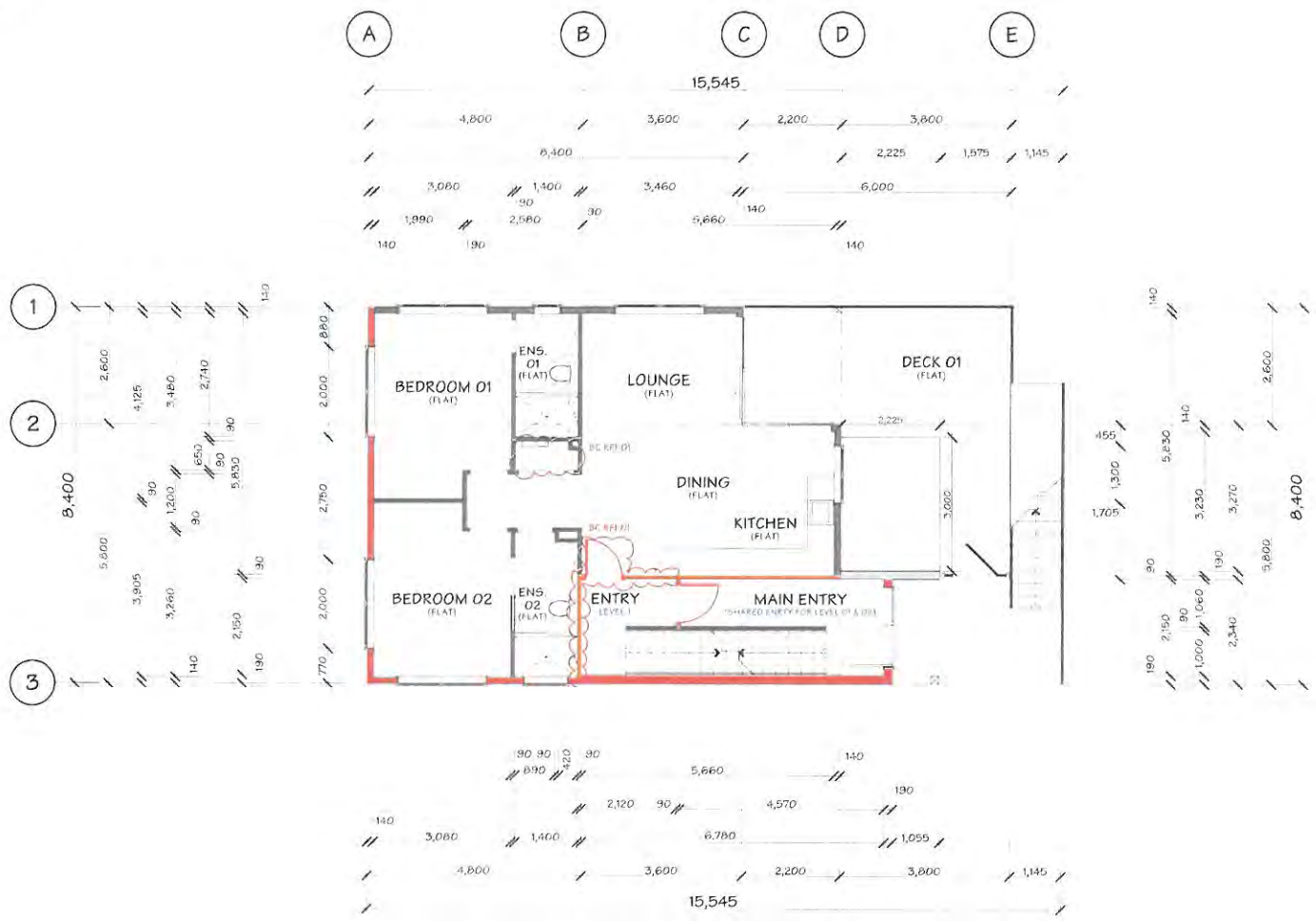
A building, if it is to be used in a manner that is not intended to be used in accordance with the Building Act 2004, must be designed in accordance with the Building Act 2004 and the Building Regulations 2004.


DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100	SHEET: P-10
PUBLISHED REF NO.: 240508.1520		DRAWN: JAM		
VERSION: BC RFI-01	REV. NO. 01	CHECKED: M	JOB#: 23074	TOTAL SHEETS: 70

ED R 360 U

This plan is subject to developer approval and local district council verification and approval.

NOTES
 1. BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 2. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 3. DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 4. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



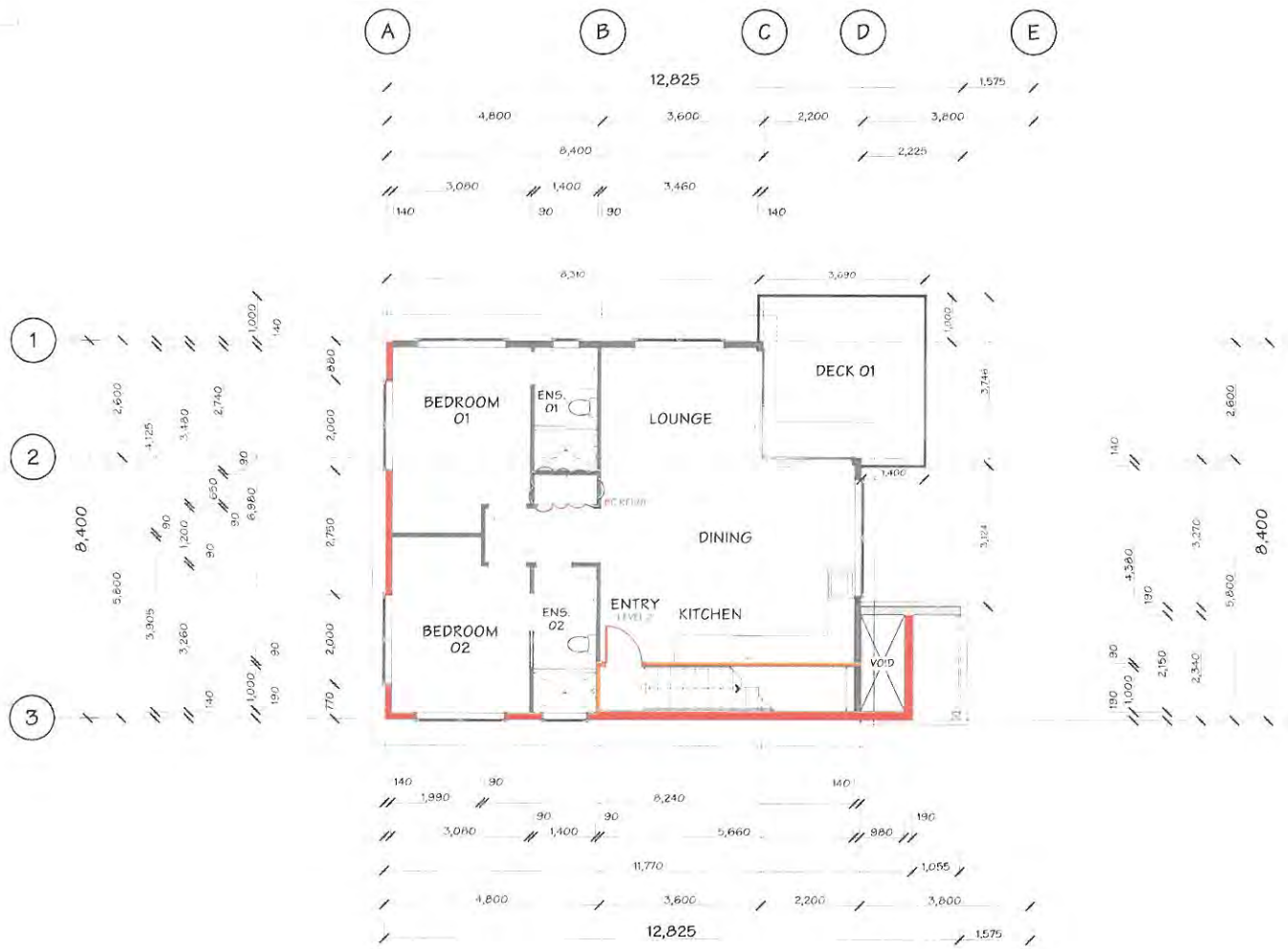
	JOB TITLE:	DRAWING TITLE:	LEGAL DESCRIPTION:	DATE OF ISSUE:	DESIGNER:	SCALE:	SHEET:
	JASON & DAN GLEW & PROAPT TRUSTEES LTD	LEVEL 1 DIMENSION PLAN	LOT: 1 DP: 512368 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN	23 FEB 24	XDD	1:100	
				PUBLISHED REF NO:	DRAWN:	JOB#:	P-13
				2405081520	JAM	23074	
				VERSION:	REV. NO.:	CHECKED:	TOTAL SHEETS: 70
				BC RFI-01	01	MS	

ES J.L. a

361

This plan is subject to developer approval and local district council verification and approval.

NOTES
 1. CONSULT WITH DISTRICT COUNCIL BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT:1
 DP: 512568
 ADDRESS: 106 ST PETERS PLACE QUEENSTOWN

press design + drafting Ltd (PDD) is a registered provider of building consent services for the purpose of being a BUILDING CONSULTANT. PDD is not a registered building practitioner. It requires further details to be provided to PDD prior to proceeding with construction.
 A full disclaimer will be provided to the client upon completion of the building consent process.

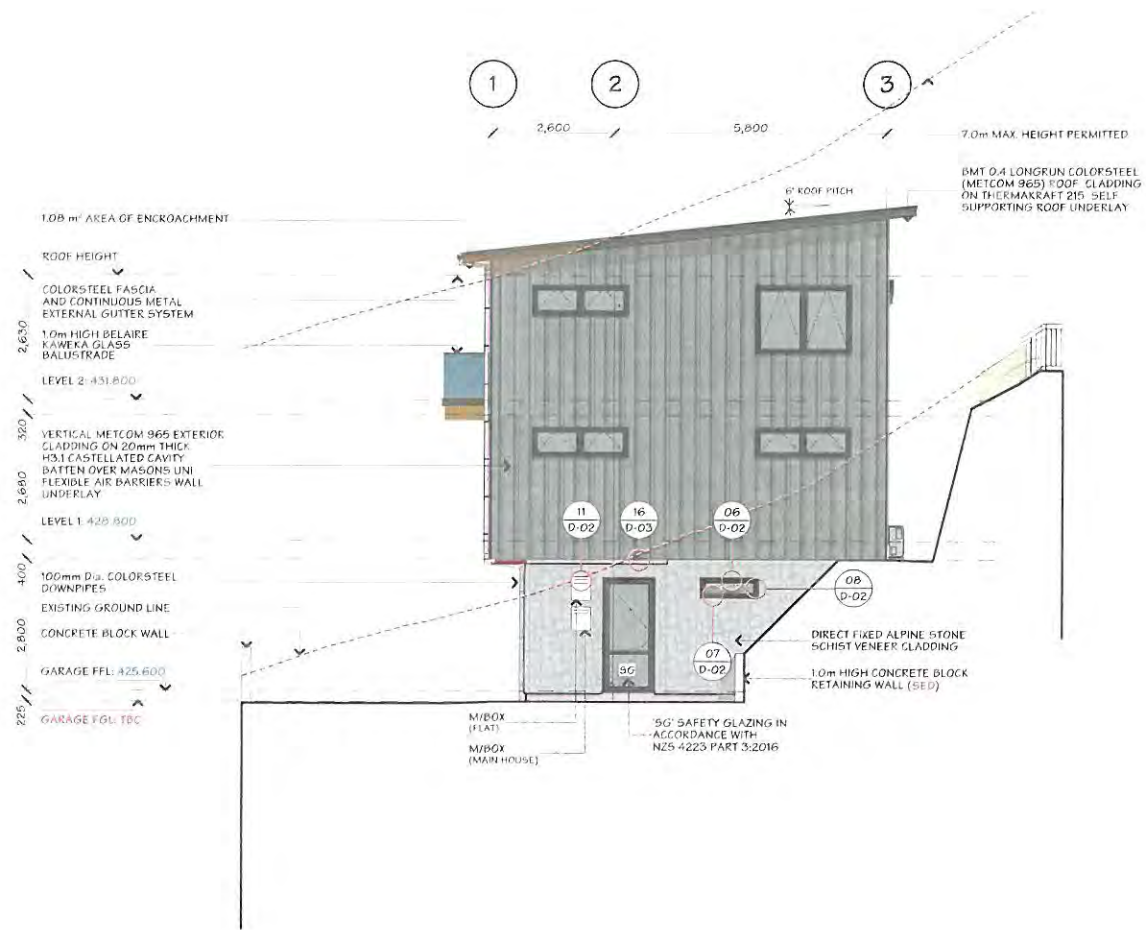
DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100
PUBLISHED REF NO.: 240508.1520	DRAWN: JAM	JOB#:
VERSION: BC RFI-01	REV. NO.: 01	CHECKED: MS

SHEET:
P-16
 TOTAL SHEETS: 70

ED M A AM 362

This plan is subject to developer approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		14



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 108 ST PETERS PLACE QUEENSTOWN

These Drawings, including Lot 1 (E01) have prepared these drawings for the purposes of obtaining a BUILDING CONSENT. Should any of the drawings or specifications in this package require further detail or clarification, you must contact the architect prior to construction.
Additionally, it is critical to verify all dimensions, levels and elevations with all work against the New Zealand Building Code and NZS 3604 as provided. Failure to meet these conditions may result in a building consent being refused.

DATE OF ISSUE:
23 FEB 24
PUBLISHED REF NO.:
240307.1920
VERSION:
WD-01

DESIGNER:
XDD
DRAWN:
JAM
CHECKED:
MS

SCALE:
1:100
JOB#: 23074

SHEET:
E-01
TOTAL SHEETS: 70

ED

363

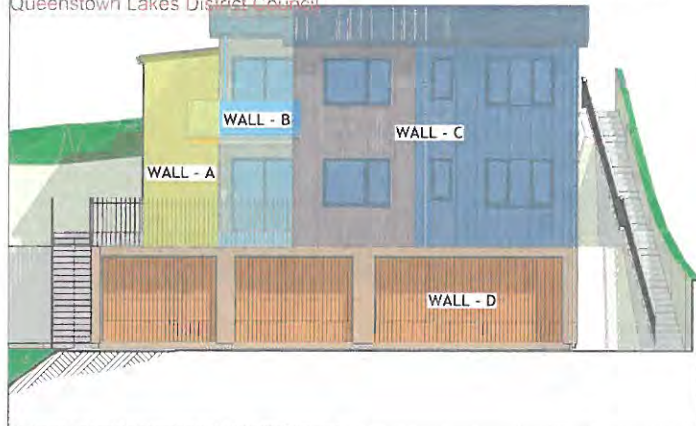
M

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This plan is subject to developer approval and local district council verification and approval

Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		7
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8

ROOF HEIGHT
6° ROOF PITCH

100mm Dia. COLORSTEEL DOWNPIPES

ALPINE STONE SCHIST VENEER CLADDING ON DGC STONE SHEET WITH 20mm THICK H3.1 TIMBER CAVITY BATTEN OVER MASONS UNI FLEXIBLE AIR BARRIER.

LEVEL 2: 431.600

150 SAFETY GLAZING IN ACCORDANCE WITH NZS 4223 PART 3.2016

LEVEL 1: 428.600

10m HIGH BELAIRE KAWKA GLASS BALUSTRADE

DIRECT FIXED ALPINE STONE SCHIST VENEER CLADDING

GARAGE FFL: 425.600

GARAGE FGL: TBC

EXISTING GROUND LINE



AREA OF ENCRoACHMENT 20.66 m²

BMT 0.4 LONGRUN COLORSTEEL (METCOM 965) ROOF CLADDING ON THERMAKRAFT 215 SELF SUPPORTING ROOF UNDERLAY

7.0m MAX HEIGHT PERMITTED

COLORSTEEL FASCIA AND CONTINUOUS METAL EXTERNAL GUTTER SYSTEM

VERTICAL ABODO VULCAN EXTERIOR CLADDING ON 20mm THICK H3.1 CASTELLATED CAVITY BATTEN OVER MASONS UNI FLEXIBLE AIR BARRIER

VERTICAL METCOM 965 EXTERIOR CLADDING ON 20mm THICK H3.1 CASTELLATED CAVITY BATTEN OVER MASONS UNI FLEXIBLE AIR BARRIER

100mm Dia. COLORSTEEL DOWNPIPES



JOB TITLE:
DRAWING TITLE:
LEGAL DESCRIPTION:

JASON & DAN GLEW & PROAPT TRUSTEES LTD

EAST ELEVATION

LOT:1
DP: 512388
ADDRESS: 10R ST PETERS PLACE, QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
DESIGNER: XDD
SCALE: 1:100
SHEET: E-02

PUBLISHED REF NO.: 240508.1520
DRAWN: JAM
JOB#: 23074

VERSION: BC RFI-01
REV. NO.: 01
CHECKED: MS

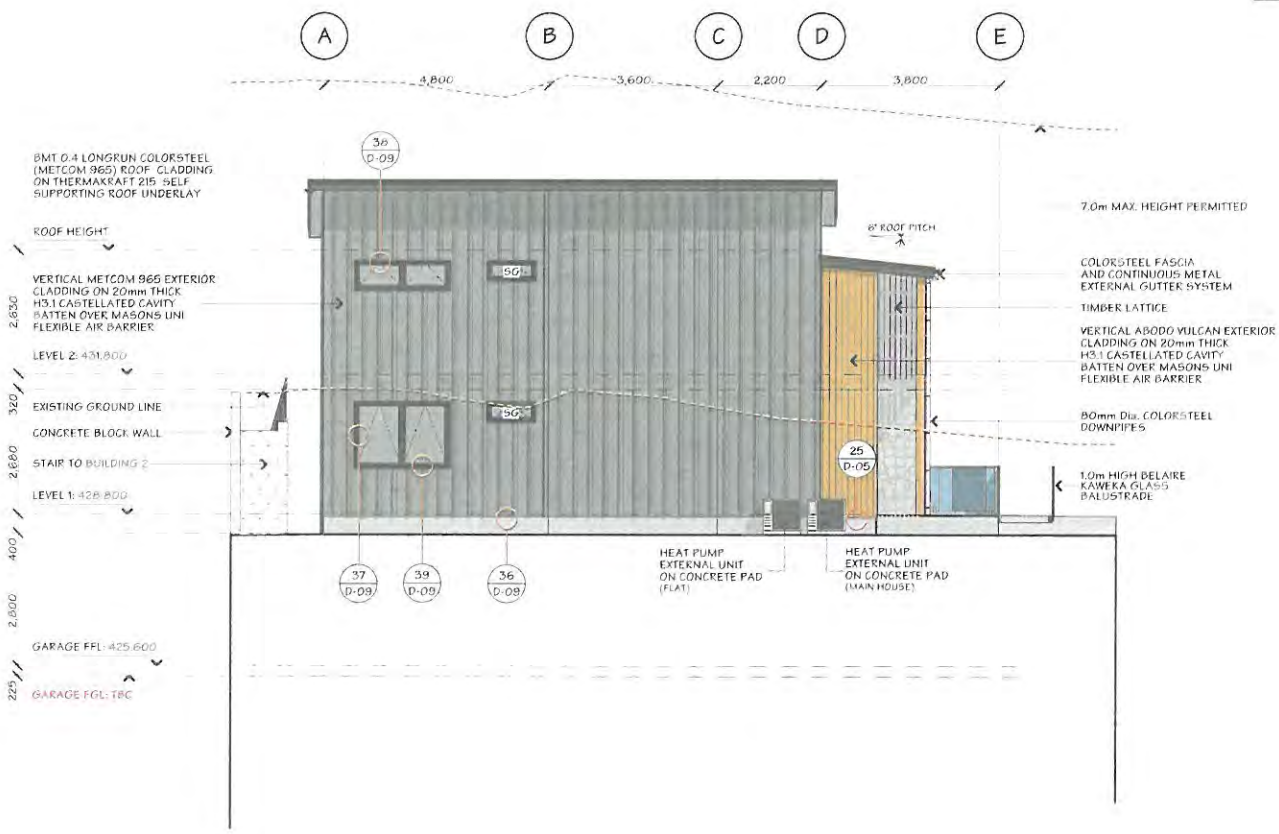
TOTAL SHEETS: 70

Notes:
1. This drawing is the property of the designer and shall not be used for any other purpose without the written consent of the designer.
2. The designer shall not be responsible for any errors or omissions in this drawing or any consequences thereof.
3. The client shall verify all dimensions, levels and materials to be used in accordance with the New Zealand Building Code and all applicable regulations and standards before construction.
4. The client shall verify all dimensions, levels and materials to be used in accordance with the New Zealand Building Code and all applicable regulations and standards before construction.

ED 364 a

This plan is subject to Developer Approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High risk	3
Deck design	Medium risk	2
Total Risk Score:		13



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 108 ST PETERS PLACE QUEENSTOWN

DATE OF ISSUE:
23 FEB 24
DESIGNER:
XDD
SCALE:
1:100
DRAWN:
JAM
JOB#:
23074
CHECKED:
MS

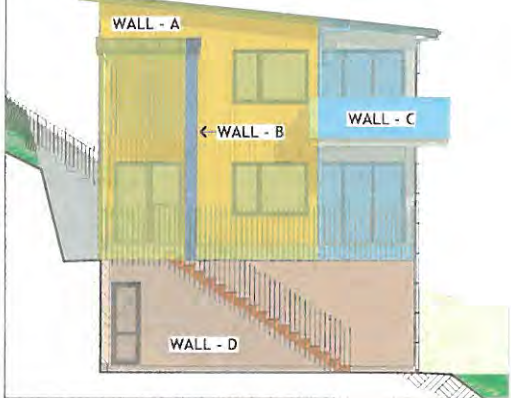
SHEET:
E-03
TOTAL SHEETS: 70

Client Consent: Drafting Ltd (DDL) has prepared these drawings for the purpose of obtaining a Resource Consent. It is the client's responsibility to ensure all drawings are correct and complete before construction. A disclaimer is included in the contract documents. The client is advised to seek professional advice before construction.

ED AL 365 a

This plan is subject to Resource Management Act approval and local district council verification and approval.

Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		17
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		10



- BMT 0.4 LONGRUN COLORSTEEL (METCOM 965) ROOF CLADDING ON THERMAKRAFT 215 SELF SUPPORTING ROOF UNDERLAY
- VERTICAL ABOODI VULCAN EXTERIOR CLADDING ON 20mm THICK H3.1 CASTELLATED CAVITY BATTEN OVER MASON'S UNI FLEXIBLE AIR BARRIER
- COLORSTEEL FASCIA AND CONTINUOUS METAL EXTERNAL GUTTER SYSTEM
- 3.43 m² AREA OF ENCROACHMENT
- 1.0m HIGH BELAIRE KAWEKA GLASS BALUSTRADE
- 100mm Dia. COLORSTEEL DOWNPIPES
- 5G SAFETY GLAZING IN ACCORDANCE WITH NZS 4223 PART 3:2016



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SOUTH ELEVATION

LEGAL DESCRIPTION:
LOT: 1
DP: 5123666
ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Please ensure a 14 day notice period is provided for the purpose of obtaining a Resource Consent. Any application in this regard or any further details, please contact XDD before proceeding with construction.

Additionally, it is the client's responsibility to ensure that all work complies with New Zealand Building Code and NZS 3604 standards. Failure to meet these conditions may result in a stop work order.

DATE OF ISSUE:
23 FEB 24

PUBLISHED REF NO:
2403071920

VERSION:
WD-01

DESIGNER:
XDD

DRAWN:
JAM


CHECKED:
MJS

SCALE:
1:100

JOB#:
23074

SHEET:
E-04

TOTAL SHEETS: 70



 366

BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2 FOR JASON & DAN GLEW & PROAPT TRUSTEES LTD AT 10C ST PETERS PLACE, QUEENSTOWN



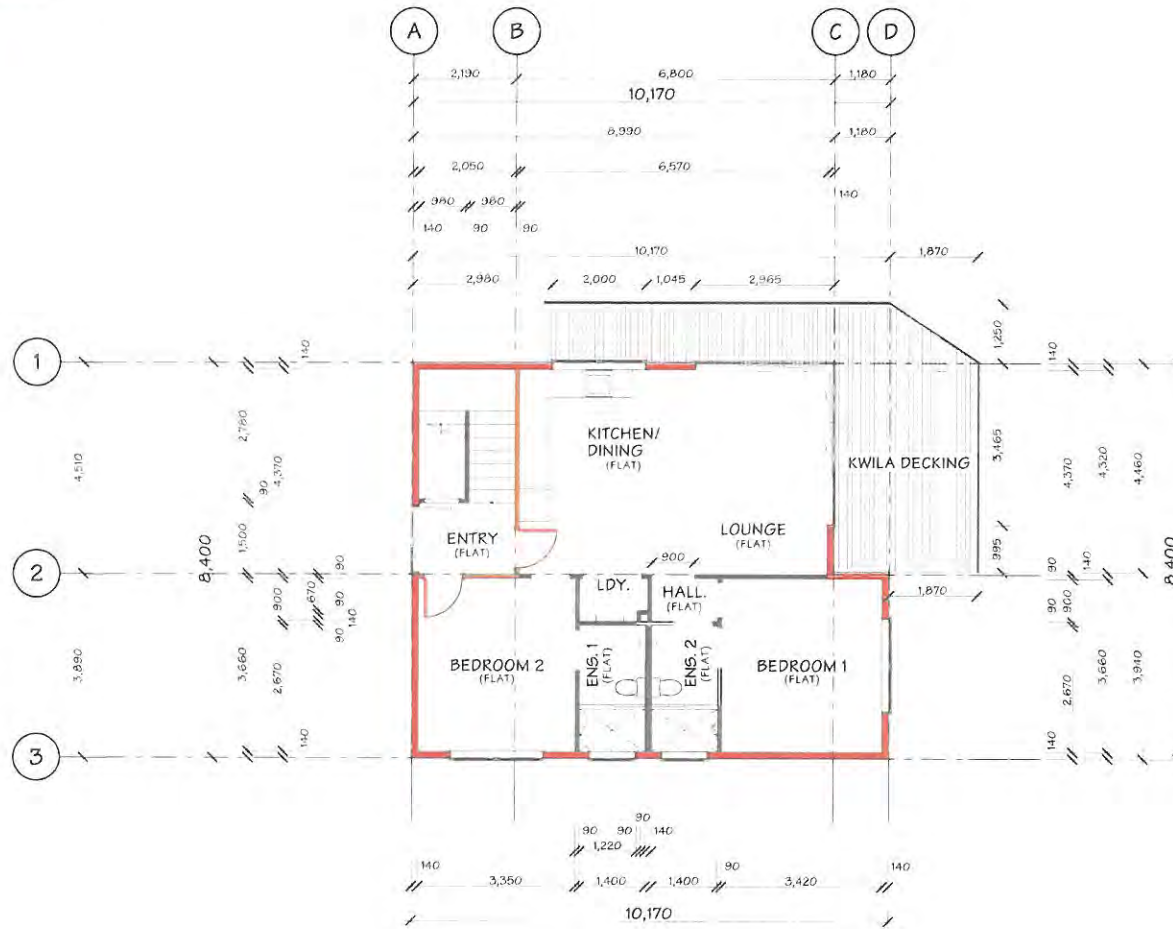
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REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE	DATE: 23 FEB 24	SHEET: P-01
	XDD	BC RFI-01	05.09.24	JOB #: 23073	TOTAL SHEETS: 56
	XDD	BC RFI-02	05.14.24	COVER PAGE	
	XDD	BC RFI-03	05.20.24	SCALE: NOT TO SCALE	

369 *EG* *DL* *a* *ms*

This plan is subject to developer approval and local district council verification and approval.
Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 1 DIMENSION PLAN

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 101 ST PETERS PLACE QUEENSTOWN

Kwila Design + Drafting Ltd (KDD) have prepared these drawings for the purposes of obtaining a Resource Consent. It is the responsibility of the client to ensure that the drawings are correct and that they comply with all applicable laws and regulations. KDD is not responsible for any errors or omissions in these drawings. All dimensions are in millimeters unless otherwise stated. All dimensions are to face unless otherwise stated. All dimensions are to be confirmed by the client before proceeding with construction.

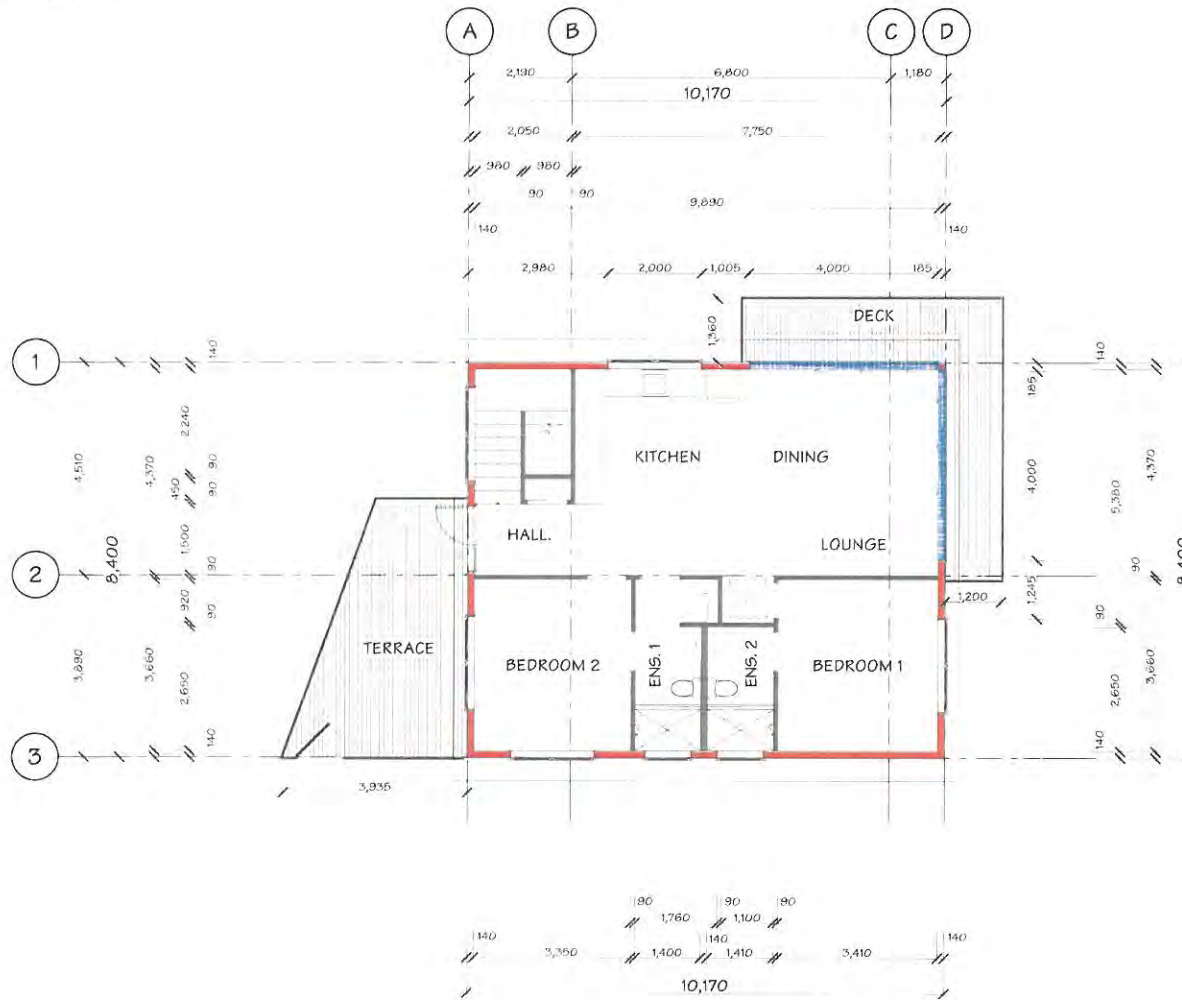
All dimensions are to be confirmed by the client before proceeding with construction. This drawing is not to be used for any other purpose without the written consent of KDD. Failure to meet these conditions may void the warranty provided.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100
PUBLISHED REF NO.: 240409.0154	DRAWN: DM	JOB#:
VERSION: WD-01	REV. NO.: 01	CHECKED: JAM

SHEET:
P-08
TOTAL SHEETS: 56

ED OL 370 CL

Note: This plan is subject to developer approval and local district council verification and approval.
Queenstown Lakes District Council



JOB TITLE:
JASON & DAN GLEW &
PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 100 ST PETERS
PLACE
QUEENSTOWN

General Edition of Drafting Ltd 1000 rules and regulations. These drawings are for the purpose of obtaining a Resource Management Act (RMA) consent. You should verify all dimensions on the ground and refer to further details on the plans at R200 before proceeding with construction.
All liability for errors, omissions or dimensions is on the client and acceptor. Client to check against New Zealand Building Code and NZS3604 when applicable to meet these conditions compliance with R200 (R200).

DATE OF ISSUE: 23 FEB 24		DESIGNER: XDD	SCALE: 1:100
PUBLISHED REF NO.: 240409.0154		DRAWN: DM	
VERSION: WD-01	REV. NO. 01	CHECKED: JAM	JOB#: 24073

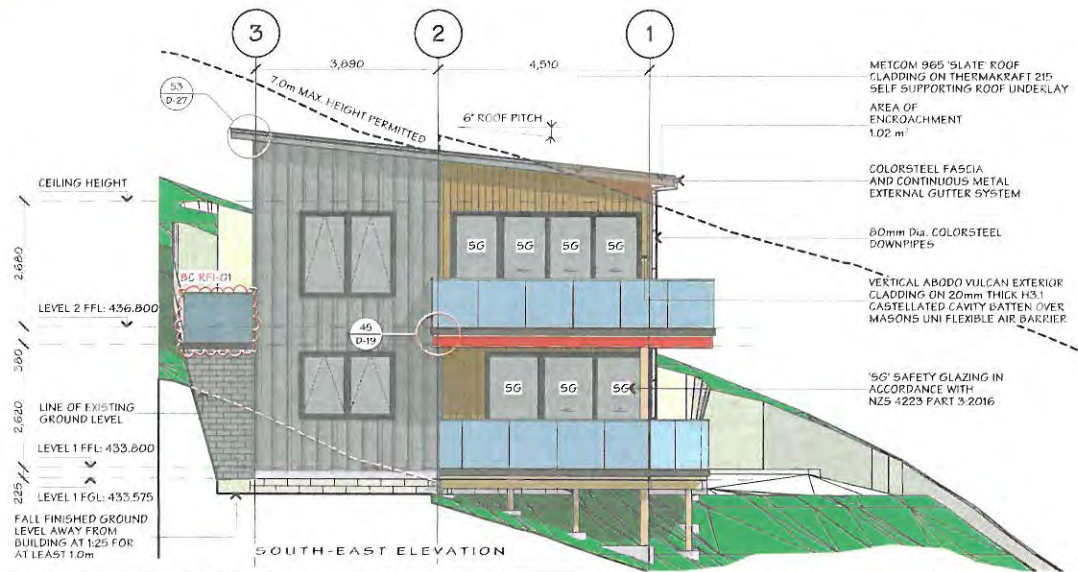
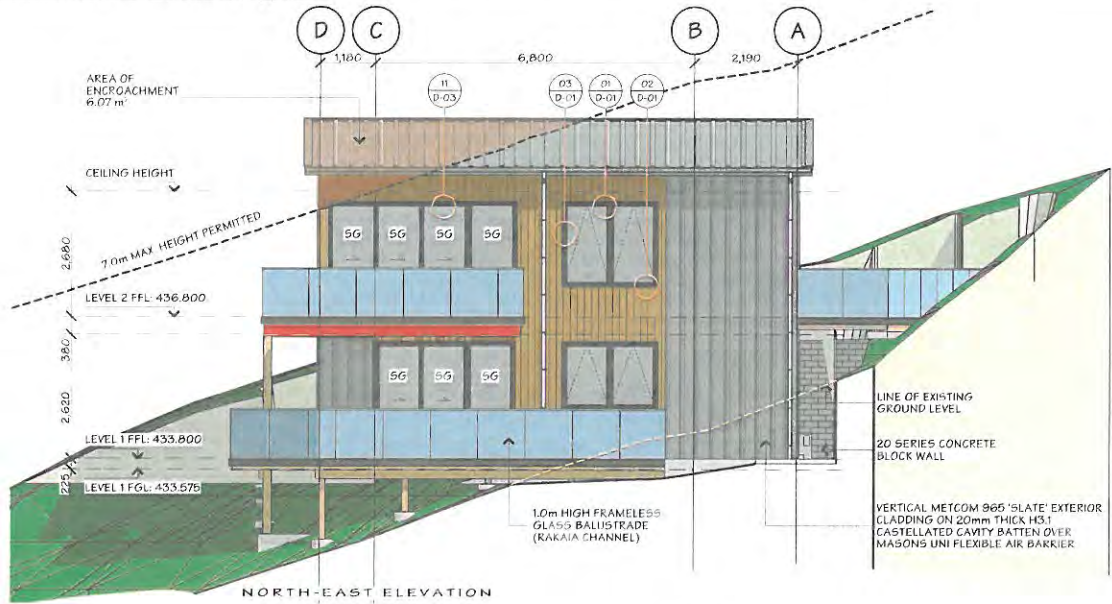
SHEET:
P-10
TOTAL SHEETS: 56

ED 371

This plan is subject to developer approval and local district council verification and approval.

Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 01

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

Special Design & Drafting Ltd (SDDL) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you require any alterations to the drawings or require further details, please contact SDDL before proceeding with construction.
 Additionally, it is crucial to verify all dimensions on-site and ensure that all work complies with New Zealand Building Code and NZS standards. Failure to do so may result in additional costs or delays to your project.

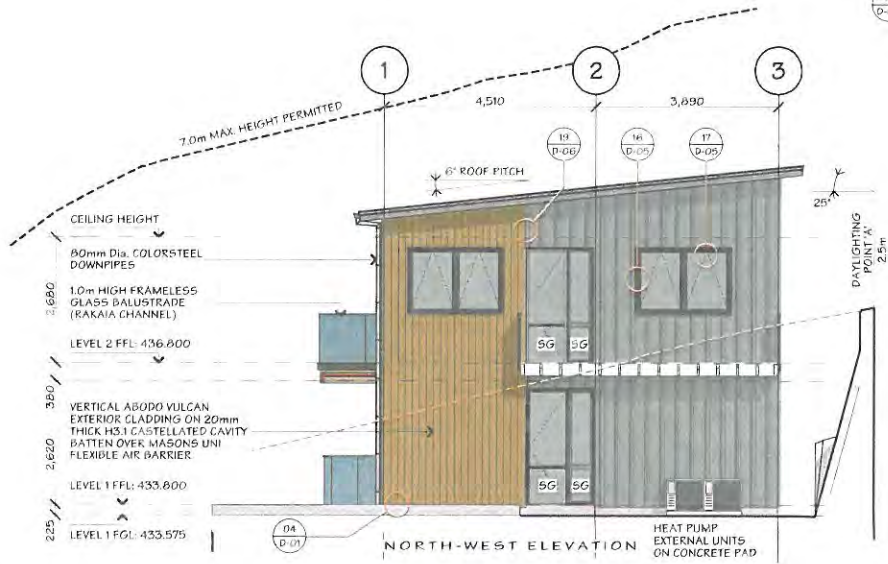
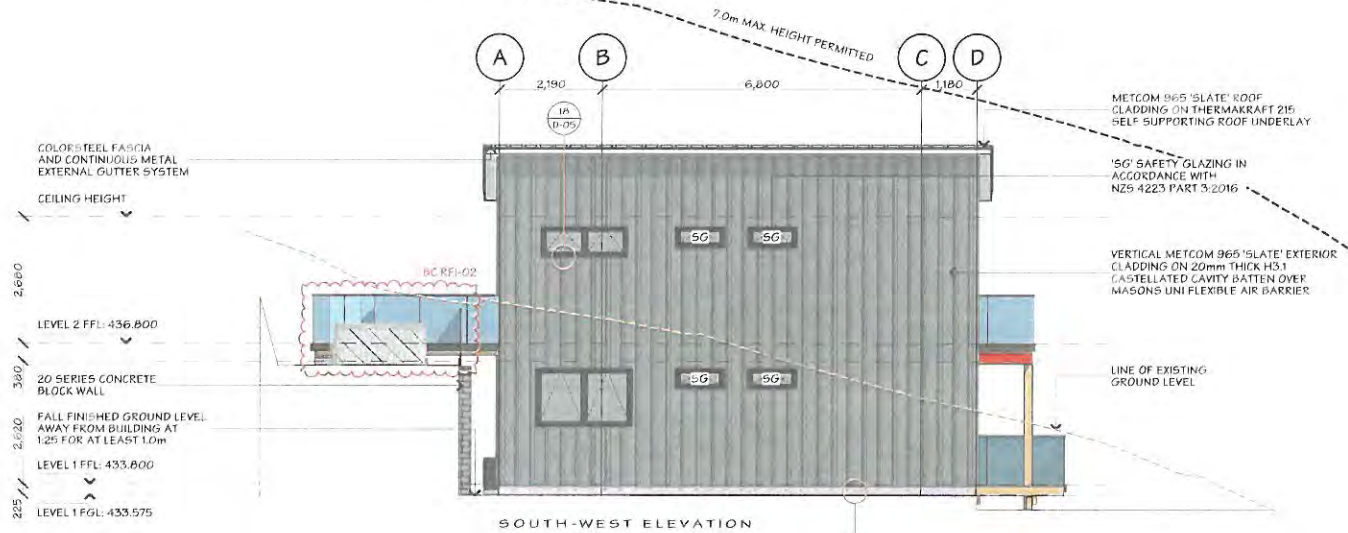
DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: E-01
PUBLISHED REF NO.: 240509.1050	DRAWN: DM	JOB#: 23073	
VERSION: DC-RF1-01	REV. NO. 02	CHECKED: JAM	TOTAL SHEETS: 56

Document Set ID: 9200346
 Version: 1, Version Date: 02/12/2025

ED 372 d MS

NOTES: This plan is subject to developer approval and local district council verification and approval.
Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11
BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

These documents shall not be prepared, issued, or used for the purpose of obtaining a building consent. Should you discover any discrepancies in the drawings or require further detail, please contact the architect before proceeding with construction.
Additionally, the client is responsible for ensuring the design and construction of the building complies with the Building Code and all applicable regulations. The architect does not warrant the accuracy or completeness of the information provided.

DATE OF ISSUE: 23 FEB 24	DESIGNER: XDD	SCALE: 1:100	SHEET: E-02
PUBLISHED REF NO.: 240514.1440	DRAWN: DM	JOB#: 23073	
VERSION: BC-RF1-02	REV. NO.: 01	CHECKED: JAM	

TOTAL SHEETS: 56



AFFECTED PERSON'S APPROVAL

FORM 8A



Resource Management Act 1991 Section 95



RESOURCE CONSENT APPLICANT'S NAME AND/OR RM

Jason Daniel Glew and Proapt Trustees Limited



AFFECTED PERSON'S DETAILS

I/We Michael Geale and Jennifer Geale

Are the owners/occupiers of
8 St Peters Place, Queenstown



DETAILS OF PROPOSAL

I/We hereby give written approval for the proposal to:

To undertake residential visitor accommodation for up to 365 days per year from the residential units located at 10A, 10B and 10C St Peters Place, Queenstown

Each of the three residential units and each of the three residential flats will be rented for residential visitor accommodation independently of each other, for up to 365 nights per year, for a maximum of four (4) guests at any one time (in each residential unit/residential flat)

at the following subject site(s):

10A, 10B, 10C St Peters Place, Queenstown



I/We understand that by signing this form Council, when considering this application, will not consider any effects of the proposal upon me/us.



I/We understand that if the consent authority determines the activity is a deemed permitted boundary activity under section 87BA of the Act, written approval cannot be withdrawn if this process is followed instead.



WHAT INFORMATION/PLANS HAVE YOU SIGHTED




I/We have sighted and initialled ALL plans dated and approve them.


3 April 2023 (10A Site Plans/Elevations), 8 May 2024 (10B Site Plans/Elevations) and 23 Feb 2024 (10C Site Plans/Elevations)



APPROVAL OF AFFECTED PERSON(S)

The written consent of all owners / occupiers who are affected. If the site that is affected is jointly owned, the written consent of all co-owners (names detailed on the title for the site) are required.

A	Name (PRINT) Michael Geale	
	Contact Phone / Email address 021303639 / michaeldgeale@gmail.com	
	Signature 	Date 14/10/2025

B	Name (PRINT) Jennifer Geale	
	Contact Phone / Email address 021302112 / jenny.geale@gmail.com	
	Signature 	Date 14/10/2025

C	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

D	Name (PRINT)	
	Contact Phone / Email address	
	Signature	Date

Note to person signing written approval

Conditional written approvals cannot be accepted.

There is no obligation to sign this form, and no reasons need to be given.

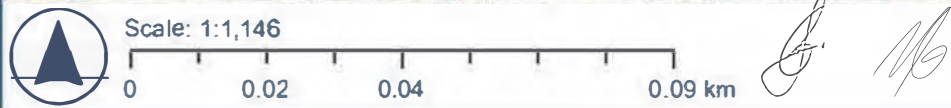
If this form is not signed, the application may be notified with an opportunity for submissions.

If signing on behalf of a trust or company, please provide additional written evidence that you have signing authority.



QLDC Property Map

PRINT DATE:
27/08/2025



The information provided on this map is intended to be general information only. While considerable effort has been made to ensure that the information provided on this map is accurate, current and otherwise adequate in all respects, Queenstown Lakes District Council does not accept any responsibility for content and shall not be responsible for, and excludes all liability, with relation to any claims whatsoever arising from the use of this map and data held within.

Document Set ID: 9200949
Version: 1, Version Date: 02/12/2025

BC230309 APPROVED
Queenstown Lakes District Council



Sheet List				
Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A001	Notes sheet 1	A	Building Consent Issue	30/03/2022
A002	Notes sheet 2	A	Building Consent Issue	30/03/2022
A003	Notes sheet 3	A	Building Consent Issue	30/03/2022
A100	Site Plan	A	Building Consent Issue	30/03/2022
A110	Proposed Floor Plan - Garage	A	Building Consent Issue	30/03/2022
A111	Proposed Floor Plans	A	Building Consent Issue	30/03/2022
A120	Foundation Plans	A	Building Consent Issue	30/03/2022
A122	Level 2 Midfloor Plan	A	Building Consent Issue	30/03/2022
A125	Roof Plans	A	Building Consent Issue	30/03/2022
A126	Bracing Plans	A	Building Consent Issue	30/03/2022
A127	Proposed Drainage Plans	A	Building Consent Issue	30/03/2022
A128	Plumbing Schematic	A	Building Consent Issue	30/03/2022
A130	Fire Protection Plans	A	Building Consent Issue	30/03/2022
A133	Fire Protection Elevations	A	Building Consent Issue	30/03/2022
A141	Wall Framing Plan - Garage	A	Building Consent Issue	30/03/2022
A142	Wall Framing Plan	A	Building Consent Issue	30/03/2022
A200	Elevations	A	Building Consent Issue	30/03/2022
A201	Elevations	A	Building Consent Issue	30/03/2022
A300	Sections	A	Building Consent Issue	30/03/2022
A301	Sections	A	Building Consent Issue	30/03/2022
A302	Sections Detail	A	Building Consent Issue	30/03/2022
A303	Fire Protection Sections	A	Building Consent Issue	30/03/2022
A400	Abodo Cladding Details	A	Building Consent Issue	30/03/2022
A401	Abodo Cladding Details	A	Building Consent Issue	30/03/2022
A402	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A403	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A404	Metalcraft ESPAN Cladding	A	Building Consent Issue	30/03/2022
A405	Metalcraft ESPAN Roofing	A	Building Consent Issue	30/03/2022
A406	Masonry Block Details	A	Building Consent Issue	30/03/2022
A407	Masonry Block - Schist	A	Building Consent Issue	30/03/2022
A408	Deck - Nuraply Details	A	Building Consent Issue	30/03/2022
A409	Deck - Nuraply Details	A	Building Consent Issue	30/03/2022
A410	Deck - Nuraply Details	A	Building Consent Issue	30/03/2022
A411	Timber Deck Details	A	Building Consent Issue	30/03/2022
A412	Fire & Acoustic Details	A	Building Consent Issue	30/03/2022
A413	Fire & Acoustic Details	A	Building Consent Issue	30/03/2022
A414	Lintel Fixings	A	Building Consent Issue	30/03/2022
A415	Retaining Wall Waterproofing	A	Building Consent Issue	30/03/2022
A416	Shower Waterproofing details	A	Building Consent Issue	30/03/2022
A420	Internal Details	A	Building Consent Issue	30/03/2022
A421	Internal Moisture Details	A	Building Consent Issue	30/03/2022
A530	Ensuite plans L1	A	Building Consent Issue	30/03/2022
A531	Ensuite plans L2	A	Building Consent Issue	30/03/2022
A611	Door Schedule - Garage	A	Building Consent Issue	30/03/2022
A612	Door Schedule - L1	A	Building Consent Issue	30/03/2022
A613	Door Schedule - L2	A	Building Consent Issue	30/03/2022
A711	Window Schedule - Garage	A	Building Consent Issue	30/03/2022
A712	Window Schedule - L1	A	Building Consent Issue	30/03/2022
A713	Window Schedule - L2	A	Building Consent Issue	30/03/2022

Project number 7382

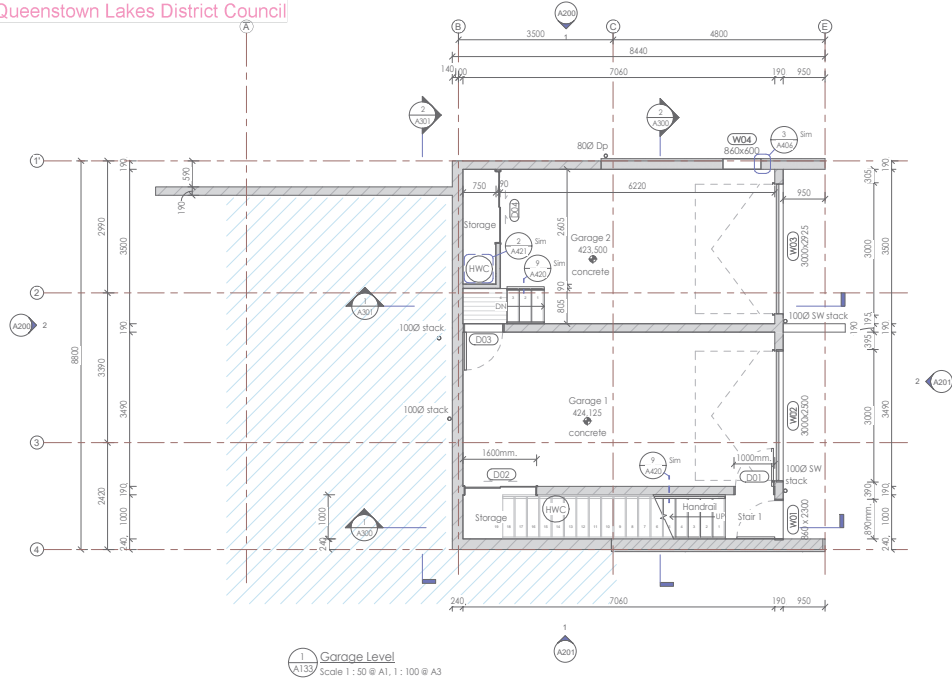
Proposed Multi-Unit Dwelling - Bld. 1 Stage 2 for Jason & Dan Glew & Proapt Trustees Ltd 10A St Peters Place, Queenstown

Building Consent



7b / 331 Rowan Road - Albany - Auckland
PO Box 301 935 - Albany - Auckland 0752
P: +64 9 515 5245 - W: topolocal.co.nz

BC230309 APPROVED
Queenstown Lakes District Council



Building one foundation and block walls completed as part of stage 1 - BC221652

REV	DATE	DESCRIPTION
A	10/03/2025	Building Consent Issue
B	14/02/2025	

FLOOR AREAS:
Garage Level
O/A foundation: -66.30m²
Level 1: (GFA incl -70m²): 83.65m²
Level 2: (GFA incl -79m²): 86.40m²
Total Floor area: 236.35m²
excludes porches and patios

Interior Stair 1
19 risers: 178 mm
Treads: 280 mm
incl. 20mm nosing

Interior Stair 2
17 risers: 188 mm
Treads: 280 mm
incl. 20mm nosing

Exterior Stair
Max riser: 190 mm
Min treads: 300 mm

Building Consent

NOTE: All work to comply with the NZ Building Code. Contractor must verify all dimensions, levels and angles on site before commencing work. Read in conjunction with specifications plus other consultants' and manufacturers' documents. Refer any discrepancies to the Architect. Do not scale. No system or material substitutions without written approval. These drawings are Copyrighted and are only to be used for the projects and purposes for which they were supplied by Fat Parrot Architecture.



75/131 Rossdale Road - Albany - Auckland
PO Box 90195 - Albany - Auckland 0722
P: +64 9 715 8345 W: fatparrot.co.nz

PROJECT
Proposed Multi-Unit Dwelling -
Bld. 1 Stage 2 for Jason & Dan
Glew & Proopt Trustees Ltd
10A St Peters Place,
Queenstown

Proposed Floor Plan - Garage

SCALE # A1: 1:50
SCALE # A3: DATE: 2021

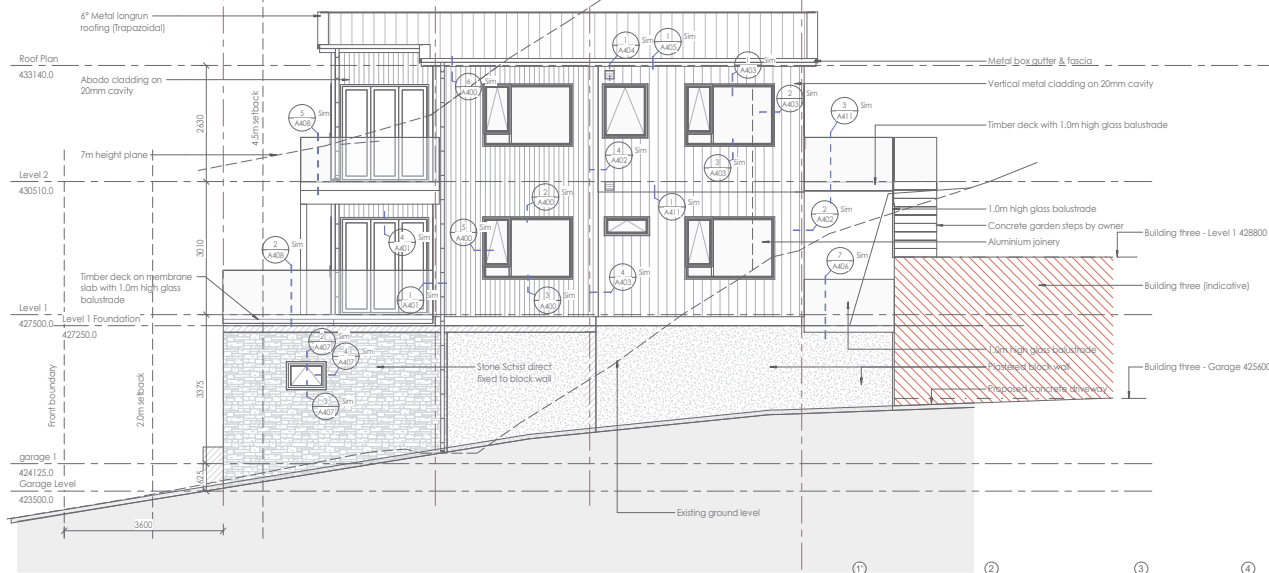
PROJECT NO: SHEET NO: REVISION:
7382 A110 B

BC230309 APPROVED
Queenstown Lakes District Council

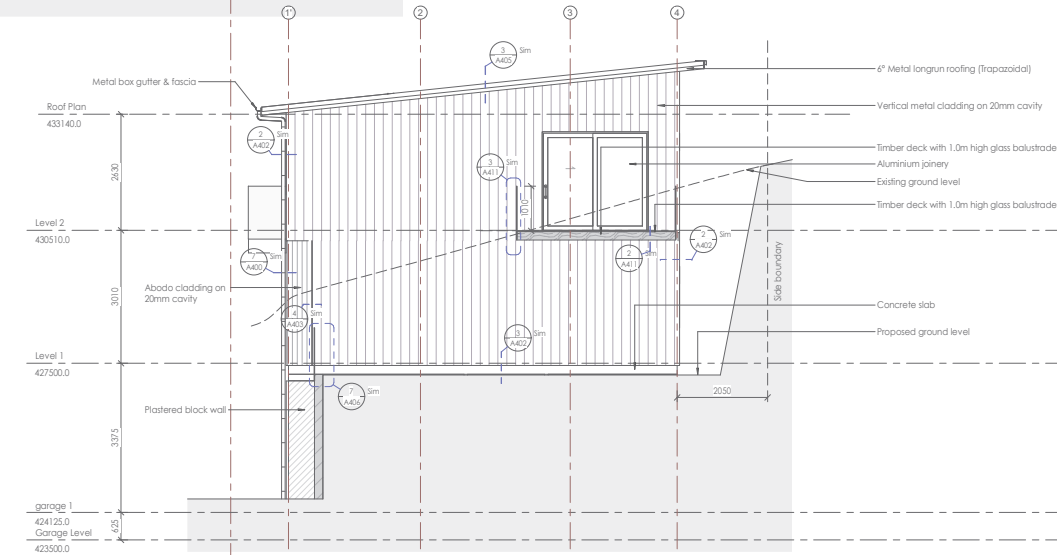
REV	DATE	DESCRIPTION
1	15/03/2022	Building Consent Issue

RISK MATRIX - All Elevations

Risk factor	LOW	MED	HIGH	V.H.	Subtotals
Wind Zone (per NZ3604)	0	0	1	2	2
Number of storeys	0	1	2	4	2
Roof/Wall intersection design	0	1	3	5	0
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	3
Deck design	0	2	4	6	4
Total risk score					18



1 Elevation 1
Scale 1:50 @ A1, 1:100 @ A3



2 Elevation 2
Scale 1:50 @ A1, 1:100 @ A3

Building Consent

NOTE: All work to comply with the NZ Building Code. Contractor must verify all dimensions, levels and angles on site before commencing work. Read in conjunction with specifications and other consultants' and manufacturers' documents. Refer any discrepancies to the architect. Do not scale. No system or material substitutions without written approval. These drawings are Copyrighted and are only to be used for the projects and purposes for which they were supplied by Fat Parrot Architecture.

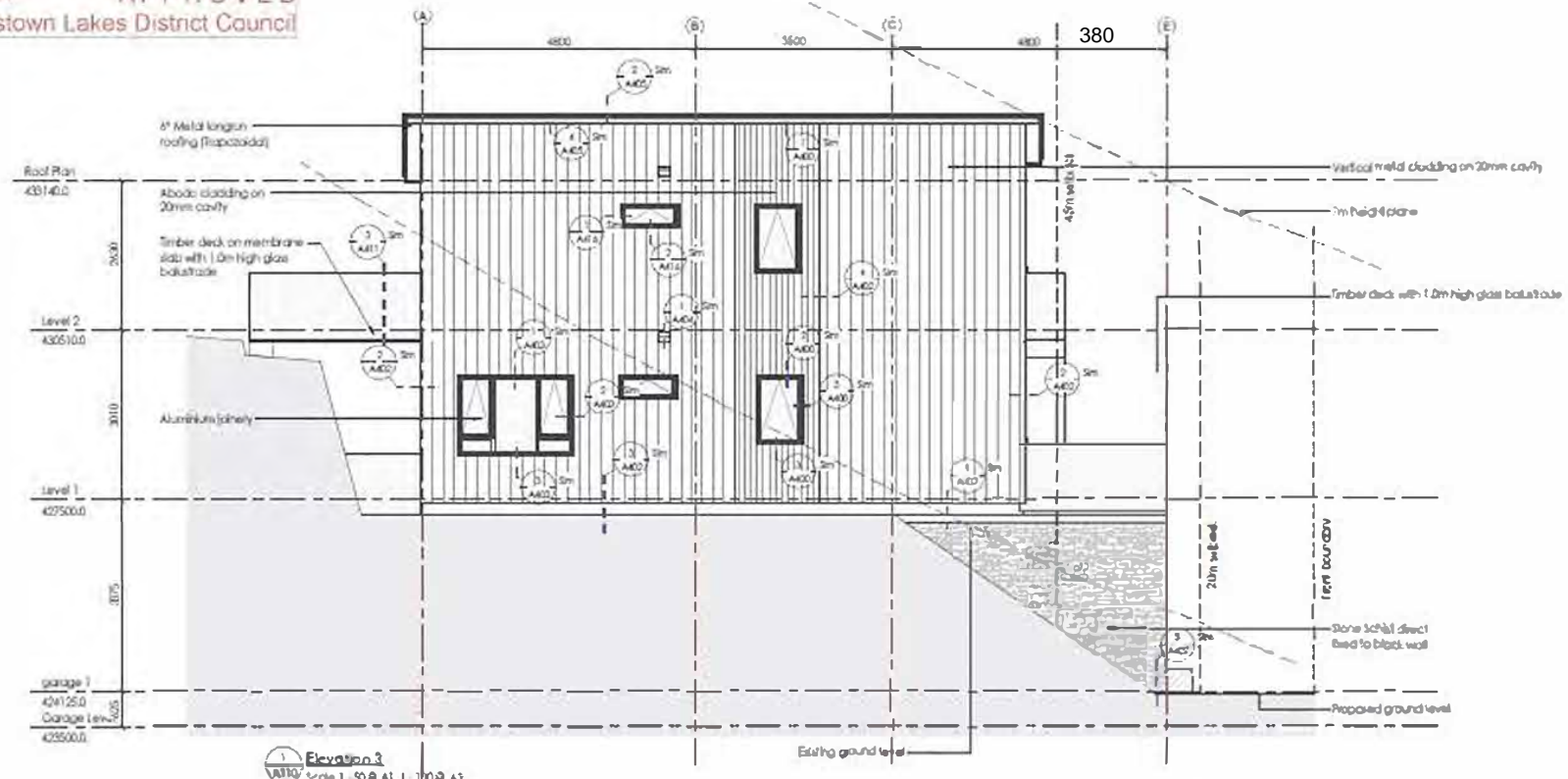


75/131 Rossdale Road - Albany - Auckland
PO Box 90195 - Albany - Auckland 0922
P: +64 9 915 8345 W: fatparrot.co.nz

PROJECT
Proposed Multi-Unit Dwelling -
Bld. 1 Stage 2 for Jason & Dan
Clew & Proopt Trustees Ltd
10A St Peters Place,
Queenstown
Elevations

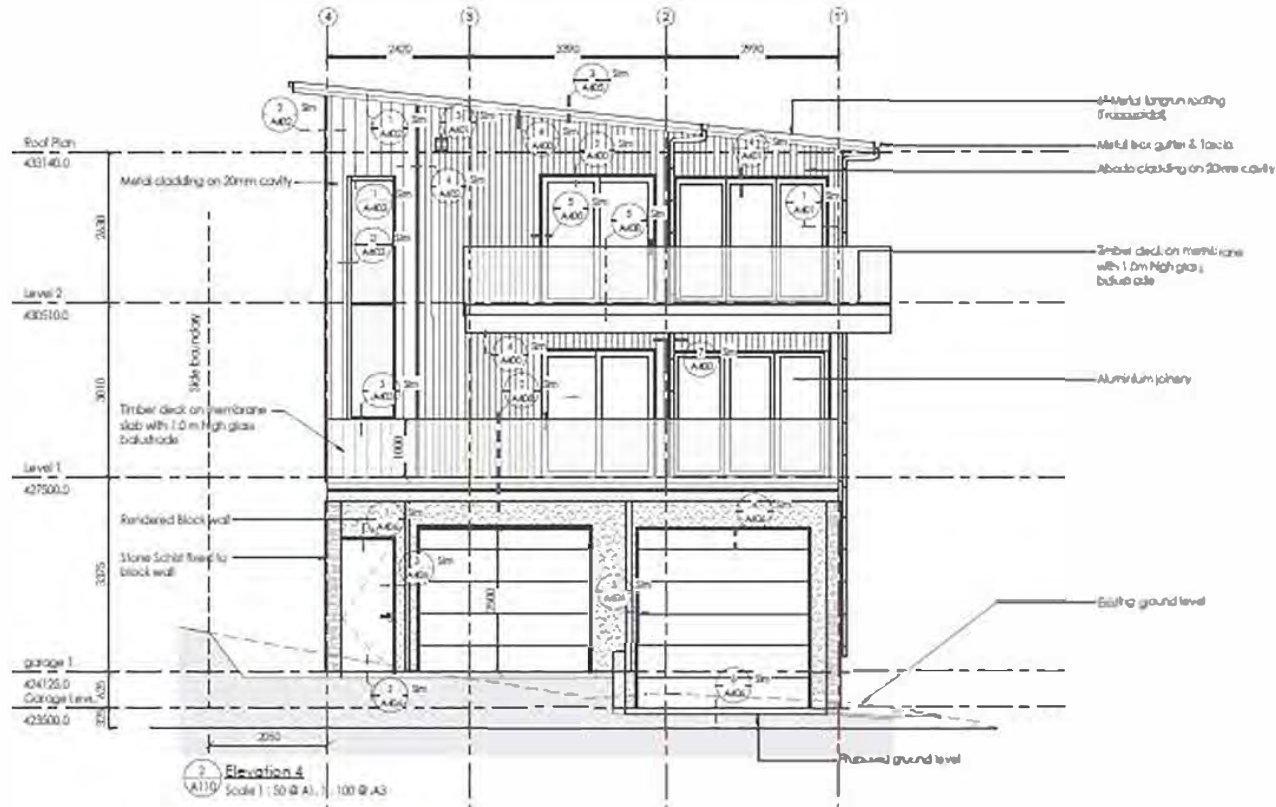
SCALE @ A1: As indicated	DATE: 2021
SCALE @ A3	
PROJECT NO: 7382	SHEET NO: A200
REVISION: A	

[Handwritten signatures]



Risk Matrix - All Elevations

Risk factor	LOW	MED	HIGH	V.N.	Subtotal
Wind Zone (per NZS3604)	0	0	1	2	3
Number of stories	0	1	2	4	2
Roof/Wall Intersection design	0	1	3	5	0
Eaves width	0	1	2	5	5
Envelope complexity	0	1	3	6	3
Deck design	0	2	4	5	6
Total Risk score					18



Building Consent

NOTE: All work to comply with the Building Code. Contractor must verify all dimensions before and double check before commencing work. Read in conjunction with specifications and other documents and non-Asbestos materials. Refer any alterations to the architect. Do not make any work or material substitutions without written approval. These drawings are Consultant and are not to be used for the contract and sections for which they were supplied by Fat Parrot Architecture.



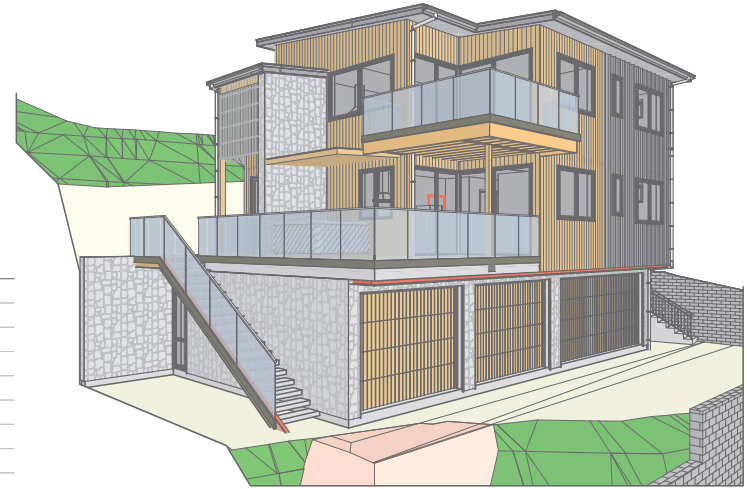
PROJ023
 Proposed Multi-Unit Dwelling -
 Bld. 1 Stage 2 for Jason & Dan
 Glow & Procop Trustees Ltd
 10A St Peter's Place,
 Queenstown
 Elevations

SCALE @ A1: As indicated
 SCALE @ A3: As shown
 DATE: 2023

PROJ023 1/6 2/10/23 3/10/23
 7382 A201 A

BC240156 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 3
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10B ST PETERS PLACE, QUEENSTOWN



SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	E-03	WEST ELEVATION
P-02	SITE PLAN	E-04	SOUTH ELEVATION
P-03	SEDIMENT CONTROL PLAN	S-01	CROSS SECTION A-A
P-04	GARAGE DRAINAGE PLAN	S-02	CROSS SECTION B-B
P-05	LEVEL 1 DRAINAGE PLAN	S-03	CROSS SECTION C-C
P-06	LEVEL 2 DRAINAGE PLAN	S-04	SCHEDULE OF DOORS
P-07	PLUMBING SCHEMATIC	S-05	SCHEDULE OF WINDOWS
P-08	ROOF CATCHMENT PLAN	D-01	FOUNDATION DETAILS
P-09	GARAGE FLOOR PLAN	D-02	ALPINE STONE JOINERY & JUNCTION DETAILS
P-10	GARAGE DIMENSION PLAN	D-03	ALPINE STONE CORNER, BASE, JUNCTION & PENETRATION DETAILS
P-11	GARAGE FLOOR FRAMING/CLADDING & WINDOW SETOUT PLAN	D-04	ALPINE STONE JUNCTION & SOFFIT DETAILS
P-12	LEVEL 1 FLOOR PLAN	D-05	VERT. ABODO VULCAN & BASE DETAILS
P-13	LEVEL 1 DIMENSION PLAN	D-06	VERT. ABODO VULCAN CORNER & PENETRATION DETAILS
P-14	LEVEL 1 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-07	VERT. ABODO VULCAN ENCLOSE DECK, SOFFIT & JOINERY DETAILS
P-15	LEVEL 2 FLOOR PLAN	D-08	VERT. ABODO VULCAN ROOF DETAILS
P-16	LEVEL 2 DIMENSION PLAN	D-09	VERT. METCOM 965 JOINERY & BASE DETAILS
P-17	LEVEL 2 FRAMING/CLADDING & WINDOW SETOUT PLAN	D-10	VERT. METCOM 965 CORNER, JUNCTION & SOFFIT DETAILS
P-18	GARAGE FOUNDATION PLAN	D-11	VERT. METCOM 965 ROOF DETAILS - SHEET 01
P-19	LEVEL 1 FOUNDATION PLAN	D-12	VERT. METCOM 965 ROOF DETAILS - SHEET 02
P-20	LEVEL 2 MID-FLOOR JOIST LAYOUT	D-13	HANDRAIL/STAIRCASE DETAIL
P-21	GARAGE FLOOR ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	TILED SHOWER TO TIMBER FLOOR DETAILS
P-22	LEVEL 01 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-15	SHOWER/WET AREA DETAILS
P-23	LEVEL 02 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-16	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-24	GARAGE BRACING PLAN	D-17	HWC & SEISMIC RESTRAINT DETAILS
P-25	LEVEL 1 BRACING PLAN	D-18	FIRE RATED WALL DETAILS - SHEET 01
P-26	LEVEL 2 BRACING PLAN	D-19	FIRE RATED WALL DETAILS - SHEET 02
P-27	STUD TO TOP PLATE/LINTEL FIXING DETAILS	D-20	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-28	ROOF BRACE & TOP PLATE FIXING DETAILS	D-21	FIRE RATED JUNCTION DETAILS
P-29	BRACE FIXING DETAILS	D-22	FIRE RATED PENETRATION DETAILS
P-30	GARAGE AREA ELECTRICAL PLAN	D-23	FIRE RATED ROOF DETAILS
P-31	LEVEL 1 ELECTRICAL PLAN	D-24	CONCRETE DECK DETAILS - SHEET 01
P-32	LEVEL 2 ELECTRICAL PLAN	D-25	CONCRETE DECK DETAILS - SHEET 02
E-01	NORTH ELEVATION	D-26	TIMBER DECK DETAILS
E-02	EAST ELEVATION	D-27	BOTTOM PLATE FIXING, PENETRATION, ROOF TRANSITION & ORG DETAILS
		D-28	FLOOR JOIST STIFFENER



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DATE: 08 MAY 24	SHEET: P-01
JOB #: 23074	TOTAL SHEETS: 70

COVER PAGE

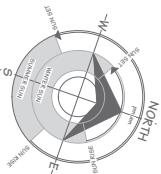
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REV. COLOUR	ISSUED BY	REVISION	DATE OF ISSUE
~ BC RFI-01	XDD	BC RFI	05.08.24
~ BC RFI-02	XDD	BC RFI	05.17.24

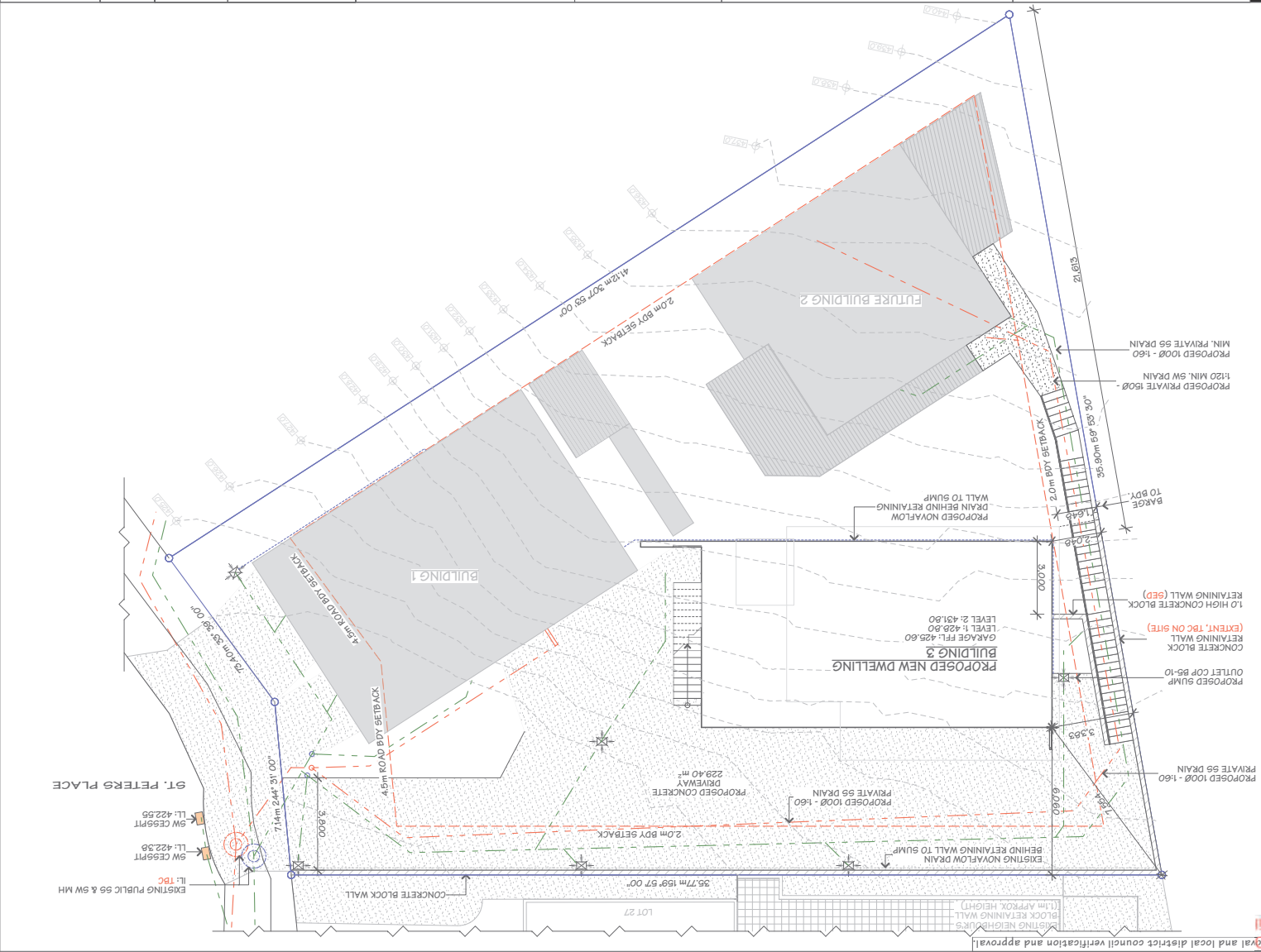
REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL- ENVIRONMENTAL JOB NO. 51746

EARTHWORKS TO GEOTECH REPORT.
DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DPLM PRIOR TO COMMENCEMENT OF WORK
STRAKWAYS TO BE 190mm.
PROPOSED 100Ø - 160 WITH NZBC D1.21 SLIP RESISTANCE TABLE 2.
- PAVD AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1.21 SLIP RESISTANCE TABLE 2.
IS AN ACCEPTABLE SOLUTION
A BARRIER COMPLY WITH TABLE 1, NZC 81/51
IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORIZED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY.
IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY.
IS AN ACCEPTABLE SOLUTION
- PAVD AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1.21 SLIP RESISTANCE TABLE 2.
STRAKWAYS TO BE 190mm.
PROPOSED 100Ø - 160 WITH NZBC D1.21 SLIP RESISTANCE TABLE 2.

NOTE: HAZARD MANAGEMENT TEMPORARY FENCING
LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL
900m²
LOT 1 DP 512388
WIND ZONE
EARTHQUAKE ZONE
CORROSION ZONE
SNOW LOADING
B (450m)
SITE COVERAGE:
12.31% (40% MAX)
BUILDING FOOTPRINT:
110.76m²
VERY HIGH



Queenstown Lakes District Council

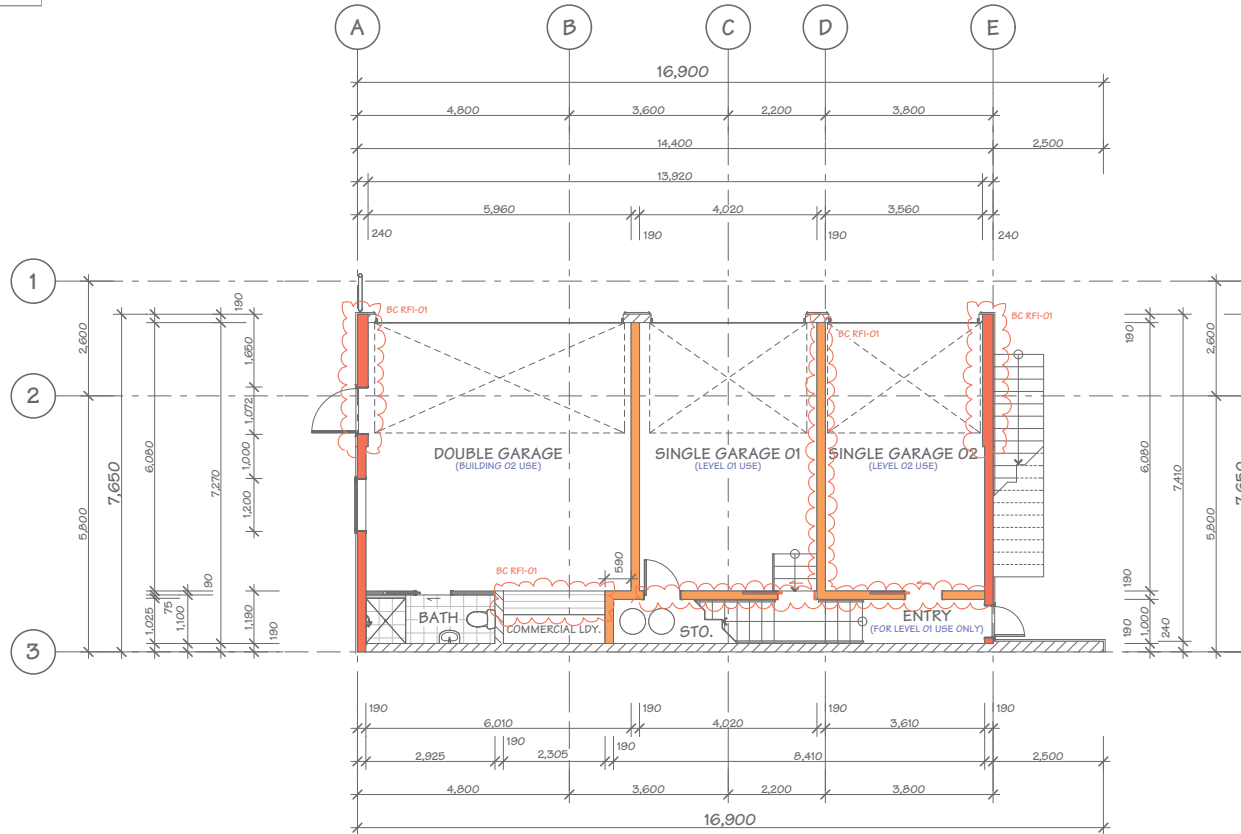


Notwithstanding to the approval and local district council verification and approval.

Handwritten signatures and initials.

Note: This plan is subject to developer's approval and local district council verification and approval.

NOTES:
 BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
GARAGE DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

Xpress Design + Drafting Ltd (XDD) have prepared these drawings for the purpose of obtaining a BUILDING CONSENT. Should you discover any discrepancies in the drawings or require further details, please consult XDD before proceeding with construction.
 Additionally, it's crucial to verify all dimensions on-site and ensure that all work aligns with New Zealand Building Code and NZS3604 standards. Failure to meet these conditions removes any liability from XDD.

DATE OF ISSUE:
 23 FEB 24
 DESIGNER:
 XDD
 DRAWN:
 JAM
 CHECKED:
 MS

SCALE:
 1:100
 JOB#:
 23074
 SHEET:
P-10
 TOTAL SHEETS: 70



JASON & DAN GLEW & PROAPT TRUSTEES LTD

JOB TITLE:

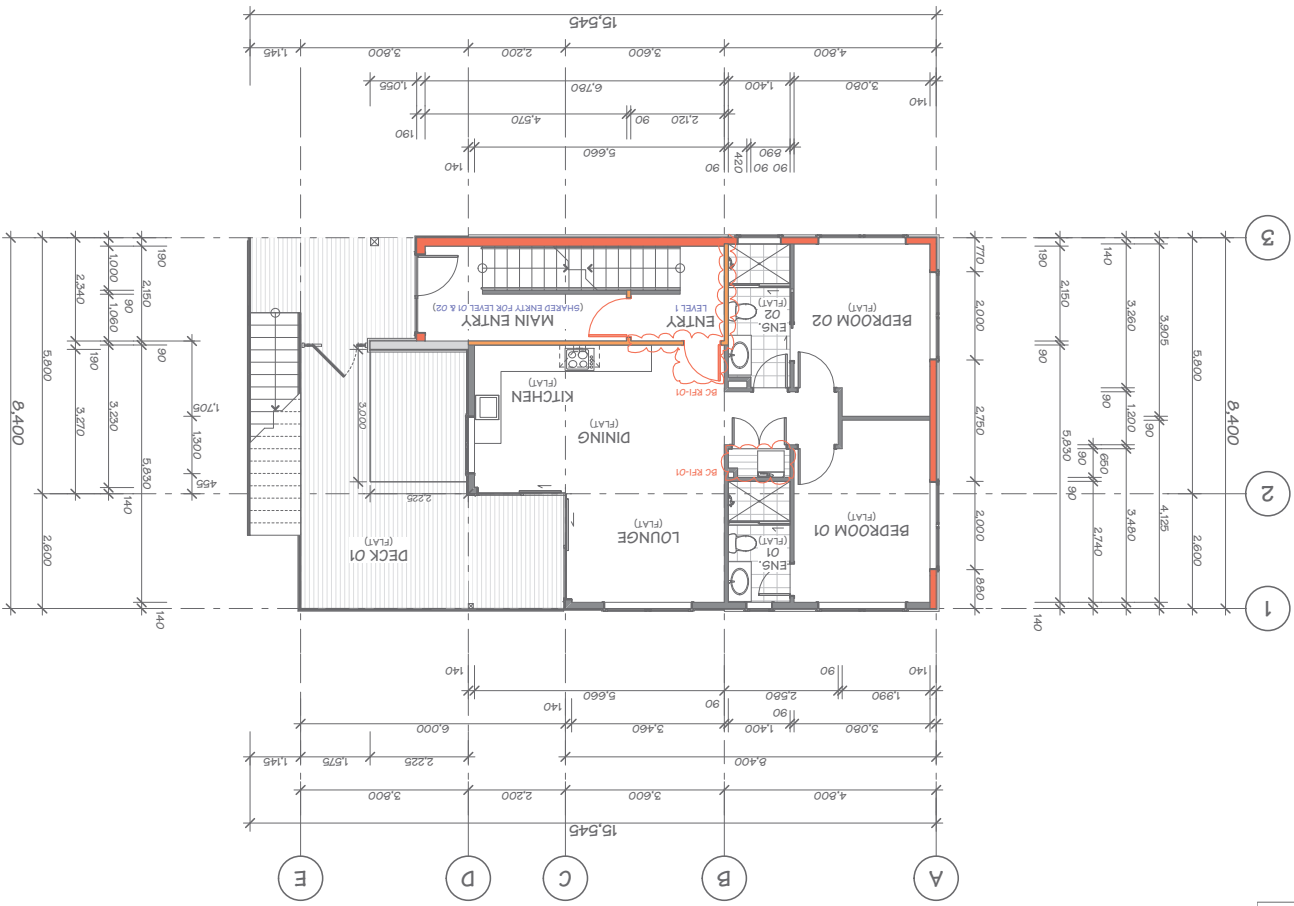
LEVEL 1 DIMENSION PLAN

DRAWING TITLE:

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
 DESIGNER: XPD
 DRAWN: JAM
 CHECKED: MS
 PUBLISHED REF NO.: 240508.1520
 VERSION: BC RFI-01
 REV. NO.: 01

TOTAL SHEETS: 70
 SHEET: P-13



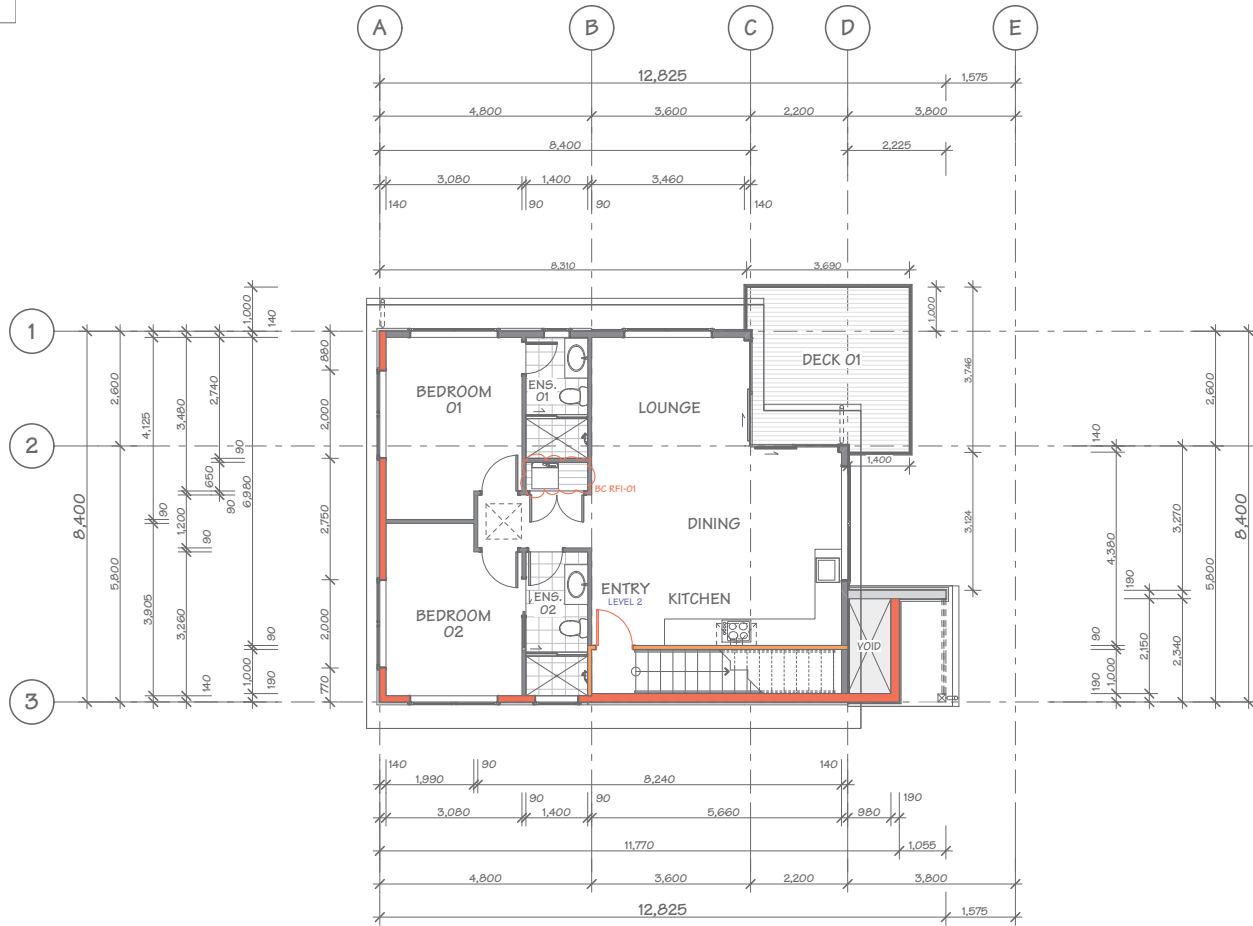
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NOTES:
 1. ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 2. DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 3. OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE

NOTES: This plan is subject to approval by the local district council verification and approval.

This plan is subject to Council approval and local district council verification and approval.

NOTES:
 BUILDING CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION
 ALL GLAZING TO COMPLY WITH NZS 4223 INCLUDING SAFETY GLASS TO SHOWER DOORS
 DOUBLE GLAZING TO ALL EXTERIOR JOINERY
 OFFSET JOINERY IS DIMENSIONED OTHERWISE CONSIDERED CENTRED IN WALL SPACE



[Handwritten signatures]



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
LEVEL 2 DIMENSION PLAN

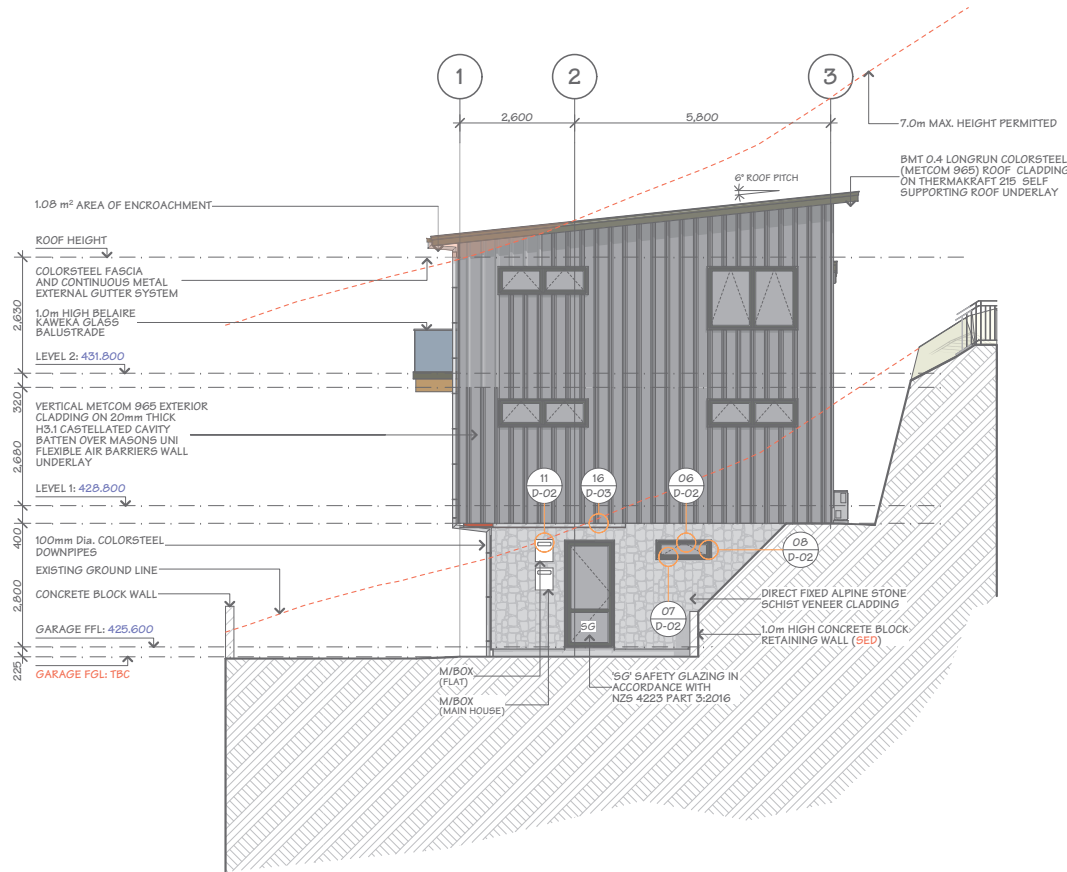
LEGAL DESCRIPTION:
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 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

DATE OF ISSUE:
 23 FEB 24
 DESIGNER:
 XDD
 DRAWN:
 JAM
 CHECKED:
 MS

SCALE:
 1:100
 JOB#:
 23074
 SHEET:
P-16
 TOTAL SHEETS: 70

North Elevation plan is subject to Council approval and local district council verification and approval.
 Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		14



Handwritten initials/signature



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
NORTH ELEVATION

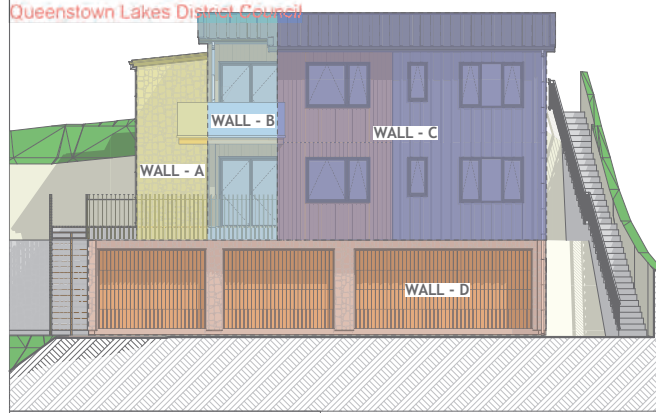
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

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 23 FEB 24
 DESIGNER:
 XDD
 SCALE:
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 DRAWN:
 JAM
 JOB#: 23074
 CHECKED:
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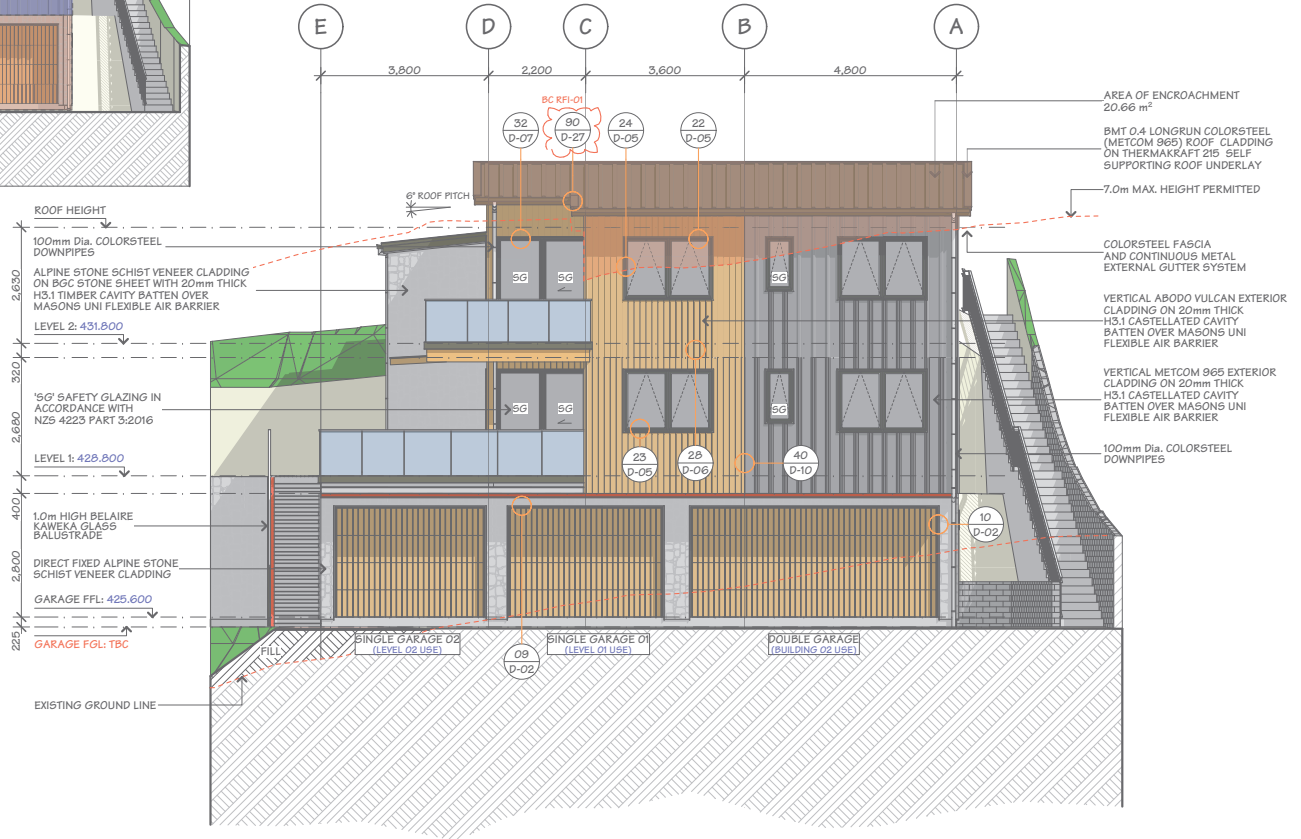
SHEET:
E-01
 TOTAL SHEETS: 70

No. 241156 plan is subject to DCD's approval and local district council verification and approval.
 Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		7
BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8

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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
EAST ELEVATION

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
 DESIGNER: XDD
 SCALE: 1:100
 SHEET: E-02
 TOTAL SHEETS: 70

DESIGNED BY: JAM
 CHECKED BY: MS
 JOB#: 23074

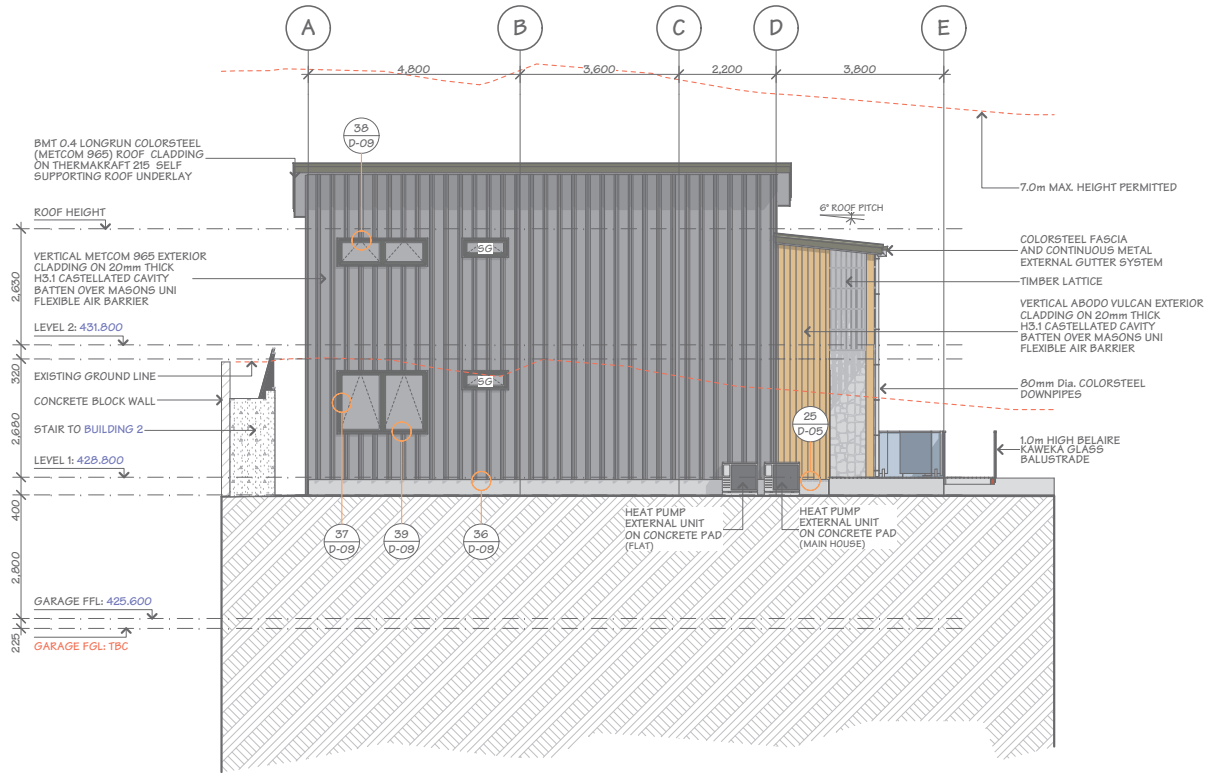
VERSION: BC RFI-01
 REV. NO.: 01

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 Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Very high risk	4
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	High risk	3
Deck design	Medium risk	2
Total Risk Score:		13



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
WEST ELEVATION

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512368
 ADDRESS: 108 ST PETERS PLACE, QUEENSTOWN

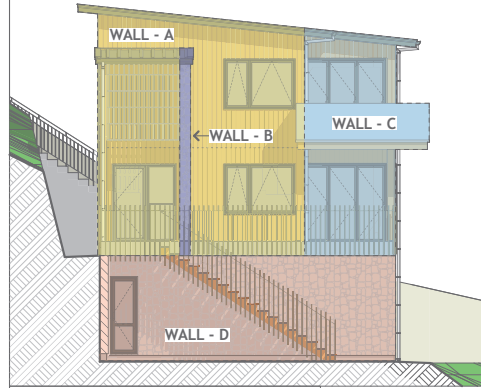
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 SHEET:
E-03
 TOTAL SHEETS: 70

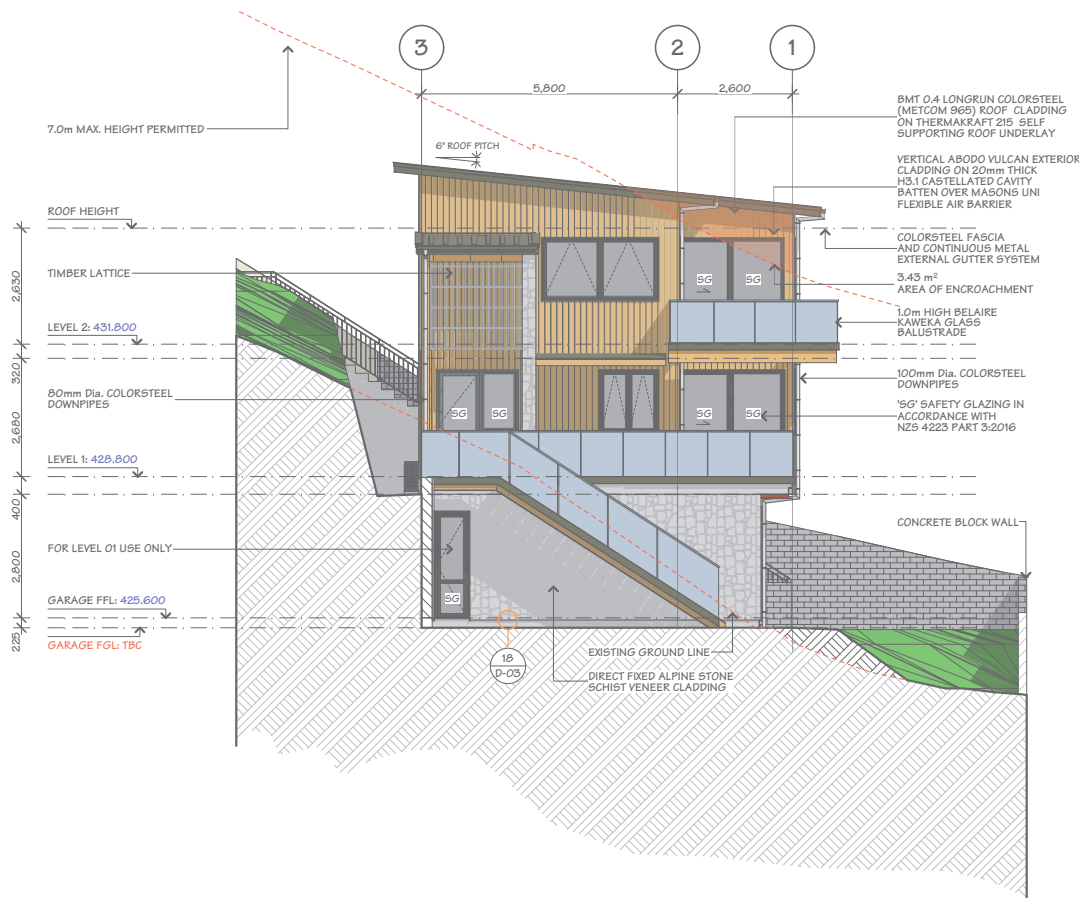
This plan is subject to the approval and local district council verification and approval.

Queenstown Lakes District Council



BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-A)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Very high risk	6
Total Risk Score:		17
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-B)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Medium risk	2
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-C)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Very high risk	6
Total Risk Score:		12
BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION (WALL-D)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		10

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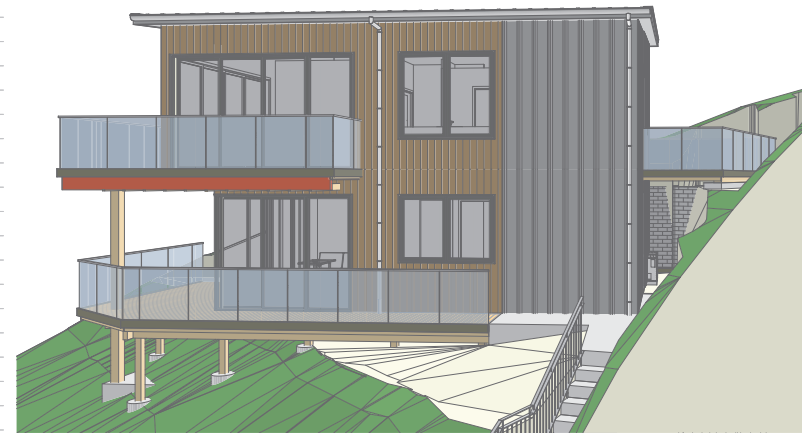
SOUTH ELEVATION

LEGAL DESCRIPTION:
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 ADDRESS: 108 57 PETERS PLACE, QUEENSTOWN

DATE OF ISSUE: 23 FEB 24
DESIGNER: XDD
SCALE: 1:100
SHEET: E-04
TOTAL SHEETS: 70

BC240157 APPROVED
Queenstown Lakes District Council

PROPOSED MULTI-UNIT DWELLING - BLDG. 2
FOR
JASON & DAN GLEW & PROAPT TRUSTEES LTD
AT
10C ST PETERS PLACE, QUEENSTOWN



SHEET	PLAN SET INDEX	SHEET	PLAN SET INDEX
P-01	COVER PAGE	S-02	CROSS SECTION B-B
P-02	SITE PLAN	S-03	CROSS SECTION C-C
P-03	SEDIMENT CONTROL PLAN	D-01	VERT. ABODO VULCAN CLADDING DETAILS
P-04	DRAINAGE PLAN	D-02	VERT. ABODO VULCAN CLADDING DETAILS
P-05	DRAINAGE ISOMETRIC DRAWING	D-03	VERT. ABODO VULCAN CLADDING DETAILS
P-06	ROOF CATCHMENT PLAN	D-04	VERT. ABODO VULCAN CLADDING DETAILS
P-07	LEVEL 1 FLOOR PLAN	D-05	VERT. METCOM 965 CLADDING DETAILS
P-08	LEVEL 1 DIMENSION PLAN	D-06	VERT. METCOM 965 CLADDING DETAILS
P-09	LEVEL 2 FLOOR PLAN	D-07	VERT. METCOM 965 CLADDING DETAILS
P-10	LEVEL 2 DIMENSION PLAN	D-08	VERT. METCOM 965 CLADDING DETAILS
P-11	LEVEL 1 FRAMING/CLADDING WINDOW SETOUT PLAN	D-09	HANDRAIL/STAIRCASE DETAIL
P-12	LEVEL 2 - FRAMING/CLADDING WINDOW SETOUT PLAN	D-10	TILED SHOWER TO TIMBER FLOOR DETAIL
P-13	FOUNDATION PLAN	D-11	SHOWER/WET AREA DETAILS
P-14	MID-FLOOR JOIST LAYOUT	D-12	CLEARANCE TO COMBUSTIBLE & PIPE THROUGH WALL
P-15	LEVEL 1 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-13	HWC & SEISMIC RESTRAINT DETAIL
P-16	LEVEL 2 ROOF/STUD FIXING/LINTEL FIXING PLAN	D-14	FIRE RATED WALL DETAILS - SHEET 01
P-17	LEVEL 1 BRACING PLAN	D-15	FIRE RATED WALL DETAILS - SHEET 02
P-18	LEVEL 2 BRACING PLAN	D-16	FIRE RATED FLOOR/CEILING - TIMBER JOISTS DETAIL
P-19	BRACING CALCULATION - SHEET 01	D-17	DOOR SILL & BOTTOM PLATE FIXING DETAILS
P-20	BRACING CALCULATION - SHEET 02	D-18	VERTICAL METCOM 965 & PIPE PENETRATION DETAILS
P-21	LEVEL 1 ELECTRICAL PLAN	D-19	TIMBER DECK BALUSTRADE DETAIL
P-22	LEVEL 2 ELECTRICAL PLAN	D-20	TIMBER DECK OVERFLOW DETAIL
P-23	JOINERY SCHEDULE - SHEET 01	D-21	THRESHOLD & TIMBER DECK TO WALL DETAILS
P-24	JOINERY SCHEDULE - SHEET 02	D-22	SOFFIT DETAILS
E-01	ELEVATIONS - SHEET 01	D-23	FLOOR JOIST STIFFENER DETAIL
E-02	ELEVATIONS - SHEET 02	D-24	STAIRCASE & HANDRAIL DETAIL
S-01	CROSS SECTION A-A	D-25	ROOF BRACE & TOP PLATE FIXING DETAILS
		D-26	TERRACE DETAILS

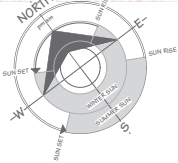


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REV.	COLOUR	ISSUED BY	REVISION	DATE OF ISSUE:	DATE:	23 FEB 24	SHEET:	P-01
					JOB #:	23073	TOTAL SHEETS: 56	
BC RFI-01		XDD	BC RFI-01	05.09.24	COVER PAGE			
BC RFI-02		XDD	BC RFI-02	05.14.24				
BC RFI-03		XDD	BC RFI-03	05.20.24				
SCALE: NOT TO SCALE								

This plan is subject to DP and/or RFP approval and local district council verification and approval.

Queenstown Lakes District Council



LOT 1 DP 512388
900m²

WIND ZONE: VERY HIGH
EARTHQUAKE ZONE: 3
CORROSION ZONE: B
SNOW LOADING: N5 (450m)

BUILDING FOOTPRINT: 80.17m²
SITE COVERAGE: 8.91% (40% MAX)

LOWER DENSITY SUBURBAN RESIDENTIAL ZONE
QUEENSTOWN LAKES DISTRICT COUNCIL

NOTE: HAZARD MANAGEMENT TEMPORARY FENCING

IF A WORK SITE IS NOT COMPLETELY ENCLOSED AND UNAUTHORISED ENTRY BY CHILDREN IS LIKELY, IT IS ACCEPTABLE FOR SPECIFIC HAZARDS TO BE FENCED ONLY WHEN WORKERS ARE ABSENT FROM THE IMMEDIATE VICINITY WHERE A POTENTIAL HAZARD AT A WORK SITE MAKES A SAFETY BARRIER NECESSARY. A BARRIER COMPLYING WITH TABLE 1, NZBC F5/A51 IS AN ACCEPTABLE SOLUTION

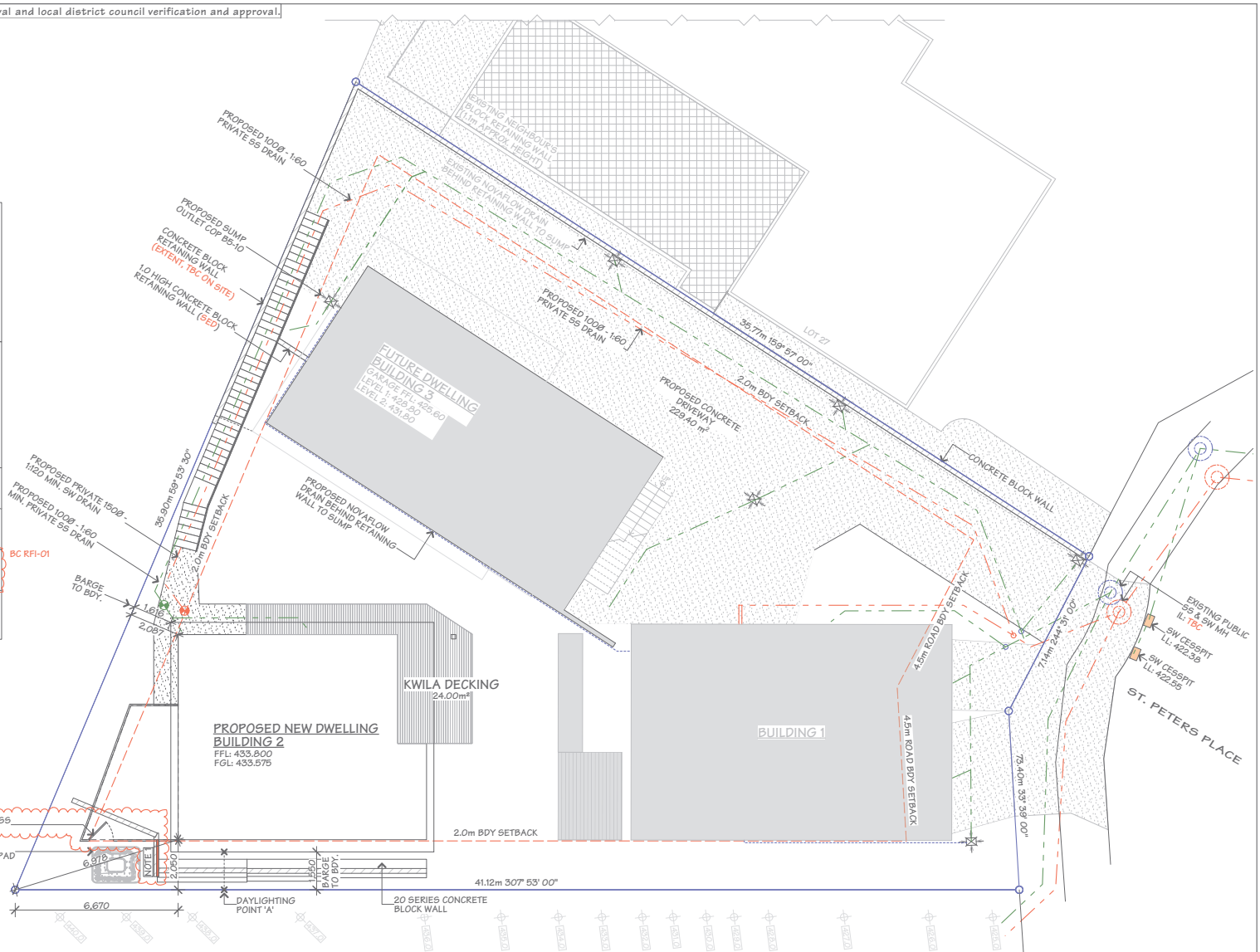
- PATIO AND PAVING TO FRONT DOOR TO COMPLY WITH NZBC D1 2.1 SLIP RESISTANCE TABLE 2.
MAXIMUM STEP HEIGHT TO COMMON / MAIN PRIVATE STAIRWAYS TO BE 190mm.

DISCLAIMER:
FINISH FLOOR LEVEL MUST BE VERIFIED ON SITE IN CONJUNCTION WITH DATUM PRIOR TO COMMENCEMENT OF WORK

NOTE 1:
1.0m HIGH FRAMELESS GLASS BALUSTRADE (RAKAIKA CHANNEL)

EARTHWORKS TO GEOTECH REPORT.

REFER TO: RDA CONSULTING GEOTECHNICAL-CIVIL-ENVIRONMENTAL JOB NO. 51746



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JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
SITE PLAN

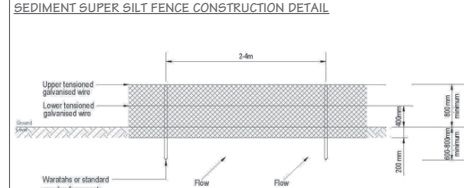
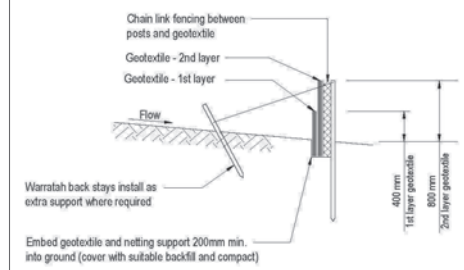
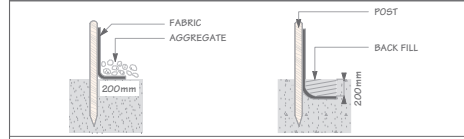
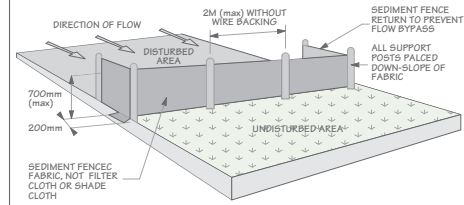
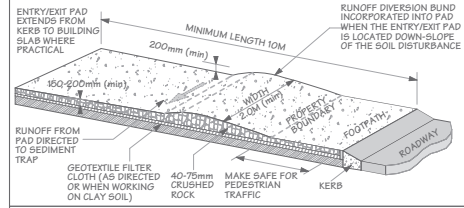
LEGAL DESCRIPTION:
LOT: 1
DP: 512388
ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

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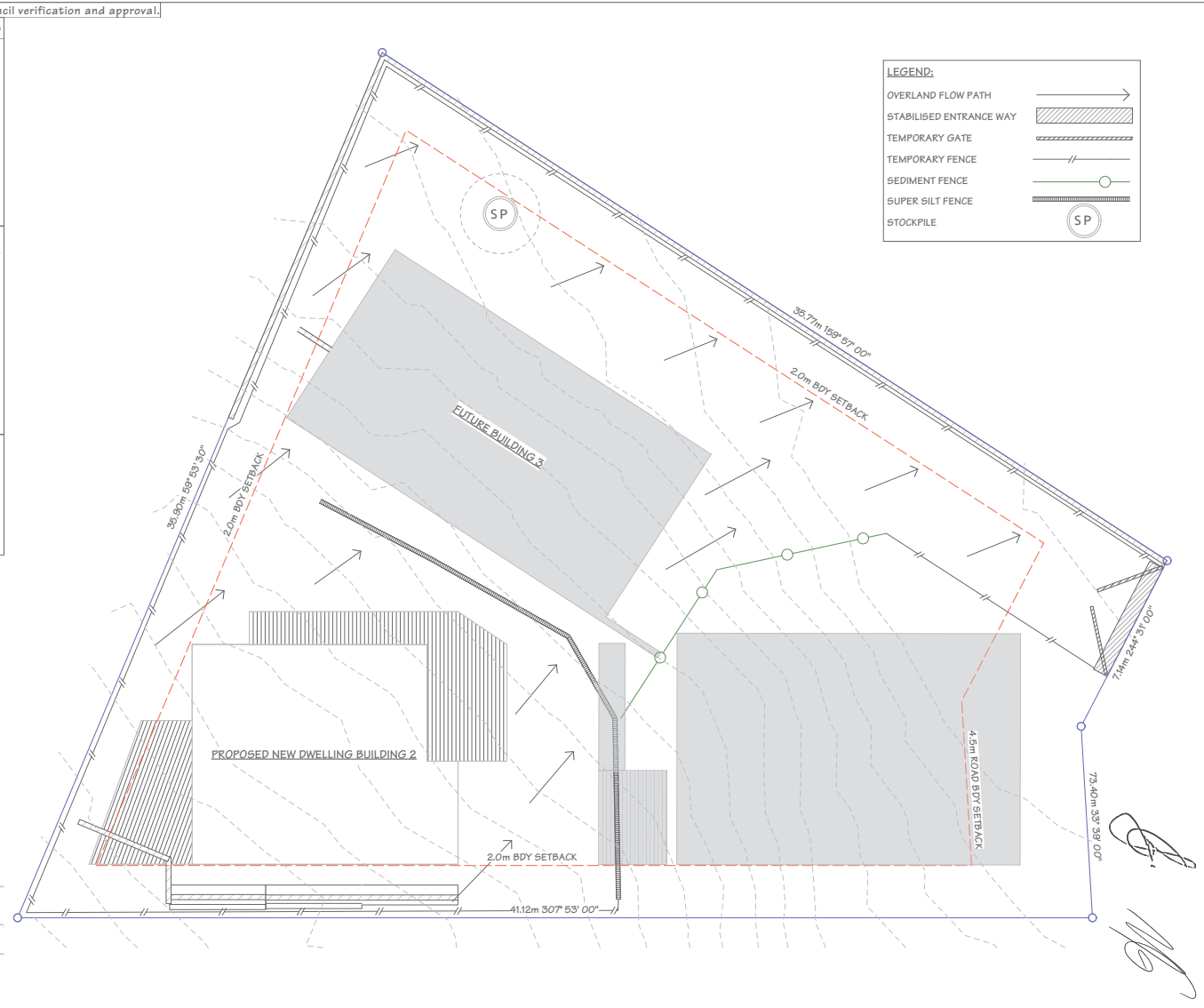
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23 FEB 24
DESIGNER:
XDD
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240514:1440
DRAWN:
DM
JOB#:
23073
VERSION:
BC-RFI 02
REV. NO.:
01
CHECKED:
JAM

SHEET:
P-02
TOTAL SHEETS: 56

This plan is subject to DP and DCO approval and local district council verification and approval.
Queensland Stabilised Entry/Exit Pad - Building Sites



SEDIMENT SUPER SILT FENCE ELEVATION DETAIL



LEGEND:

OVERLAND FLOW PATH	
STABILISED ENTRANCE WAY	
TEMPORARY GATE	
TEMPORARY FENCE	
SEDIMENT FENCE	
SUPER SILT FENCE	
STOCKPILE	



JOB TITLE:
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DRAWING TITLE:
SEDIMENT CONTROL PLAN

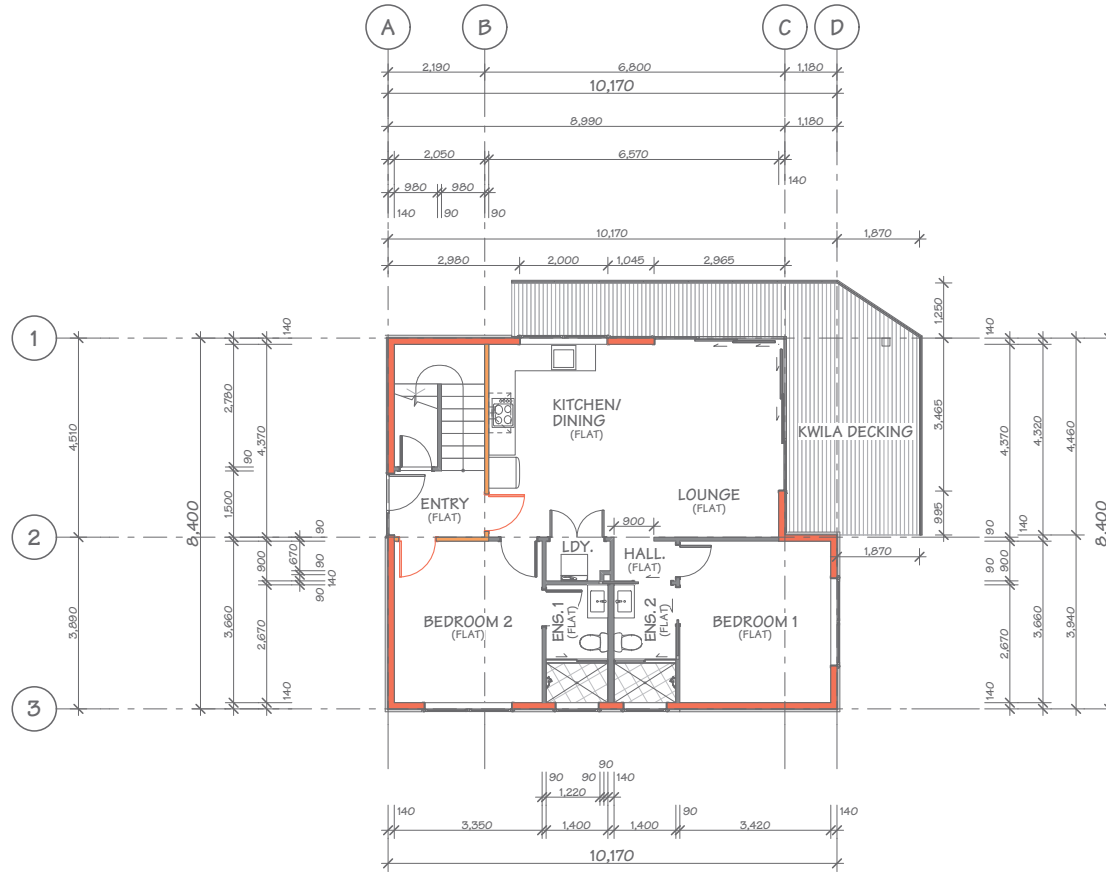
LEGAL DESCRIPTION:
LOT: 1
DP: 512588
ADDRESS: 10C ST PETERS PLACE, QUEENSTOWN

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VERSION:
WD-01
REV. NO.:
01

PUBLISHED REF NO.:
240409.0154
TOTAL SHEETS: 56
P-03
23073

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 Queenstown Lakes District Council



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JOB TITLE:
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DRAWING TITLE:
 LEVEL 1 DIMENSION PLAN

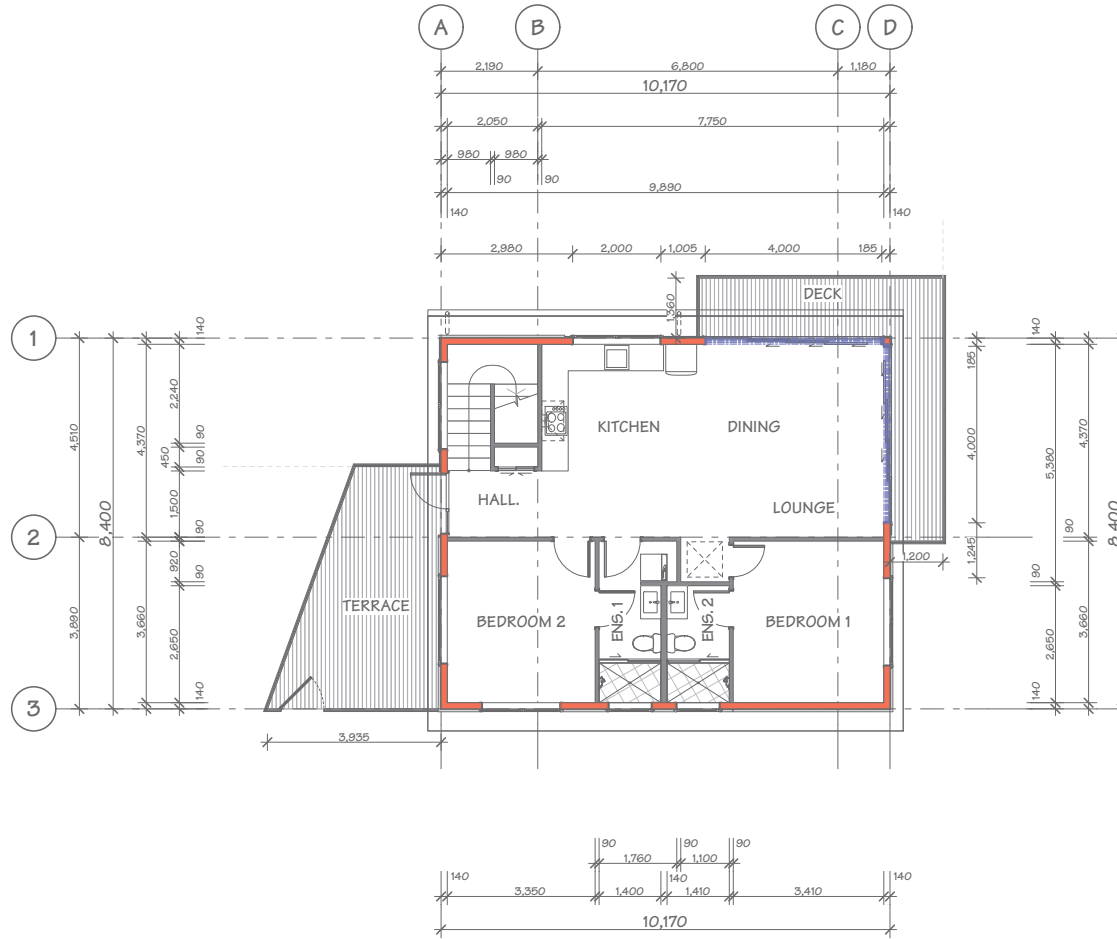
LEGAL DESCRIPTION:
 LOT: 1
 DP: 512588
 ADDRESS: 100 ST PETERS
 PLACE,
 QUEENSTOWN

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SCALE:
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 JOB#:
 23073
 SHEET:
 P-08
 TOTAL SHEETS: 56

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JOB TITLE:
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DRAWING TITLE:
 LEVEL 2 DIMENSION PLAN

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512388
 ADDRESS: 100 ST PETERS
 PLACE,
 QUEENSTOWN

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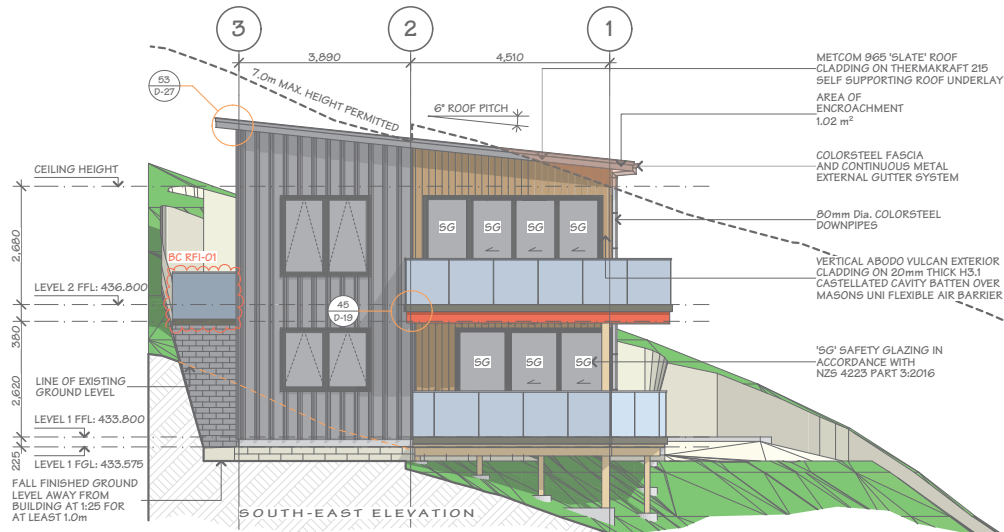
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SCALE:
 1:100
 JOB#:
 23073
 SHEET:
P-10
 TOTAL SHEETS: 56

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Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to NE & SE Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11



Handwritten signatures and initials.



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 01

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512588
 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

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 XDD
 SCALE:
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 SHEET:
E-01

PUBLISHED REF NO.:
 240509.1050
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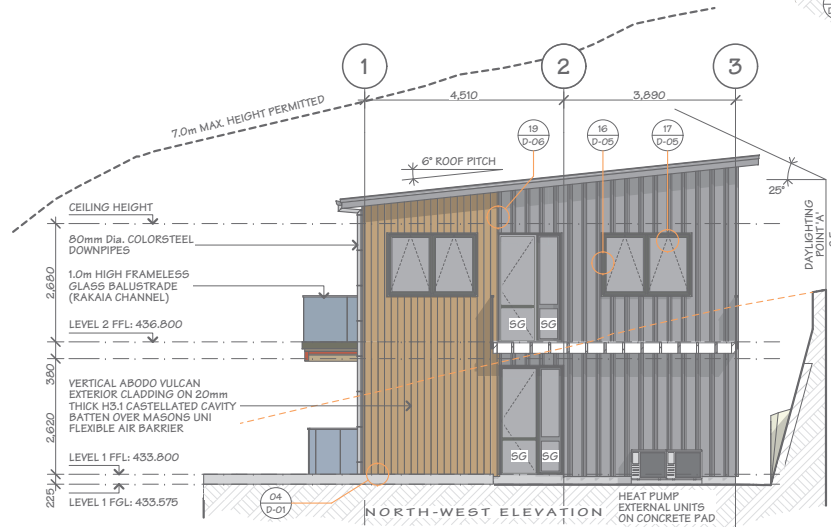
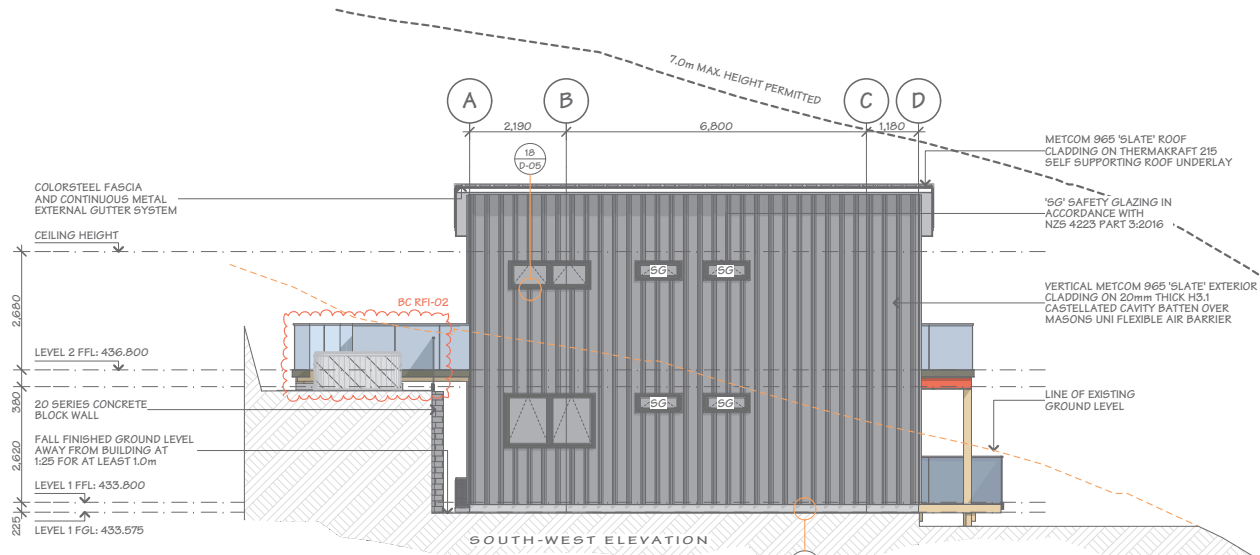
VERSION:
 BC-RFI 01
 REV. NO.:
 02
 CHECKED:
 JAM

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Queenstown Lakes District Council

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to South West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	High risk	4
Total Risk Score:		11

BUILDING ENVELOPE RISK MATRIX		
Risk Matrix Applies to North West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	High risk	4
Total Risk Score:		10



Handwritten initials/signature



JOB TITLE:
JASON & DAN GLEW & PROAPT TRUSTEES LTD

DRAWING TITLE:
ELEVATIONS - SHEET 02

LEGAL DESCRIPTION:
 LOT: 1
 DP: 512588
 ADDRESS: 100 ST PETERS PLACE, QUEENSTOWN

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 23 FEB 24
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 PUBLISHED REF NO.:
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VERSION:	REV. NO.:	CHECKED:
BC-RFI 02	01	JAM

SHEET:
E-02
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